



MONTGOMERY COUNTY PLANNING DEPARTMENT
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

MCPB
Item #
Date: 10/04/07

MEMORANDUM

DATE: September 21, 2007

TO: Montgomery County Board of Appeals

VIA: Rose Krasnow, Chief, Development Review Division

Ralph Wilson, Acting Zoning Supervisor, Development Review Division

FROM: Elsabett Tesfaye, Planner Coordinator (301) 495-1301

SUBJECT: **Special Exception Modification CBA-2521 Montgomery General Hospital–**
Request for modification to the approved special exception for a hospital.

Acreage: 27.19 acres

Zone: RE-2, R-200 and R-60

Address: 18101 Prince Philip Dr., Olney MD 20832

Applicant: Montgomery General Hospital, Inc.

MASTER PLAN: 2005 Olney Master Plan

FILING DATE: February 16, 2007

PLANNING BOARD HEARING: October 4, 2007

PUBLIC HEARING: October 19, 2007

Staff Recommendation:

Approval with conditions.

Rationale

The proposed modification satisfies all applicable requirements for approval of a special exception as specified in the Montgomery County Zoning Ordinance. Moreover, the modifications are consistent with the recommendations of the 2005 Olney Master Plan. The proposed modification will not substantially change the nature, character and scope of the activities and services currently provided by the hospital. There are no traffic, circulation, noise or environmental issues associated with the application provided that the recommended conditions are satisfied.

The construction of the hospital and subsequent modifications pre date the current environmental requirements regarding development restrictions within the stream valley buffer. As a result, certain hospital facilities are located within or in very close proximity to the stream valley buffer on the northernmost portion of the property. The location of existing structures and facilities, to some extent, dictates the location and placement of the proposed improvements in the current application. In particular, the proposed helicopter pad which is located at the edge of the stream valley buffer and the proposed bio-filtration facility that is located within the buffer have been the focus of intense negotiations between Environmental Planning staff and the applicant. The negotiation resulted in an agreement that will ultimately protect the stream while allowing the hospital to relocate the helicopter pad and install a new stormwater facility in a more accessible and efficient location. The solution worked out between the parties also resulted in additional landscaping, removal of previously impervious surface areas, extensive planting, and an environmentally sensitive stormwater treatment (bio-filtration). The proposed treatment to the stream valley buffer area is an additional amenity that will benefit the hospital and protect the stream.

The proposed special exception modification improves patient services at the hospital and upgrades the hospital facilities. In the most recent site plan revision (September of 2001), the Board of Appeals determined that the Hospital conforms to all the applicable requirements of the Zoning Ordinance. The current proposal does not alter any of the Board's previous findings or determinations of compatibility with surrounding properties and the general neighborhood.

Staff recommend's approval of CBA-S-2516 with the following conditions:

1. All existing trees and shrubs must be depicted on the landscape plan.
2. Applicant must plant all unforested and non-impervious areas of the stream valley buffer in accordance with the Environmental Enhancement Exhibit submitted to Environmental Planning on September 19, 2007.
3. Applicant must place all existing forest and all areas to be planted in forest within the stream buffer, within a Category 1 conservation easement.
4. The applicant must limit expansion related to this special exception modification request at the hospital to no more than 82,250 square feet of additional gross floor area.
5. The applicant must obtain permits from appropriate agencies and post bond to improve the westbound Old Baltimore Road approach to Georgia Avenue (MD 97) by providing a separate right turn lane prior to the release of any building permit for the expansion.
6. The applicant must provide the following lead-in sidewalks from Prince Philip Drive and Old Baltimore Road to the various hospital buildings:
 - a. From Prince Philip Drive:
 - i. Along the north side of the main hospital driveway connecting to

- the existing Medical and Professional Office Buildings and the proposed new west addition.
 - ii. Along the north side of the northern hospital driveway connecting to the existing connecting walkway through the parking lot in front of the existing Professional Office Building.

b. From Old Baltimore Road:

- i. Along the hospital driveway connecting to the existing sidewalk along the east side parking lot (in front of the existing Oncology Building).

The above sidewalks must be shown on the approved special exception site plan and must be constructed prior to occupancy of the proposed additions.

- 7. The applicant must provide a minimum of ten (10) bike lockers for employees and four (4) bike racks for visitors at the hospital. The bike lockers and bike racks must be shown on the approved special exception site plan and must be constructed prior to occupancy of the proposed additions.
- 8. Any temporary construction signs must comply with all applicable requirements of Article 59-F. All signs placed on the property must meet the requirements of Section 59-F-4.2 (a) in terms of number, location and area and Section 59-F-4.1 (e) regarding illumination.

A. Location and Field Inspection

The Montgomery General Hospital is located at the northwest intersection of Olney-Sandy Spring Road and Prince Philip Drive and the intersection of Prince Philip Drive, Tall Timbers Road and Brook Farm Drive. The Hospital's property consists of 44.59 acres of land identified on the plat records as Parcels N-122, N-900, N-933 (Part of Parcel-A), N-961, P-120, P-207, P-209, and Lots 3 through 5; Block B "Timber Land Estates"; and. The property is zoned RE-2, R-200 and R-60. The portion of the property that is the subject of the proposed modification (the special exception site) consists of approximately 27 acres of land and is improved with the main hospital building, several other professional and medical office buildings, a three-level parking garage, and surface parking lots. The special exception site is directly accessed from Prince Philip Drive and is located on the portion of the Hospital's property that is zoned RE-2. The northern most portion of the special exception site lies within a stream valley buffer.

