



MONTGOMERY COUNTY PLANNING BOARD
 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Item #
MCPB 1-18-07

MEMORANDUM

DATE: January 5, 2007
TO: Montgomery County Planning Board
 Rose Krasnow, Chief *RK*
VIA: Michael Ma, Supervisor *Ma*
 Development Review Division

FROM: Joshua C. Sloan, ASLA *JCS*
 Development Review Division
 (301) 495-4597



REVIEW TYPE: Site Plan Review
CASE #: 820070030
PROJECT NAME: Colesville Road Hilton/Hampton Inn/Homewood Suites
APPLYING FOR: Approval of the Conversion of an Existing Office Building to Hotel
REVIEW BASIS: Division 59-C-6.22 (a). Land Uses in Central Business District Zones

ZONE: CBD - 1
LOCATION: On the west side of Colesville Road (US 29), midway between Fenton Street and Spring Street
MASTER PLAN: Silver Spring CBD Sector Plan

APPLICANT: Milestone Hospitality International
FILING DATE: August 2, 2006
HEARING DATE: January 18, 2007

STAFF RECOMMENDATION: Approval of the conversion of 141,972 square feet of an existing office building to a hotel on 0.39 acres. All site development elements as shown on the plans stamped by the M-NCPPC on January 5, 2007 shall be required except as modified by the following conditions:

1. Streetscape

Applicant shall provide the full streetscape improvements along the Colesville Road frontage according to a modified Silver Spring Streetscape Plan A using the approved Belden brick basket weave paver pattern with border according to Silver Spring Streetscape Plan B.

2. Lighting

- a. Applicant shall ensure that all light fixtures shall be full cut-off fixtures.
- b. Applicant shall install deflectors on all fixtures causing potential glare or excess illumination on the abutting adjacent residential properties.
- c. Applicant shall ensure that illumination levels shall not exceed 0.5 footcandles (fc) at any property line abutting residential properties.
- d. Applicant shall ensure that all light poles do not exceed 14 feet including the mounting base.

3. Maintenance Responsibility

- a. The applicant shall be responsible for maintaining all paved and planted areas within the right-of-way from the eastern property line to sixteen (16) feet from the backside of the curb along Colesville Road (US 29).
- b. The applicant shall be responsible for maintaining the proposed paver sidewalk between the north property line and the adjacent Montgomery County Parking Garage.

4. Transportation

The applicant shall comply with the following conditions of approval from M-NCPPC Transportation Planning based on the memorandum dated January 3, 2007 [Appendix A]:

- a. Approval under this site plan and the use and occupancy permit is limited to a 240-unit hotel.
- b. The applicant shall enter into a Traffic Mitigation Agreement (Tmag) to participate with the Silver Spring Transportation Management Organization and fully execute and sign the TMAg prior to release of any use and occupancy permit.
- c. The applicant shall limit service, refuse, and delivery vehicles accessing the site to non-peak period hours (peak hours being defined as 6:30 a.m. to 9:30 a.m. and 4:00 p.m. to 7:00 p.m., Monday through Friday) should access be restricted to Colesville Road (US 29).
- d. The applicant shall provide for weather-protected storage of seven (7) bicycles.

5. Forest Conservation

The applicant shall install tree save measures around existing street trees before demolition and renovation of site.

6. Fire Marshal

The applicant shall comply with the following conditions of approval from the Montgomery County Fire Marshall in the comments dated December 12, 2006 [Appendix C]:

- a. The applicant shall provide two (2) fire department connections within 100 feet of a hydrant.

7. Stormwater Management

The proposed development is subject to the Stormwater Management Concept approval conditions dated July 24, 2006 unless amended and approved by the Montgomery County Department of Permitting Services [Appendix D].

8. Development Program

The applicant shall construct the proposed development in accordance with the Development Program. A Development Program shall be reviewed and approved by M-NCPPC staff prior to approval of the certified site plan. The Development Program shall include a phasing schedule as follows:

- a. Colesville Road streetscape, on-site landscaping, pedestrian pathways, and seating areas shall be completed prior to release of any use and occupancy permits.
- b. Clearing and grading shall correspond to the construction phasing, to minimize soil erosion.
- c. Phasing of dedications, stormwater management, sediment/erosion control, trip mitigation or other features.

9. Clearing and Grading

The applicant shall not do any clearing or grading prior to M-NCPPC approval of certified site plan.

10. Certified Site Plan

The applicant shall include the following revisions and/or provide the following information prior to certified site plan approval. These revisions and/or additional information are subject to staff review and approval.

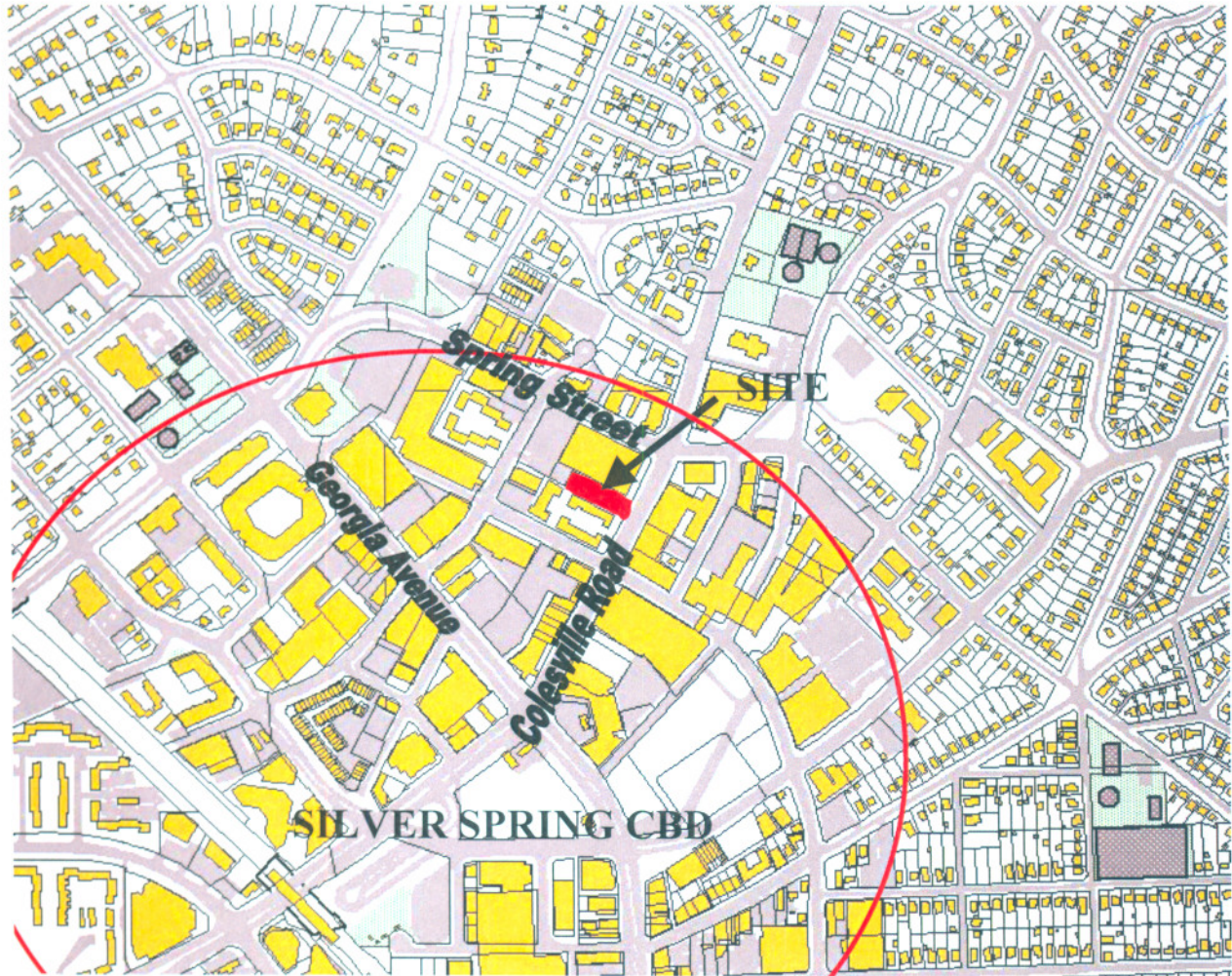
- a. Development program and Site Plan Resolution.
- b. Limits of disturbance.
- c. Methods of street tree protection.
- d. Note stating the M-NCPPC staff must inspect tree-save methods and protection devices prior to clearing and grading.
- e. Revised streetscape detail per condition 1 above.
- f. Any right-of-way dedications.
- g. Revised site development data table.

11. Alternate Site Plan Options

- a. If an agreement for trash pickup and delivery from the rear of the existing building cannot be obtained, the applicant shall renovate the existing building according to 'Alternate #3 – Extended Cellar Floor Plan w/Pool and Front Entrance Trash Pickup and Delivery' as drawn on the architectural plans stamped by the M-NCPPC on January 5, 2007.
- b. If an agreement allowing access to the adjacent Public Garage is obtained, the applicant shall renovate the existing site according to 'Site Plan Options – Public Parking Garage Entrance w/Delivery/Trash Lift' or 'Site Plan Options – Public Parking Garage Entrance Option' consistent with approval of 11.a. above and as drawn on the architectural plans stamped by the M-NCPPC on January 5, 2007.

PROJECT DESCRIPTION: Site Vicinity

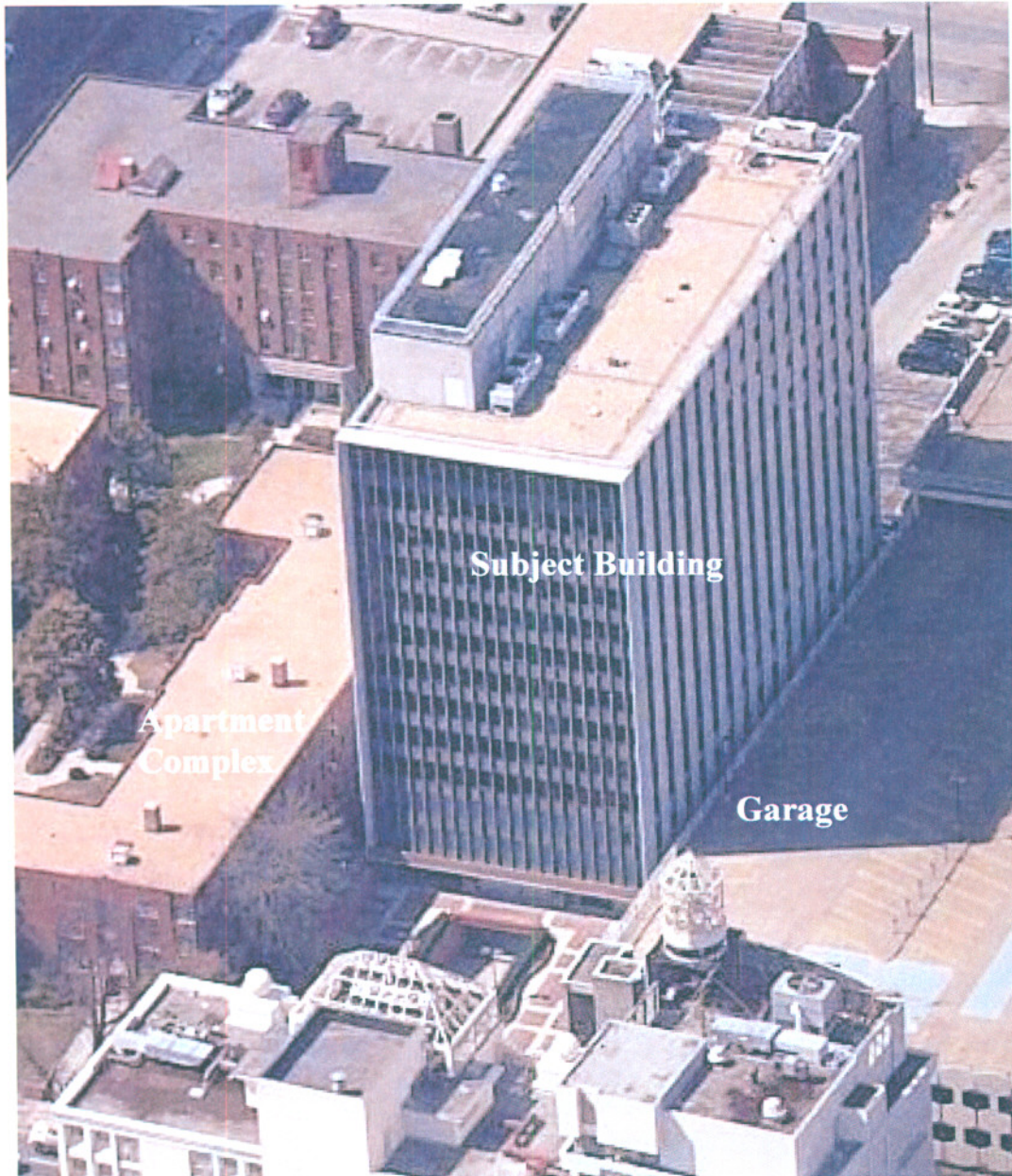
The subject property is located on the western side of Colesville Road (US 29) midway between Fenton Street to the south and Spring Street to the North. The adjacent property to the south is the Montgomery Arms Apartments, an historic Art Deco apartment complex built in 1941 and an important example of pre-World War II design. Conversely, the adjacent property to the north is a three-level concrete parking garage owned by Montgomery County. The adjacent property to the west, behind the building, is a parking lot and access driveway owned by United Therapeutics Corporation; this driveway also provides access to the County parking garage.



Site Plan Vicinity Map: Colesville Road Hilton 820060030

PROJECT DESCRIPTION: Site Description

The subject property, 8728 Colesville Road, is currently occupied by an existing thirteen (13) floor unoccupied office building. This building abuts the property lines to the south and north and is set back two (2) feet from the western property line. The front plaza is dominated by a central driveway, which descends from US 29 to the cellar level. On either side of the driveway, there are vehicle-accessible sidewalks and planters constructed of brick and concrete. A long series of electric vaults are housed below grade along the southern side of the site. The subject site plan proposes to renovate the entire site.



Aerial Photograph of Existing Site: 8728 Colesville Road



View of Existing Site from Colesville Road



View of Existing Site Looking towards Colesville Road

PROJECT DESCRIPTION: Proposal

The subject site plan [Appendix E] proposes to renovate the existing office building and site into a Hilton Hotel. The building facades, the lighting and landscaping, the vehicular circulation system, and the pedestrian circulation system will be entirely transformed by this proposal.