B. Elements of Proposal

I. Proposed Modifications

The applicant, Montgomery General Hospital, requests a modification to the existing special exception (Case No. CBA-2521-H) on the portion of the

hospital's property that is zoned RE-2. The Hospital proposes the following modifications:



VIEW EAST

1. A three-story, 68,500 square-foot addition to the existing hospital building.
2. Installation of a new elevator which will connect to all six floors of the hospital.
3. A two-level plus basement, 13,750-square-foot addition to the east end of the existing hospital building.
4. Relocation of the helipad to a new structure.
5. An increase by 12 spaces to the existing surface parking.
6. Conversion of 31,000 square feet of office space in the existing hospital building into private rooms

The applicant indicated that the proposed modification will not result in an increase in the number of patient beds in the hospital because the intent is to increase the number of private rooms. The modification, however, results in an increase in the number of Emergency Department staff including by, a maximum of 8 more nurses, 3 more nursing technicians and 3 additional clerical personnel. The applicant contends that due to the staggering of work hours over each 24 hour period, only one or two additional employees will be present at any one time.

C. Neighborhood Description

The neighborhood in which the subject site is located is generally defined by Spartan Road to the west and north, Olney-Sandy Spring Road and Brooke Farm Drive to the south, and Old Baltimore Road to the east.



The neighborhood is predominantly residential. The Brooke Grove Elementary School is located in the northeastern corner of the neighborhood, northeast of the subject hospital in the RE-2/TDR Zone. The northern portion of the neighborhood is developed with single-family houses in the RE-2/TDR zone. The southern portion of the neighborhood, southeast of the special exception site, consists of single family houses in the RE-2/TDR zone and largely unimproved parcels of land in the R-200 Zone. The area farther south, across MD 108, is developed with a church in the R-90 Zone, and a mixture of townhouses and single-family dwellings in the R-90TDR and RE-2/TDR zones. West of the subject site are multi-family developments in the PD-9 Zone.

D. Land Use and Zoning History:

Montgomery General hospital has been at the subject location since 1971. Various special exceptions and modifications were granted to the hospital in the past thirty five years including CBA-2521; CBA-2521A-H; S-640; S-343; S-327; CBA-2979; BAS-511; BAS-1920; BAS-1921. Major hospital expansions (building and acreage) took place in the mid 90s and the early part of 2000.

The site that is currently owned by the hospital was placed in the R-A Zone with the 1954 amendment of the Zoning Map. In 1967 the site was zoned R-90, R-R and R-A. The R-A zone was later renamed RE-2. The 1980 Sectional Map Amendment rezoned the R-90 and a part of the R-R zoned portion of the site to the R-60 and RE-2 Zones and the remainder of the R-R zoned portion to R-200 Zone. The Approved 2005 Olney Sectional Map amendment (G-838) retained the property in the RE-2, R-60 and R-200 zones.

E. Analysis

1. Master Plan

The Community Based Planning Staff, in its review of the application, found the proposed special exception modification to be consistent with the Master Plan and in harmony with the general character of the neighborhood.

The Community Based Planning staff offered the following comments:

The 2005 Olney Master Plan recognizes that Montgomery General Hospital is the largest employer in Olney and is a regional attraction in a satellite town whose retail and commercial development remains local in nature. The plan supports expansion of the hospital on its main campus and on vacant land it owns nearby. The proposed additions are located on the main campus.

The proposed modifications are consistent with the Olney Master Plan. This Division recommends approval of the special exception petition, subject to compliance with applicable conditions and requirements.

2. Transportation

The proposal meets the transportation related requirements of Local Area Transportation Review Test (LATR). The Transportation Planning Staff reviewed the site plan and the traffic analysis submitted by the applicant and offers the following comments:

...It is noted that the modifications will not increase the number of patient beds at the hospital. Additionally, in the traffic study, it was assumed that 16,457 square-feet of the proposed 82,250 square-foot addition to the hospital will not generate any additional trips since this space merely accommodated expanded existing services.

Site Location, Vehicular/Pedestrian Access, Transit Availability

Montgomery General Hospital is located to the north of Olney-Sandy Spring Road (MD 108) in Olney, between Prince Philip Drive (to the west side of the hospital) and Old Baltimore Road (to the east side of the hospital). Brooke Farm Drive, a secondary street between Prince Philip Drive and Old Baltimore Road, is to the south of the hospital.

Primary access to the hospital is from Prince Philip Drive via two driveways. Secondary access to the hospital is provided from Old Baltimore Road and Brooke Farm Drive (via Prince Philip Drive). Prince Philip Drive is an arterial roadway that intersects Georgia Avenue to the north and south of MD 108. To the south of MD 108, Prince Philip Drive is constructed as a two-lane arterial (as recommended in the *Olney*

Master Plan). To the north of MD 108, Prince Philip Drive is recommended in the *Olney Master Plan* as a four-lane arterial, and is currently constructed as such between Spartan Road and Georgia Avenue. The Prince Philip Drive intersections with Georgia Avenue (both north and south) and MD 108 are signalized, and its intersection with Spartan Road is All-Way STOP-sign controlled. Old Baltimore Road is a two-lane primary roadway between Gold Mine Road to the north and MD 108 to the south. To the south of MD 108 (to Georgia Avenue), Old Baltimore Road is classified as an arterial. The Old Baltimore Road intersections with Georgia Avenue and MD 108 are signalized. In addition to the hospital, Brooke Farm Drive provides access to six residences along its south side.