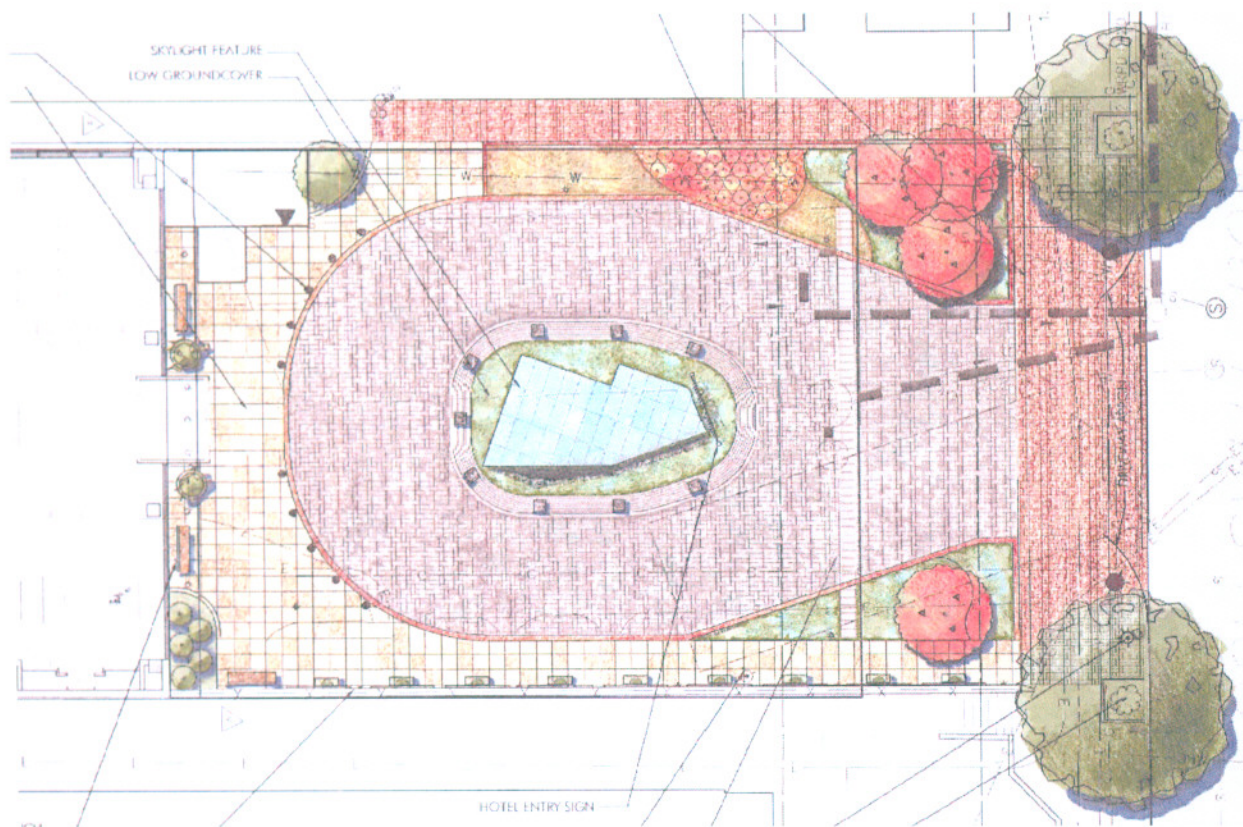
Architectural Illustrative: Renovated Facade

The building, itself, will be a hotel complex composed of two different product types: floors two (2) through eight (8) will house 149 rooms for a Hampton Inn; floors nine (9) through thirteen (13) will house 90 rooms for a Homewood Suites.¹ The cellar and first floor will be devoted to the lobby, reception area, meeting rooms, and amenities for the guests in addition to management and storage space. Minor changes to the first floor layout and an expansion of the cellar area under the entrance court are proposed. This cellar expansion will house a swimming facility

¹ The applicant has listed 240 rooms in their “Proposed Development” table in case minor architectural changes leave space for an additional room.

with a large sculptural skylight that acts as a centerpiece in the entrance court landscape as discussed below. In addition, several changes to the façade will be made: the entrance vestibule will be expanded, a stairwell to meet fire code will be constructed from the cellar, and a canopy over the entrance court will be constructed.

The streetscape along Colesville Road will meet the specifications of the Silver Spring Streetscape - Plan A (as modified according to the conditions); there are two existing street trees that will remain and two lights that will be relocated slightly. The paving along the sidewalk will be constructed with approved pavers in a basket weave pattern. In addition, the applicant has agreed to construct a sidewalk built with the same pavers along the northern side of their property to provide pedestrian access from the street to the hotel and proposed connection to the adjacent parking garage.



Site Plan Detail: Colesville Road Hilton 820060030

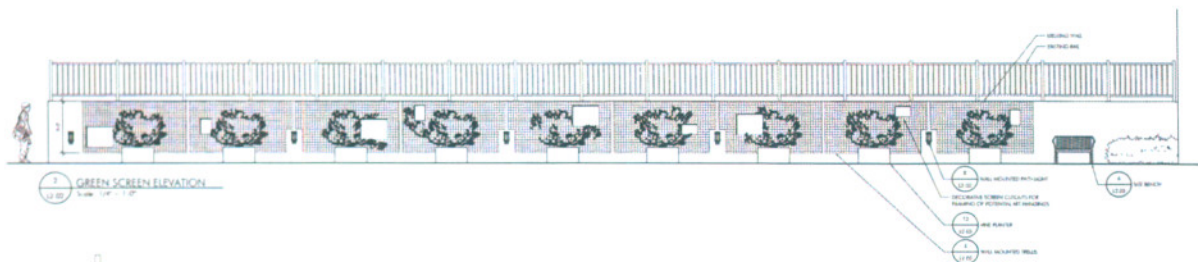
The landscape will now have dedicated pedestrian and vehicular access to the site from Colesville Road as well as a refurbished planting and lighting plan. The sidewalk mentioned above will be complemented by a sidewalk along the southern edge of the property, which runs into the front entry court and around the top of the site to the parking garage sidewalk. A 30-foot central curb cut allows vehicles to enter the site onto a paver driveway, move into a one-way turn around to drop-off and pick up passengers and luggage and then exit the site. A vehicular and pedestrian connection to the adjacent county-owned parking garage is discussed in the Site Plan Review Issues Section. A triangular shaped planting bed between the southern sidewalk and the entry/egress drive provides a buffer for pedestrians as well as landscaping and lighting to

enhance the subject site’s frontage. A section of this planting area is structurally reinforced with a grass-pave system to accommodate fire truck access. A larger, complementary triangular bed on the northern side of the site completes the landscape and lighting frontage. Where there is no landscaping between pedestrians and vehicles, bollards and paving changes are used to delineate different uses. Close to the entry to the hotel, benches and planters are used to finish the courtyard-like feel.

A central feature of the landscape is the driveway’s central island. This oval area is dominated by a sculptural glass skylight that sits above the cellar swimming pool area. The paving in this area is of rough granite cobbles and the glasswork is protected by large irregular granite bollards. Between the cobbles and skylight is a band of grass-like groundcover. An etched and illuminated glass sign completes the interior island. Another interesting feature of the site is the treatment of the existing retaining wall along the southern property line. The applicant proposes to treat the wall surface to complement the hotel surface and install a “green wall”, which is a trellis system for flowering vines. Interspersed throughout these trellis panels will be blank areas for the placement of artwork and decoration.