Within the study area, MD 108 is a four-lane east-west median-divided highway between Olney Mill Road to the west and Dr. Bird Road to the east. The MD 108 intersections with Queen Elizabeth Drive, Georgia Avenue, Prince Philip Drive, Old Baltimore Road, and Old Vic Boulevard are signalized. Georgia Avenue is a four-lane north-south median-divided major highway within the study area. North of MD 108, Georgia Avenue tapers to a two-lane road. The Georgia Avenue intersections with Gold Mine Road, Queen Elizabeth Drive/Prince Philip Drive, MD 108, Prince Philip Drive/Hines Road, and Old Baltimore Road are signalized.

Staff finds that the proposed special exception use will not adversely affect areawide pedestrian/bicyclist accessibility or safety. Between Georgia Avenue and Spartan Road, sidewalks currently exist along both sides of Prince Philip Drive. Short sections of sidewalk exist along the west side of Prince Philip Drive between Spartan Road and Brooke Farm Drive. A continuous sidewalk currently exists along the east side of Prince Philip Drive between Spartan Road and Brooke Farm Drive. This sidewalk shifts to the west side of Prince Philip Drive north of Brooke Farm Drive at a crosswalk, and extends south to MD 108. Sidewalks also exist along both sides of Old Baltimore Road (almost along its entire section between Gold Mine Road and MD 108) and Spartan Road. Currently, only one lead-in sidewalk exists into the hospital campus, which is along the south side of the main hospital driveway from Prince Philip Drive. This sidewalk leads to the existing Medical Office Building. Staff recommends that the applicant provide additional lead-in sidewalks to enhance/improve pedestrian accessibility to the various hospital buildings from both Prince Philip Drive and Old Baltimore Road.

Land use in the vicinity of the hospital is predominantly residential. The commercial/retail centers in Olney are to the west of the hospital. The newly opened Good Counsel High School and the existing Brooke Grove Retirement Village are to the west of the hospital.

Montgomery General Hospital is serviced by Metrobus routes Y5, Y7, Y8, Y9, and Z2, and RideOn routes 52 and 53, and is the terminal for Metrobus routes Y5, Y7, Y8, and Y9, and RideOn route 52.

Master Plan Roadway and Pedestrian/Bikeway Facilities

The 2005 Approved and Adopted *Olney Master Plan* includes the following nearby master-planned roadways and pedestrian/bikeway facilities:

1. Olney-Sandy Spring Road (MD 108), to the south of the hospital, is classified as a four-lane divided major highway (M-60) between Laytonsville to the west and Dr. Bird Road (MD 182) to the east, with a recommended minimum right-of-way width of 150-feet. A Class I bikeway (shared use path; SP-35 between Georgia Avenue to the west and Dr. Bird Road to the east in both the *Olney Master Plan and Countywide Bikeways Functional Master Plan*) is recommended for MD 108, and currently exists along both sides of MD 108.
2. Georgia Avenue (MD 97), to the west of the hospital, is classified as a four-lane divided major highway (M-8) between Spartan Road to the south and Prince Philip Drive to the north, with a recommended minimum right-of-way width of 120-feet. North of Prince Philip Drive, the right-of-way is reduced to a recommended minimum of 80 feet. A Class I bikeway (shared use path; SP-39 between MD 108 to the south and Brookeville Bypass to the north in both the *Olney Master Plan and Countywide Bikeways Functional Master Plan*) is recommended for Georgia Avenue. Sections of this bike path currently exist along the east side of Georgia Avenue.
3. Prince Philip Drive, along the western hospital frontage, is classified as a four-lane arterial (A-46) between MD 108 to the southeast and Georgia Avenue to the northwest, with a recommended minimum right-of-way width of 80-feet. A Class III bikeway (shared roadway; B-30 between MD 108 to the south and Georgia Avenue to the north) is recommended for Prince Philip Drive, and currently exists between Spartan Road and Georgia Avenue.
4. Old Baltimore Road, along the eastern hospital frontage, is classified as a two-lane primary residential street (P-13) between MD 108 to the south and Gold Mine Road to the north, with a recommended minimum right-of-way width of 70-feet. A Class III bikeway (shared roadway; B-23 between MD 108 to the south and Gold Mine Road to the north) is recommended for Old Baltimore Road, and currently exists. To the south of MD 108 to Georgia Avenue, Old Baltimore Road is classified as a two-lane arterial (A-312) with a recommended minimum right-of-way width of 70-feet.

5. Spartan Road, to the northwest of the hospital, is classified as a two-lane primary residential (P-5) between Appomattox Avenue to the southwest and Old Baltimore Road to the northeast, with a recommended minimum right-of-way width of 70-feet. A Class III bikeway (shared roadway; B-36 between Georgia Avenue to the southwest and Old Baltimore Road to the northeast) is recommended for Spartan Road, which currently exists.

Local Area Transportation Review

A traffic study was required for the proposed special exception modification request since the hospital was estimated to generate 30 or more peak-hour trips during the typical weekday morning (6:30 a.m. – 9:30 a.m.) and evening (4:00 p.m. – 7:00 p.m.) peak periods.

The applicant submitted a traffic study (dated July 2007; Revised August 2007) that examined traffic-related impacts of the proposed additions at the hospital on nearby intersections and at the hospital driveways. Staff review of the study indicated that it complied with the requirements of the *Local Area Transportation Review (LATR) Guidelines* and the traffic study scope provided by staff.

- **Trip Generation**

As noted previously, for the purposes of the traffic analysis, 16,457 square-feet of the proposed 82,250 square-foot addition at the hospital were considered not to generate any additional trips since this space merely accommodated existing services. Existing facilities that were expanded and/or relocated included addition of 13,750 square-feet to the east end of the hospital to convert semi-private double rooms to private single rooms (without increasing the number of beds) and a new dining hall to the west end of the hospital that would be 2,707 square-feet larger (from the existing 3,993 square-feet to proposed 6,700 square-feet). Based on the above, the increase in hospital's peak-hour trip generation for the subject special exception modification request was estimated for 65,798 square-feet (82,250 SF - 13,750 SF - 2,707 SF = 65,798 SF).