Site Plan Illustrative: Entry Skylight & Landscape



Site Plan Elevation: Green Wall along Southern Edge

PROJECT DESCRIPTION: Prior Approvals

The subject property is not subject to the conditions of any previous plans or approvals.

ANALYSIS: Conformance to Development Standards

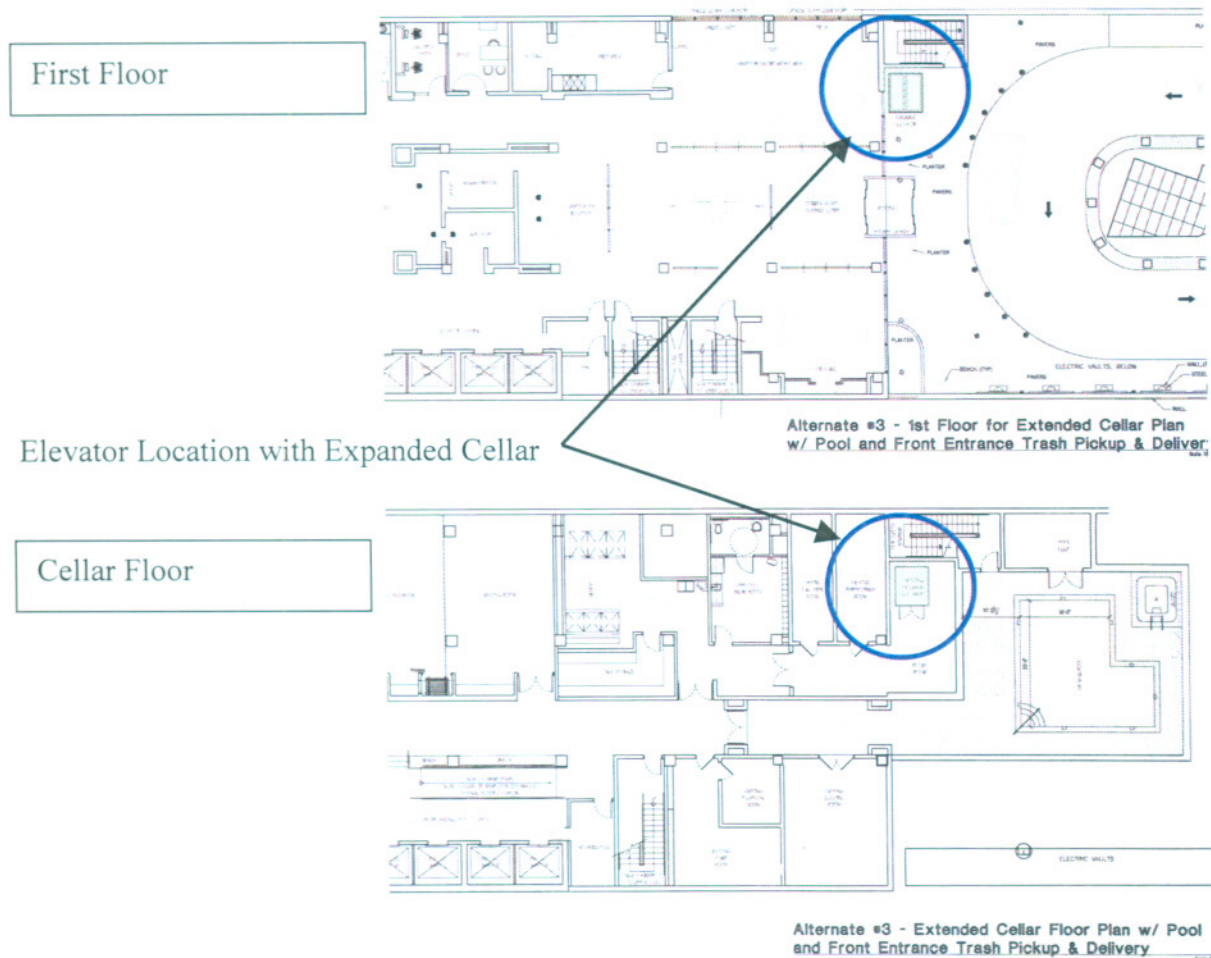
PROJECT DATA TABLE (CBD-1 Zone)

Development Standard	Permitted/ Required ²	Proposed for Approval ³
Minimum Lot Area (square feet)	n/a	21,881
Gross Tract Area (square feet)	n/a	21,881
Net Lot Area (square feet)	n/a	17,170
Maximum Building Coverage (% of net lot area)	n/a	63.80
Minimum Public Use Space (% of net lot area)	n/a	n/a
Maximum Density: Gross Floor Area (square feet)	n/a	142,212
Maximum Density: FAR	n/a	6.5
Maximum Density: Non-Residential FAR	n/a	6.5
Min. Building Setbacks (feet)		
from street	n/a	19
rear	n/a	2.02
side yard, north	n/a	0
side yard, south	n/a	0
Max. Building Height (feet)	n/a	121.5 (existing)
Parking Spaces ⁴		
240 Hotel Rooms	120	0
<u>1,250 square feet of Assembly Area</u>	<u>2</u>	<u>0</u>
Total	122	0
Bicycle Spaces	7	7

² The existing building was constructed in 1969 under the C-2 zone. As an existing building the subject property is exempt from the development standards of the CBD-1 zone pursuant to sections 59-C-6.24(a) and 59-C-6.24(f).

³ Building coverage, setbacks, and height are shown as existing and will not be changed. The gross floor area is increased by 240 square feet for a new vestibule and stairs. This is allowed pursuant to section 59-C-6.24(f)(ii), which allows façade improvements and expansions of lobby and public waiting areas up to 10 percent or 500 square feet of gross floor area (whichever is less) and pursuant to section 59-C-6.24(f)(iii), which allows additions for purposes of meeting building and fire code requirements.

⁴ The subject site is located in a parking district and is not required to provide onsite parking. Parking is tabulated here for assessment purposes.



Site Plan: Alternate #3 – Front Entrance Trash Pickup and Delivery

Community Position

Staff has not received any community correspondence, written or verbal, on this matter.

Staff Analysis/Position

Staff supports and encourages any agreement that would allow deliveries to be made and refuse to be removed from the site via the rear entrance. If this agreement cannot be obtained, use of the front as a means of refuse pickup and delivery will be subject to the conditions in the Transportation section above.

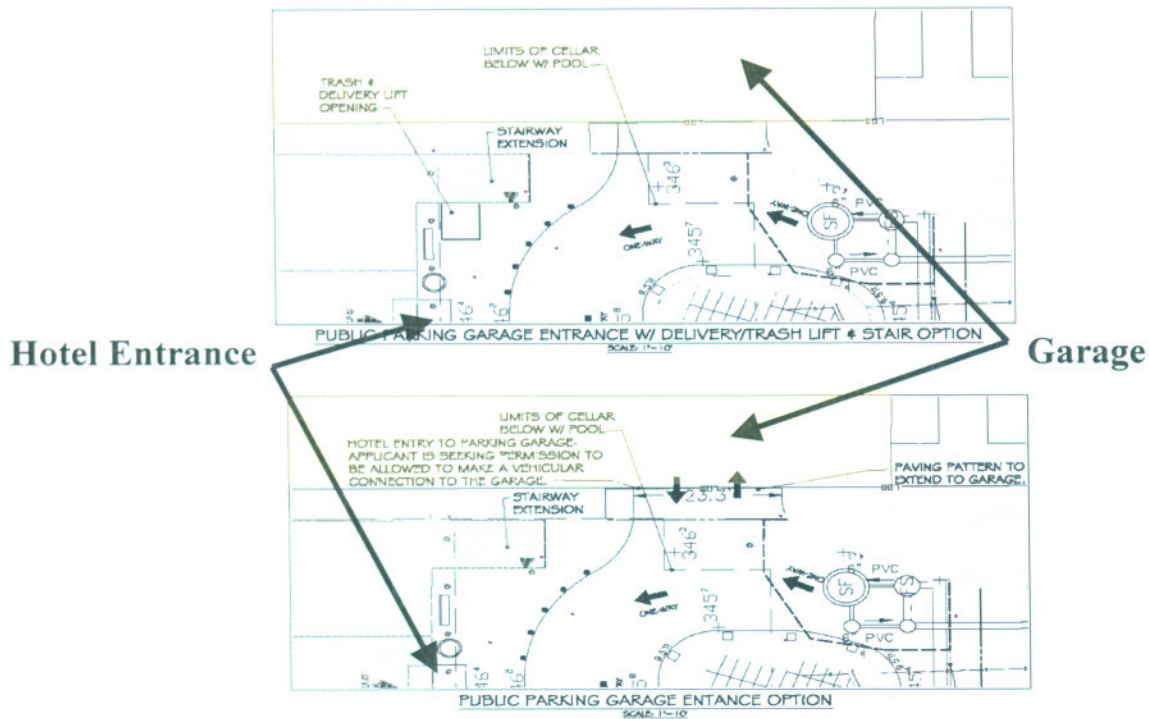
II. Parking Garage Access

The applicant is pursuing an agreement with Montgomery County, which owns the adjacent parking garage, to allow construction of a vehicular and pedestrian access to the parking garage from the proposed turn-around in front of the hotel entrance. The site plan as proposed shows no

such access, but the following alternates are proposed depending on the outcome of these agreements.

Applicant's Proposal

The applicant has proposed to alter the site plan as necessary to provide access to the existing adjacent parking garage in concert with the decisions made with respect the rear trash pickup and delivery options, according to the Site Plan Options stamped by the M-NCPPC on January 5, 2007. The options alter the site plan according to which agreements are obtained.



Site Plan Options: Parking Garage Connection with and without Trash & Delivery Lift

Community Position

Staff has not received any community correspondence, written or verbal, on this matter.

Staff Analysis/Position

Staff supports and encourages any agreement to construct the vehicular and pedestrian access to the adjacent parking garage. In lieu of this agreement, staff supports the approval of this project with the additional condition noted in the Alternate Site Plan Options section of the Staff Recommendation

ANALYSIS

Conformance to Master Plan

The subject site is in the Silver Spring CBD Sector Plan along one of the two main thoroughfares. The sector plan envisions that redevelopment and streetscape enhancement along these thoroughfares “will combine to create a pedestrian-friendly corridor.”⁵ The proposal maintains the approved layout and details of the Silver Spring Streetscape and adds visual interest to this “urban boulevard” as defined by the Sector Plan.⁶

The site itself is on the boundary between the “core” and “other areas of the CBD”, but is within walking distance of the transit center and along both inter- and intra-city bus lines. As such, the pedestrian connections to the hotel and the width of the sidewalk along the frontage of the site must be adequate for heavy pedestrian use. These needs are met by the proposed site plan. Parenthetically, the frontage along Colesville Road is also designated for a local on-road bikeway, which is not directly impacted by this site plan.

The question of scale is raised by the Sector Plan and has direct bearing on this site due to the existing building height of 121.5 feet.

In Silver Spring, the scale of a corridor – composed of buildings, sidewalk – and street, is defined by its width and the height of adjacent buildings. The relationship between these dimensions determines the light, air, and character of the street.⁷

Because the existing building sits back from the site and trees, landscaping, and other site features buffer the height of the building, the scale of the streetscape is comfortable and pedestrian-oriented.

A final topic of concern of the Sector Plan is the subject of environmental standards and stormwater management. With respect to this subject, “the County encourages all new construction and building retrofits to follow the County’s model energy efficient design standards.”⁸ In particular, stormwater management is seen as “the most important environmental issue to address in the Silver Spring CBD.”⁹ The subject site addresses this issue as outlined in the findings below.

⁵ Silver Spring Central Business District Sector Plan, Approved & Adopted, February 2000, page 13.

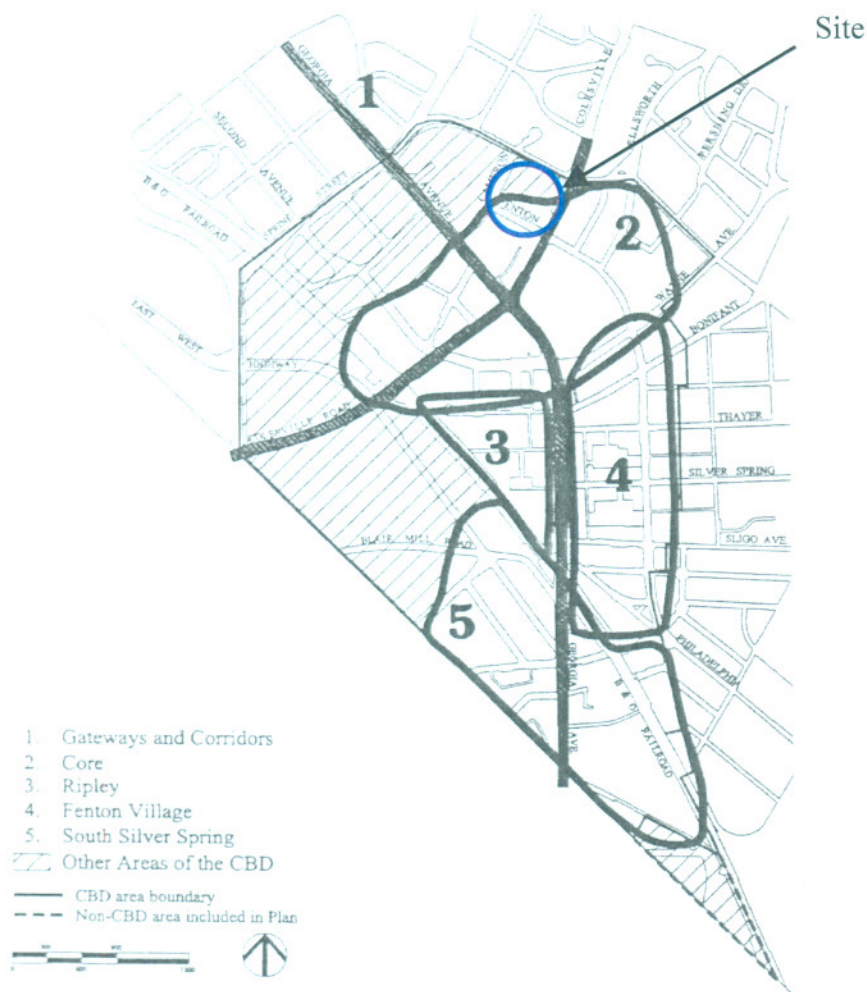
⁶ Ibid, page 22 and map on page 41.

⁷ Ibid, page 25.

⁸ Ibid, page 143.

⁹ Ibid.