The peak-hour trip generation estimate for the hospital addition was based on peak-hour trip generation rates developed for the existing 389,500 square-foot hospital with traffic data collected at the hospital on March 14, 2007 and on March 21, 2007 (Wednesdays). Based on these peak-hour trip generation rates, the area determined to generate new trips to and from the hospital (65,798 square-feet) was estimated to generate approximately 108 total trips during weekday morning peak-hour and 93 total trips during the weekday evening peak-hour. These are summarized in Table 1.

TABLE 1
SUMMARY OF TRIP GENERATION
PROPOSED EXPANSION OF MONTGOMERY GENERAL HOSPITAL, OLNEY

Trip Generation	Morning Peak-Hour			Evening Peak-Hour		
	In	Out	Total	In	Out	Total
Observed Trips (Existing Montgomery General Hospital – 389,500 SF)	467	170	637	144	410	554
Observed Trip Generation Rates (per 1,000 SF)	1.20	0.44	1.64	0.37	1.05	1.42
Trip Increase (for effective 65,798 SF increase in Hospital space)	79	29	108	24	69	93
Total Site Trips (Total Future SF: 389,500 + 82,250 = 471,750 SF)	546	199	745	168	479	647

Source: Integrated Transportation Solutions, Inc.; Traffic Impact Analysis – Montgomery General Hospital; July 2007; Revised August 2007.

Intersection Capacity Analysis

A summary of the capacity/Critical Lane Volume (CLV) analysis results for the study intersections for the weekday morning and evening peak-hours within the respective peak-periods from the traffic study is presented in Table 2.

As shown in Table 2, under Total traffic conditions, CLV values at the study intersections were either below the Olney Policy Area congestion standard of 1,475, or with an applicant identified/implemented roadway improvement (widening of the westbound approach of Old Baltimore Road to Georgia Avenue to provide a separate right turn lane) would not exceed the respective CLV under Background traffic conditions.

TABLE 2
SUMMARY OF CAPACITY CALCULATIONS
PROPOSED EXPANSION OF MONTGOMERY GENERAL HOSPITAL, OLNEY

Intersection	Traffic Conditions					
	Existing		Background		Total	
	AM	PM	AM	PM	AM	PM
Georgia Ave and Gold Mine Rd	855	814	858	820	872	832
Georgia Ave and Pr. Philip Dr/Qn. Elizabeth Dr	1,158	1,104	1,186	1,147	1,194	1,158
MD 108 and Queen Elizabeth Dr	787	931	797	949	803	961
Georgia Ave and MD 108	1,337	1,251	1,354	1,280	1,364	1,283
MD 108 and Spartan Rd	965	1,094	968	1,105	971	1,114
Georgia Ave and Prince Philip Dr/Hines Rd	1,215	1,105	1,228	1,123	1,311	1,130
Georgia Ave and Old Baltimore Rd	1,487	1,077	1,531	1,113	1,535	1,118
with improvement to Old Baltimore Rd	--	--	--	--	1,530	1,113
MD 108 and Old Vic Blvd	1,219	1,066	1,266	1,098	1,269	1,100
MD 108 and Old Baltimore Rd	1,366	1,021	1,415	1,043	1,422	1,052
MD 108 and Prince Philip Dr	1,031	1,072	1,033	1,083	1,075	1,109
Prince Philip Dr and Spartan Rd	538	629	541	631	562	650
Prince Philip Dr and Hospital Dr (North)	263	369	263	369	290	401
Prince Philip Dr and Hospital Dr (South)	490	546	490	546	570	610
Brooke Farm Dr and Hospital Dr	53	66	53	66	61	73
Old Baltimore Rd and Hospital Dr	341	230	351	242	357	246

Source: Integrated Transportation Solutions, Inc.; Traffic Impact Analysis – Montgomery General Hospital; July 2007; Revised August 2007.
FY 2005 Congestion Standard for Olney Policy Area: 1,475.

Based on the review of the analysis presented in the traffic study, staff concludes that the proposed subject special exception modification request will pass the APF test with the above identified intersection improvement. Staff recommends that the applicant obtain a permit from the appropriate permitting agencies and post bond for the improvement prior to obtaining building permits for the proposed subject special exception modifications.

- **Alternative Adequate Public Facilities Mitigation Improvement**

Staff has reviewed a request to the Planning Board (See Attachment No. 1) to consider an alternative improvement to the mitigation improvement required to be implemented by the applicant to satisfy APF (under the LATR Guidelines).

The required APF improvement, construction of a separate westbound Old Baltimore Road to northbound Georgia Avenue right-turn lane, was proposed by the applicant to mitigate the overall impact of the additional density being planned at Montgomery General Hospital. If the Planning Board is to consider an alternative improvement to the required APF improvement at the intersection of Georgia Avenue and Old Baltimore Road, then staff recommends that the Planning Board require the applicant to provide a shared-use path along Old Baltimore Road between Menden Farm Drive and Covered Wagon Way in-lieu of the required APF improvement.

Transportation staff recommends the following condition as part of the APF test related to approval of the subject special exception application.

1. The applicant must limit expansion related to this special exception modification request at the hospital to 82,250 square feet of additional floor area.
2. The applicant must obtain permits from appropriate agencies and post bond to improve the westbound Old Baltimore Road approach to Georgia Avenue (MD 97) to provide a separate right turn lane prior to the release of any building permit for the expansion.
3. The applicant must provide the following lead-in sidewalks from Prince Philip Drive and Old Baltimore Road to the various hospital buildings:
 - c. From Prince Philip Drive:
 - i. Along the north side of the main hospital driveway connecting to the existing Medical and Professional Office Buildings and the proposed new west addition.
 - ii. Along the north side of the northern hospital driveway connecting to the existing connecting walkway through the parking lot in front of the existing Professional Office Building.

- d. From Old Baltimore Road:
 - i. Along the hospital driveway connecting to the existing sidewalk along the east side parking lot (in front of the existing Oncology Building).

The above sidewalks must be shown on the approved special exception site plan and must be constructed prior to occupancy of the proposed additions.

- 4. The applicant must provide a minimum of ten (10) bike lockers for employees and four (4) bike racks for visitors at the hospital. The bike lockers and bike racks must be shown on the approved special exception site plan and must be constructed prior to occupancy of the proposed additions.

3. Environment

The Environmental Planning staff has offered the following comments and recommendations:

Compliance with Forest Conservation Law – Chapter 22A

The development has a 'Modification of Existing Developed Property' exemption from forest conservation (No. 42001195E, granted on February 8, 2007). The property is therefore, not subject to submitting a forest conservation plan and there is no Planning Board action on forest conservation.

Forest Conservation/Environmental Guidelines

The Montgomery General Hospital campus is entirely within the Patuxent River primary management area (PMA). Under the current Environmental Guidelines (*Guidelines for Environmental Management of Development in Montgomery County*) the property would be subject to the 10% imperviousness guidelines because of the underlying (RE2) zone. However, most of the improvements at the site have been made over a number of years, predating the Guidelines. Development has resulted in high imperviousness, encroachment into environmental buffers, and a fairly heavily impacted stream valley buffer. Site imperviousness is currently about 40% (474,525 SF). The current project will increase site imperviousness by a further 27,078 SF (2% of the site). This includes the helipad which the applicant proposes placing within the environmental buffer. Environmental Planning staff worked extensively with the applicant to resolve the issue of site imperviousness, preserve the remnants of the undeveloped buffer areas on the site, and try to reverse past environmental impacts where possible. We reached consensus on the following mitigation for the high imperviousness and for existing and proposed encroachment into the environmental buffer:

- Create forest on all remaining open areas of the stream valley buffer (approximately 1.55 acres), with suitable native species;
- Place a Category 1 conservation easement over the stream valley buffer, except for that portion which is currently or proposed (helipad) to be impervious;
- Apply enhanced SWM and BMP's per the "non-conformance" criteria in Chapter VII (page 50 & 52) of the Environmental Guidelines (*Guidelines for Environmental Management of Development in Montgomery County*) to the entire site; and
- No new parking in stream buffer/conservation easement areas.

Environmental Planning staff does not support any forest banking because the placement of the easement and the planting are compensation for exceeding the imperviousness guidelines and for existing and proposed encroachment into the environmental buffer.

Stormwater Management – Chapter 19

The proposed improvements to Montgomery General Hospital require water quality control to be addressed onsite for the proposed helipad and new vehicular areas. Stormwater from the developed portion of the site will be collected through area drain inlets and diverted to a new underground quality and quantity control system. The Montgomery County Department of Permitting Services (DPS) recommends bio filters rather than underground sand filters for this site for safety, efficiency, and improved water quality. The applicant will construct an 11,000 square foot bio filter within a historically heavily impacted portion of the stream valley buffer, to provide reasonable stormwater quality treatment for this project. Our discussions with DPS showed that its proposed location within the stream buffer was the most appropriate. DPS is reviewing the stormwater management concept plan submitted by the project, and has approved the concept in principle.

Watershed Protection/Water Quality

The property is in the Hawlings River subwatershed. The Montgomery County *Countywide Stream Protection Strategy* (CSPS, 2003 Update) lists stream quality and current habitat status as 'excellent', and habitat stability as 'stable' based on data collected between 1994 and 2000. Mitigation measures proposed for this project should result in an overall improvement in water quality.



Legend

13 **Landmark**
 Environmental Services
 20000 WOODBURN RD
 20000 WOODBURN RD
 ELLENDALE, MD 20752
 (301) 278-1300
 WWW.LANDMARK.COM

NO.	DATE	DESCRIPTION	BY	CHECKED
1	08/11/10	ISSUED FOR PERMIT	...	...
2	08/11/10	...	...	...
3	08/11/10	...	...	...
4	08/11/10	...	...	...
5	08/11/10	...	...	...
6	08/11/10	...	...	...
7	08/11/10	...	...	...
8	08/11/10	...	...	...
9	08/11/10	...	...	...
10	08/11/10	...	...	...

OWNER/APPLICANT:
 MONTGOMERY GENERAL HOSPITAL, INC.
 1601 OLNEY RD
 OLNEY, MD 20845
 CONTACT: MR. HAROLD M. PICKETT
 (301) 774-8771

DATE: 08/11/10
SCALE: 1" = 50'

ENVIRONMENTAL ENHANCEMENT EXHIBIT

MONTGOMERY GENERAL HOSPITAL
 OLNEY (8TH ELECTION DISTRICT)
 MONTGOMERY COUNTY, MD
 LIBER 3079, 3629, 5303 and FOLIO 90, 111, 583

13 **Landmark**
 Environmental Services
 20000 WOODBURN RD
 20000 WOODBURN RD
 ELLENDALE, MD 20752
 (301) 278-1300
 WWW.LANDMARK.COM

Water and Sewer

The site is served by WSSC water and sewer service.