Map 7 Revitalization Areas



Silver Spring CBD Sector Plan: Map 7 – Revitalization Areas¹⁰

M-NCPPC Community Based Planning Staff has summarized their analysis of the project as follows:

The Silver Spring CBD Sector Plan recommends a variety of strategies that will help to “recreate the Core as the active center of downtown Silver Spring.” The proposed project will take an abandoned office building and convert it to an integral part of the revitalized downtown. It will contribute to a vibrant mix of uses, foster activity in the Core and provide employment opportunities.

Reuse of the existing office building cannot be expected to achieve all of the urban design goals in the Sector Plan (e.g., a continuous building line along the street). Nevertheless, it can maintain the continuity of the design treatment along Colesville Road by providing the Type A streetscape standard along the project’s frontage. Given the lack of on-site parking for hotel guests and staff, we encourage the applicant to work

¹⁰ Ibid, page 35.

with the Montgomery County Department of Public Works and Transportation to provide a direct vehicular and pedestrian connection between the proposed hotel and public parking garage #21 on the adjoining property to the north. We also recommend that the brick sidewalk along Colesville Road be extended along the northern edge of the property to the garage.

A full background and analysis of their recommendation is provided in Appendix F.

Local Area Transportation Review

The proposed 240-unit hotel is proposed to replace 153,024 square feet of office space. A traffic statement submitted on May 8, 2006 indicates that based on LATR guidelines, the proposed hotel would generate 0.2 trips per room in the peak hour or 54 peak hour trips¹¹. The existing development with 153,024 square feet of office space would generate 1.6 trips per 1,000 square feet or 245 peak hour trips. Although the proposed land use generates a total of 30 or more peak-hour trips during the weekday morning and evening peak hour, a traffic study is not required to satisfy the Adequate Public Facilities/Local Area Transportation Review test because the proposed hotel would generate significantly fewer trips than the approved office use.

A full discussion by the Transportation Planning staff is provided in Appendix A.

Environmental

As noted in the master plan analysis, environmental concerns are of paramount interest for redevelopment in Silver Spring. The subject site plan provides a greater number and diversity of plantings on site than the existing use. No noise attenuation is required due to the setback from the street and the fact that all extended-stay rooms are at least 8 floors above street level. Because modern stormwater quality measures are being installed, the proposed redevelopment will have a positive impact on run-off as compared to existing conditions. No recharge or channel protection is required; neither are a forest conservation plan or a tree save plan.

Community Outreach

Notice of the application was mailed on August 9, 2006 [Appendix G] and signs were erected for on the subject property on August 30, 2006 [Appendix H]. A pre-submission hearing was held on June 22, 2006 [Appendix I]. Staff has received no correspondence, written or verbal on the subject site plan.

FINDINGS: For Site Plan Review

1. *The site plan conforms to all non-illustrative elements of a development plan or diagrammatic plan, and all binding elements of a schematic development plan, certified by the Hearing Examiner under Section 59-D-1.64, or is consistent with an approved*

¹¹ The initial traffic statement was based on a proposed 272-unit hotel.

project plan for the optional method of development, if required, unless the Planning Board expressly modifies any element of the project plan.

The site plan is not subject to any development plan, diagrammatic plan, schematic development plan, or project plan.

2. *The Site Plan meets all of the requirements of the zone in which it is located, and where applicable conforms to an urban renewal plan approved under Chapter 56.*

As previously, discussed, this site is not subject to the development standards of the CBD-1 zone because it falls under zoning ordinance section 59-C-6.24. This section covers the alteration, repair, and enlarging of existing buildings and structures for which a building permit was issued and any use which was instituted after December 31, 1958.

3. *The locations of buildings and structures, open spaces, landscaping, recreation facilities, and pedestrian and vehicular circulation systems are adequate, safe, and efficient.*

- a. Buildings

The existing building is not being significantly altered such that it will become unsafe or inefficient. Conversely, the redeveloped building will become an asset to the community and streetscape of the Silver Spring Central Business District.

- b. Open Spaces

The subject site plan is not required to provide open space, but approximately 36% of the site will be pedestrian walkways, landscaped beds, or a paver driveway. This open space along with existing street trees will provide enhanced interest and beauty to the Silver Spring Streetscape.

- c. Landscaping and Lighting

The proposed landscaping on the site consists of a mix of flowering trees, evergreen shrubs, container plantings, and various ground covers. The plantings will provide visual interest throughout the year and be easily maintained; furthermore, the vines and trellage will add appeal to an otherwise barren wall.

The lighting plan for the subject site plan consists of approved Silver Spring street lamps, wall mounted path lights, accent lights to illuminate the trees and pole lighting around the driveway. This lighting plan creates a safe and enjoyable atmosphere at night for both pedestrians and vehicles.

d. Pedestrian and Vehicular Circulation Systems

As amended by the conditions of the Staff Recommendation section, the vehicular and pedestrian circulation systems are adequate, safe, and efficient. The subject site plan encourages the development of active urban streets and improves the quality of the pedestrian environment by providing enhancement of the streetscape as envisioned by the master plan.

Access points to the site are to be provided from Colesville Road by means of an expanded curb cut. This entrance brings vehicles in to a one-way turn-around to drop-off guests and luggage. As discussed earlier, it is hoped that a connection to the adjacent parking garage will be constructed to facilitate parking and traffic flow for the subject site.

A four to eight foot wide walkway rings the site and provides access to the hotel and parking garage from Colesville Road. Careful attention has been paid to maintain the predominance of the pedestrian-nature of the streetscape and sidewalk across the entry driveway. Furthermore the use of planting areas and different paving materials highlights pedestrian “zones” and ensures a safe, functional environment.

4. *Each structure and use is compatible with other uses and other site plans and with existing and proposed adjacent development.*

The proposed renovation of the existing office building is an appropriate use for the structure. Off site parking is easily found at the adjacent parking garage and will be minimized due to the subject site’s proximity to the transit center and corridors. The impact on the adjacent residential property is being minimized due to the nature of the lighting plan and even enhanced by plantings and a more interesting building façade and landscape.

5. *The Site Plan meets all applicable requirements of Chapter 22A regarding forest conservation , Chapter 19 regarding water resource protection, and any other applicable law.*

The proposed development is exempt from forest conservation requirements as per exemption #4-06292E for Modification of Existing Developed Property [Appendix B].

The proposed stormwater management concept consists of on-site water quality control via “Stormfilters”. Recharge is not required since this is redevelopment. Channel protection volume is not required because the one-year post development peak discharge is less than or equal to 2.0 cfs.

APPENDIX

- A. Memorandum from M-NCPPC Transportation Planning Division.
- B. M-NCPPC Environmental Planning Division Forest Conservation Recommendations
- C. Fire Marshal Comments
- D. Stormwater Management Concept Approval
- E. Site Plan
- F. Memorandum from M-NCPPC Community Based Planning Division.
- G. Notice of Application to Adjacent and Confronting Property Owners
- H. Affidavit in Compliance with Montgomery County Zoning Ordinance
- I. Affidavit of pre-submission meeting, notice, list of attendees, and summary of meeting.



MONTGOMERY COUNTY PLANNING DEPARTMENT
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

January 3, 2007

MEMORANDUM

TO: Joshua Sloan, Senior Planner
Development Review Division

VIA: Shahriar Etemadi, Supervisor
Transportation Planning

FROM: David Paine, Coordinator *DP.*
Transportation Planning

SUBJECT: Adequate Public Facilities Review
Site Plan No. 820070030, Colesville Road Hilton
Silver Spring CBD Policy Area

RCH for SE



This memorandum is Transportation Planning staff's adequate public facilities (APF) review as part of the subject site plan review. Colesville Road Hilton is proposing to locate within the existing structure located at 8728 Coleville Road (MD29). 8728 Coleville Road is a now-vacated 13-floor office building with a footprint of 0.39 acres.