The Environmental Planning staff recommends the following condition:

1. Applicant to plant all unforested and non-impervious areas of the stream valley buffer per plan entitled Environmental Enhancement Exhibit submitted to Environmental Planning on September 19, 2007.
2. Applicant to place all existing forest and all areas to be planted in forest within the stream buffer, within a Category 1 conservation easement.

4. General Development Standards

1. **Development Standards-59-G-1.23 (a): Special exceptions are subject to the development standards of the applicable zone where the special exception is located, except when the standard is specified in Section G-1.23 or in Section G-2.**

The following table summarizes the relevant development standards for the RE-2 Zone that are applicable to the proposed special exception request:

Development Standard	Required (current)	Proposed/Existing
Minimum Lot Area 59-G-2.31 (1)	5ac	27.19 ac. (SE site) 17 ac other parcels-
Minimum lot Frontage 59-G-2.31 (2))	200 ft	927.10 ft
Building Setback: 59-G-2.31 (3)	a distance equal to the height of that portion of the building, where the adjacent land is zoned single-family detached residential or is used solely for single-family detached residences, and in all other cases not less than 50 feet from a lot line.	Eastern Addition: 207 ft Western Addition: 327 ft
Building coverage	25% (10.5% current))	11.1%
Maximum Building Height 59-G-2.31 (6)	145 SF	Eastern Addition: 25.5 ft Western addition: 42 ft (73 ft to top of elevation cores)

2. Parking Requirements—59-G-1.23 (b): Special exceptions are subject to all relevant requirements of Article 59-E. Moreover, Section 59-G-31 (4) specifies the following:

Pursuant to Section 59-E-3.7 the parking requirements for a hospital are:

One parking space for each 1,000 square feet of total floor area, plus one space for each resident doctor, plus adequate reserved space for visiting staff doctors, plus one space for each 3 employees on the major shift.

The application proposes a total of 1,181 spaces and has provided the following breakdown of the parking spaces for the various uses in the Hospital:

1sp/ 1,000 SF floor area= 514,650 SF/1,000= 515 sp

1sp/resident doctor=1sp/15 doc= 15 sp

Reserved sp for visiting Staff doctor= 17sp

1 sp/3 employees 450 employees/3 150 sp

Total spaces required 697 sp

Total spaces provided 1181 (1,169 existing)

Sufficient parking accommodation is provided to satisfy the Hospital's parking needs. Moreover, the parking facility meets all applicable setback, screening, access, circulation and minimum landscaping requirements.

3. Forest Conservation-59-G-23 (d): If a special exception is subject to Chapter 22A, the Board must consider the preliminary forest conservation plan required by that Chapter when approving the special exception application and must not approve a special exception that conflicts with the preliminary forest conservation plan.

The special exception site is exempt from a forest conservation plan. However, as noted in the Environmental Planning section Memorandum of September 17, 2007, Environmental Planning staff has worked extensively with the applicant to resolve the issue of site imperviousness, to preserve the remnants of the undeveloped buffer areas on the site, and try to reverse past environmental impacts where possible. The applicant and Environmental Planning staff reached consensus on a

number of mitigation measures to compensate for exceeding the 10% imperviousness guidelines and for existing and proposed encroachment into the environmental buffer.

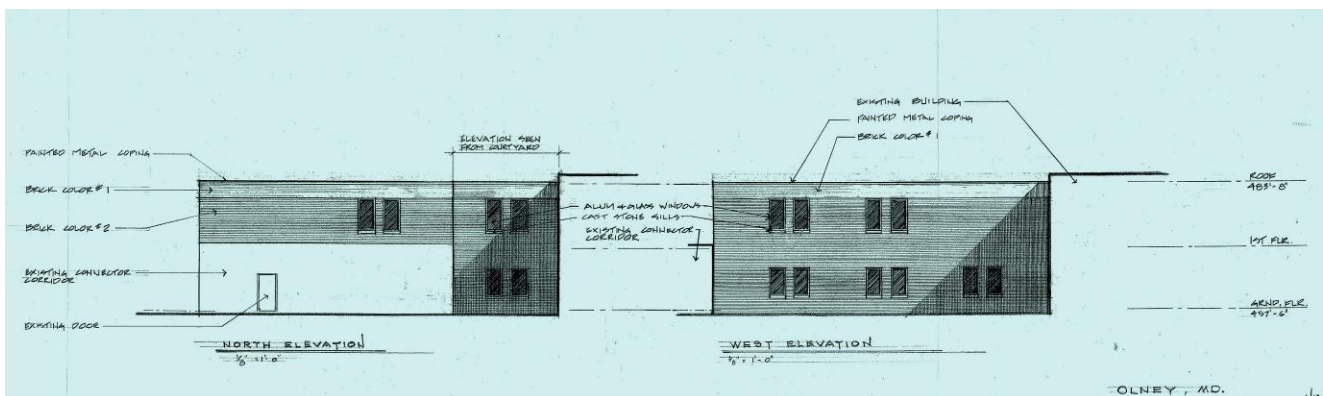
4. Signs—59-G-23(f): The display of a sign must comply with Article 59-F.

No new sign is proposed. Any temporary construction signs must comply with all applicable requirements of Article 59-F. All signs placed on the property must meet the requirements of Section 59-F-4.2 (a) in terms of number, location and area and Section 59-F-4.1 (e) regarding illumination.

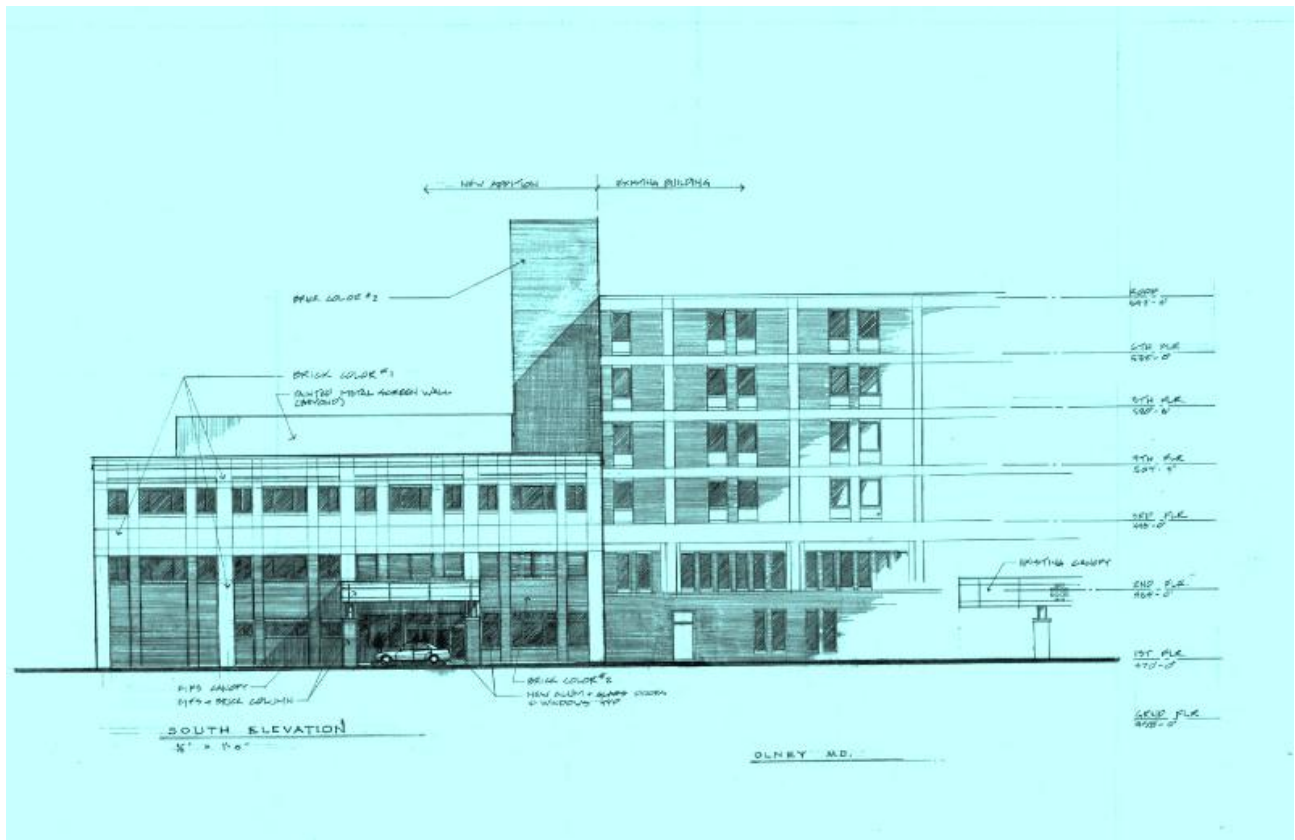
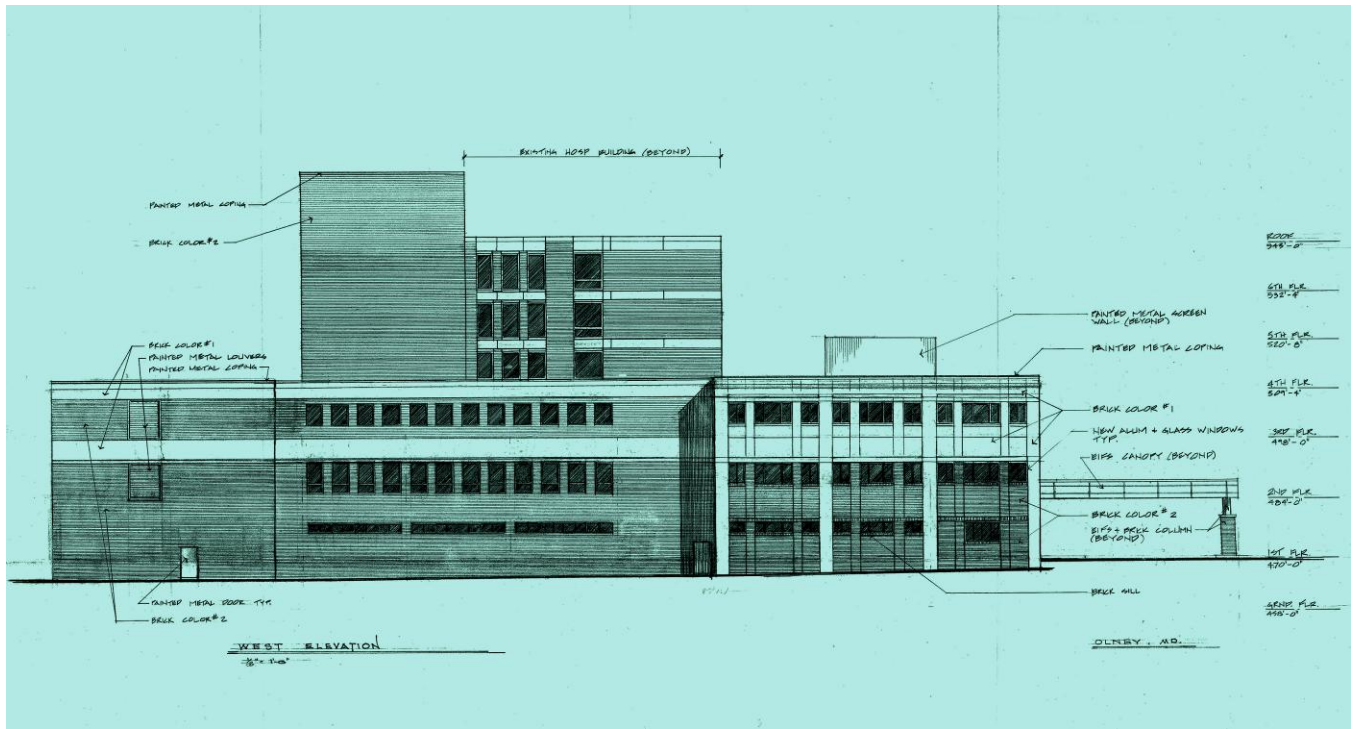
5. Building compatibility in residential zones —59-G-23 (g): Any structure that is constructed, reconstructed or altered under a special exception in a residential zone must be well related to the surrounding area in its sitting, landscaping, scale, bulk, height, materials, and textures, and must have a residential appearance where appropriate. Large building elevations must be divided into distinct planes by wall offsets or architectural articulation to achieve compatible scale and massing.