RECOMMENDATIONS

Transportation Planning staff recommends the following conditions as part of the APF test for transportation requirements related to this site plan:

1. Approval under this site plan and the use and occupancy permit is limited to a 272-unit hotel.
2. The applicant shall enter into a Traffic Mitigation Agreement (TMAg) to participate with the Silver Spring Transportation Management Organization. Fully execute and sign the TMAg prior to release of any Use and Occupancy Permit.
3. The applicant shall limit service, refuse, and delivery vehicles accessing the site to non-peak period hours (6:30 a.m. to 9:30 a.m. and 4:00 p.m. to 7:00 p.m., Monday through Friday) should service access be from Colesville Road (MD29) only.
4. Provide for weather-protected storage of seven (7) bicycles.

DISCUSSION

Site Location and Vehicular Site Access Points

The subject site is located on the west side of Colesville Road between Spring Street and Fenton Street. Vehicular access is from Colesville Road. Service access is proposed at the rear of the building via a tentative ingress/egress easement agreement with United Pharmaceuticals. Alternatively, the site will only be accessible to vehicles from the Colesville Road entrance. Should service access be from Colesville Road only, the applicant shall limit service, refuse, and delivery vehicles accessing the site to non-peak period hours (6:30 a.m. to 9:30 a.m. and 4:00 p.m. to 7:00 p.m., Monday through Friday).

Pedestrian and Bicycle Facilities

Pedestrian facilities would not be adversely impacted by the proposed redevelopment. Pedestrian access to the front of the building will be provided via ADA compatible sidewalks at the south of the site and north end of the site adjacent to the public garage. Special pavement treatment will be provided for the 6' wide pedestrian access walks. The existing streetscape along Colesville Road will be maintained to the Silver Spring Streetscape – Plan A design standard, with a 15' wide pedestrian space with brick pavers. In lieu of bike racks for this site, the applicant shall provide seven (7) bike spaces in a weather-protected area.

Public Transit Availability

Ride-On routes 12, 13, 14, 42, all of the Metrobus Z2, Z6, Z8, Z9, Z11, Z13, Z29, and MTA's 915 and 925 commuter routes operate along this reach of Colesville Road. The site is located one third of a mile from the Silver Spring Transit Center.

Master-Planned Roadways and Bikeways

In the *Silver Spring CBD Sector Plan*, Colesville Road (MD29) is designated as a major highway, M-10, with a 120-foot right-of-way and six lanes with a reversible lane. No Bikeways are planned for this segment of Colesville Road.

Local Area Transportation Review Test

The proposed 272-unit hotel is proposed to replace 153,024 square feet of office space. A traffic statement submitted on May 8, 2006 indicates that based on LATR guidelines, the proposed hotel would generate 0.2 trips per room in the peak hour, or 54 peak hour trips. The existing development with 153,024 square feet of office space would generate 1.6 trips per 1,000 square feet or 245 peak hour trips. Although the proposed land use generates a total of 30 or more peak-hour trips during the weekday morning and evening peak hour, a traffic study is not required to satisfy the Adequate Public Facilities/Local Area Transportation Review test because the proposed hotel would generate significantly fewer trips than the approved office use.

Traffic Mitigation Agreement

The subject development is located within the Silver Spring Transportation Management District (TMD). The applicant must participate in the TMD by promoting alternative transportation options to hotel employees. The applicant must enter into an agreement with DPWT and the Planning board to help the county meet mode share goals to meet the 50% non-auto driver mode share goal for the TMD.

DP:SE:ba

cc: Chuck Kines
Barbara Kearney

820070030 mmo to Sloan hotel. doc

**MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
FOREST CONSERVATION RECOMMENDATIONS**

TO: Inspector Staff, Development Review Division

SUBJECT: Project Name Metro DC Hotel, LLC Date Recd 4/05/06 NRI/FSD # 4-06292E

The above-referenced plan has been reviewed by the Environmental Planning Division to determine the requirements of Chapter 22A of the Montgomery County Code (Forest Conservation Law). A determination has been made that the plan qualifies for the following exemption:

EXEMPTION:

Modification of Existing Developed Property – no more than a total of 5,000 square feet of forest will be cleared; no forest clearing within a stream buffer or on property subject to SPA WQP requirements; and does not require new subdivision plan.

This property is not within a Special Protection Area*.

* Properties within a Special Protection Area (SPA) may be required to submit a Preliminary Water Quality Plan. Contact Leo Galanko at MCDPS for information regarding the requirements (240-777-6242).

Please submit mylar for approval stamp.

Signature:  _____
Josh Penn, Environmental Planning

Date: 5/05/06

cc: Gene Kaufman, for the applicant (212-625-8867)



FIRE MARSHAL COMMENTS

DATE: 12-12-06
TO: PLANNING BOARD, MONTGOMERY COUNTY
FROM: MARIE LABAW 240-777-2457
RE: COLESVILLE ROAD HILTON/HAMPTON INN/HOMEWOOD SUITES 8-20070030

PLAN APPROVED provided the following conditions are met:

1. Provide 2 (two) fire department connections within 100 feet of a hydrant.
-
1. Review based only upon information contained on the plan submitted **12-07-06**. Review and approval does not cover unsatisfactory installation resulting from errors, omissions, or failure to clearly indicate conditions on this plan.
 2. Correction of unsatisfactory installation will be required upon inspection and service of notice of violation to a party responsible for the property.



RECEIVED



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan
County Executive

July 24, 2006

Robert C. Hubbard
Director

Ms. Kestra Kelly
Vika, Inc.
20251 Century Boulevard, Suite 400
Germantown, MD 20874

Re: Stormwater Management **CONCEPT** Request
for Metro D.C. Hotel
SM File #: 226341
Tract Size/Zone: 0.394 Ac./CBD-1
Total Concept Area: 0.19
Lots/Block: 7
Parcel(s): 101
Watershed: Sligo Creek

Dear Ms Kelly:

Based on a review by the Department of Permitting Services Review Staff, the stormwater management concept for the above mentioned site is **acceptable**. The stormwater management concept consists of on-site water quality control via "StormFilters". Recharge is not required since this is redevelopment. Channel protection volume is not required because the one-year post development peak discharge is less than or equal to 2.0 cfs.

The following **items** will need to be addressed during the detailed sediment control/stormwater management plan stage:

1. Prior to permanent vegetative stabilization, all disturbed areas must be topsoiled per the latest Montgomery County Standards and Specifications for Topsoiling.
2. A detailed review of the stormwater management computations will occur at the time of detailed plan review.
3. An engineered sediment control plan must be submitted for this development.
4. All filtration media for manufactured best management practices, whether for new development or redevelopment, must consist of MDE approved material.
5. The water quality structure will be designed as flow based.
6. Please provide a flow splitting scheme. We do not allow internal bypass.
7. This concept is only for the front half of the property.

This list may not be all-inclusive and may change based on available information at the time.

Payment of a stormwater management contribution in accordance with Section 2 of the Stormwater Management Regulation 4-90 is required.

This letter must appear on the sediment control/stormwater management plan at its initial **submittal**. The concept approval is based on all stormwater management structures being located outside of the Public Utility Easement, the Public Improvement Easement, and the Public Right of Way unless specifically approved on the concept plan. Any divergence from the information provided to this office; or additional information received during the development process; or a change in an applicable Executive Regulation may constitute grounds to rescind or amend any approval actions taken, and to reevaluate the site for additional or amended stormwater management requirements. If there are subsequent additions or modifications to the development, a separate concept request shall be required.

If you have any questions regarding these actions, please feel free to contact David Kuykendall at 240-777-6332.

Sincerely,

Richard R. Brush, Manager
Water Resources Section
Division of Land Development Services



MONTGOMERY COUNTY PLANNING DEPARTMENT
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

December 29, 2006



MEMORANDUM

TO: Joshua Sloan, Senior Planner
Development Review Division

FROM: Glenn Kreger, Silver Spring/Takoma Park Team Leader
Community-Based Planning Division

SUBJECT: Colesville Road Hilton Conversion
Site Plan #820070030

RECOMMENDATION

The Community-Based Planning Division has reviewed the above-referenced plan with respect to the February 2000 *Approved and Adopted Silver Spring CBD Sector Plan*. We recommend approval of the proposed site plan with the condition that the applicant modify the Silver Spring Type A streetscaping to include Belden brick pavers in the basketweave pattern across the project's frontage.

BACKGROUND

Proposed Site Plan #820070030 involves the conversion of an existing, unoccupied office building on Colesville Road to hotel use. The 13-story building would have 276 hotel rooms and a small amount of meeting space on a 0.39-acre lot. The property is zoned CBD-1. Hotels were once permitted in the CBD zones only through the Special Exception process under the Optional Method of Development. In 2002 the planning staff initiated and secured the approval of a Zoning Text Amendment that permits hotels, by right, in certain CBD zones subject to site plan review for Standard Method projects.

ANALYSIS

The Silver Spring CBD Sector Plan recommends a variety of strategies that will help to "recreate the Core as the active center of downtown Silver Spring." The proposed project will take an abandoned office building and convert it to an integral part of the revitalized downtown. It will contribute to a vibrant mix of uses, foster activity in the Core and provide employment opportunities.

Reuse of the existing office building cannot be expected to achieve all of the urban design goals in the Sector Plan (e.g., a continuous building line along the street).

Nevertheless, it can improve the design treatment along Colesville Road by providing Belden brick sidewalks in the basketweave pattern along the project's frontage. Given the lack of on-site parking for hotel guests and staff, we encourage the applicant to work with the Montgomery County Department of Public Works and Transportation to provide a direct vehicular and pedestrian connection between the proposed hotel and public parking garage #21 on the adjoining property to the north. We also recommend that the brick sidewalk along Colesville Road be extended along the northern edge of the property to the garage.

GK:ha: j:\cbd2\kreger\Hilton conversion

ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ GPS SERVICES

Mailing Date: 8-9-06

NOTICE OF APPLICATION
ADJACENT AND CONFRONTING PROPERTY OWNERS
APPLICATION TO BE CONSIDERED BY
THE MONTGOMERY COUNTY PLANNING BOARD

SITE PLAN -Conversion of existing office building to a hotel facility

Name of Plan	<u>Colesville Road Hilton, Hampton Inn & Homewood Suites</u>
Plan Number	<u>820070030</u>
Current Zoning	<u>CBD-1</u>
No. Proposed Units/Area Included-	<u>Not more than 276 Rooms plus Meeting Spaces</u>
Geographical	<u>8728 Colesville Road, Silver Spring, MD</u>

The above-referenced plan application has been filed with the Montgomery County Planning Board and is being reviewed under the provisions of the Montgomery County Code.

A copy of the proposed plan is enclosed. This plan may change because specific reviews and changes suggested by M-NCPPC and other county and state agencies. If you have any comments, please send them to the Development Review Division, Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring, Maryland 20910-3760.

The Montgomery County Planning Board will hold a public hearing on the above referenced plan application to obtain public comment. Written notification of the date of the public hearing date will be sent to you no later than ten days before the meeting.

If you have any questions, please contact the Park and Planning Commissions Development Review Division at (301) 495-4595.

Sincerely,
VIKA, Inc.
20251 Century Boulevard
Suite 400
Germantown, MD 20874

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SITE
Project Plan #: 820070030

SITE
Project Plan Name: Colesville Road Hilton, Hampton Inn & Homewood Suites

AFFADAVIT IN COMPLIANCE WITH MONTGOMERY COUNTY ZONING ORDINANCE

On this 30th day of August, 2006, before me the subscriber, a Notary Public of the State and County aforesaid, personally appeared Logan Alomar who made oath in due form of law as follows:

That within 10 days from the filing date, the provided signs were erected for the above captioned Project Plan on the subject property, in accordance with the required distances and positioning as set forth in the above mentioned Ordinance.

Logan Alomar
Signature

Subscribed and sworn to, before me, on the day and year above written.

Kimberly Baldwin
Notary Public

SEAL

My Commission Expires 7/15/08




Appendix I: Affidavit of pre-submission meeting, notice, list of attendees, and summary of meeting for Site Plan 820070030

AFFIDAVIT

METRO DC HOTEL, LLC

A pre-submission meeting was held on June 22, 2006 at the Crowne Plaza (Holiday Inn), 8777 Georgia Avenue, Silver Spring, Maryland in the Spring Room. The meeting began at 7:00 pm. The following is submitted for the record:

1. A typed list of everyone who was invited to the meeting.
2. A copy of the Notice of the meeting.
3. A typed list showing those who were in attendance
4. A memorandum setting forth the summary of the meeting.

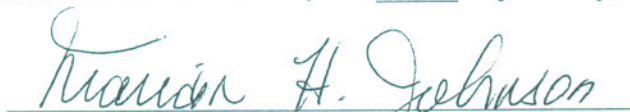


Robert H. Metz

STATE OF MARYLAND

COUNTY OF MONTGOMERY

SWORN TO AND SUBSCRIBED before me, this 31st day of July, 2006.



Notary Public

My Commission Expires: 7-1-08

NOTICE

The office building located at 8728 Colesville Road in the Silver Spring Central Business District is going to be converted into a hotel. This conversion requires that a site plan be approved by the Montgomery County Planning Board. We will present our plans to you on Thursday, June 22, 2006 at 7:00 pm. The presentation will take place at the Crowne Plaza (Holiday Inn), 8777 Georgia Avenue, in the Spring Room.

If you have any questions, please call Bob Metz at (301) 961-5112.

Citizens' Meeting
8728 Colesville Road
June 22, 2006

List of Attendees

Joseph Lumpp
12317 Pueblo Road
Gaithersburg, MD 20878

Robert D. Peters
Courtyard Marriott
8506 Fenton Street
Silver Spring, MD 21901

643215

Citizens' Meeting
8728 Colesville Road
Metro 8 LLC
June 22, 2006

Summary of Minutes

The meeting began at 7:00 pm on Thursday, June 22, 2006 at the Holiday Inn Crowne Plaza in Silver Spring.

The meeting began with an explanation of the purpose for the meeting, followed by a description of the project. The approval process was then explained that in order for the office building to be converted to a hotel, it was necessary for the Planning Board to approve a site plan.

The two citizens who attended the meeting were managers of two hotels in Silver Spring. They were interested in when the project would be open for business, what amenities would be offered, how parking would be handled, how many rooms would there be, what outside construction would occur, what would be in the lobby and the like.

The meeting ended at 7:30 pm.