Some improvements on the property date back to the 1960's. As has been the case with subsequent modifications, the proposed modification complements the existing structures in terms of scale, massing design and function.

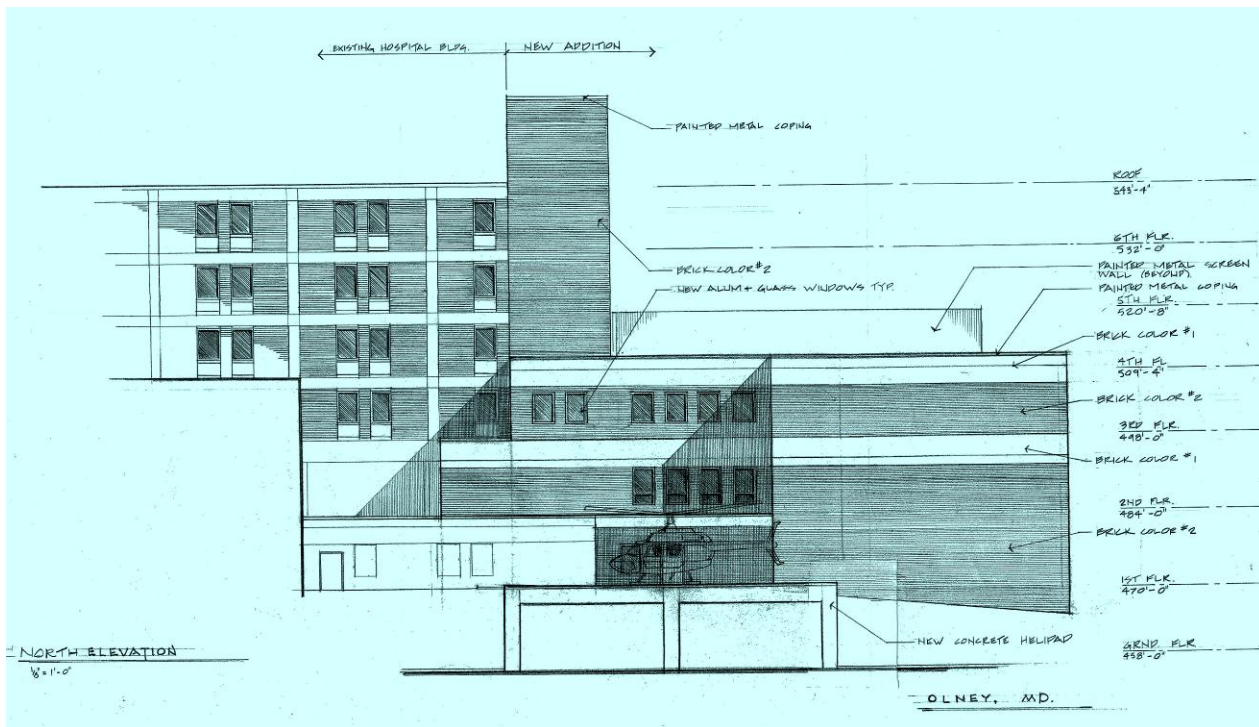
ELEVATIONS—PROPOSED BUILDINGS



EASTERN ADDITION



WESTERN ADDITION



WESTERN ADDITION

6. **Lighting in residential zones —59-G-23(h): All outdoor lighting must be located, shielded, landscaped, or otherwise buffered so that no direct light intrudes into an adjacent residential property. The following lighting standards must be met unless the Board requires different standards for a recreational facility or to improve public safety:**
- (1) **Luminaires must incorporate a glare and spill light control device to minimize glare and light trespass.**
 - (2) **Lighting levels along the side and rear lot lines must not exceed 0.1 foot candles.**

A photometric study (Photometric Site plan E1.1p) was submitted with the application to show that the proposed modification satisfies this requirement.

E Community Concerns: To date, staff has not received any comments from a civic association or citizen's group in the area. There is no evidence of concern or objection on the part of adjoining neighbors regarding the use and operation of the subject facility. However, one neighbor has written a letter (Dated 10 September 2007, addressed to Chairman of the Planning Board) suggesting alternatives to the proposed/required intersection improvement (a right turn lane). The neighbor, Robert F. Berg, is of the opinion that the impact of the proposed intersection would be

negligible since the improvements in the Hospital would not result in a notable change on traffic activities at the intersection. Mr. Berg's letter states the following:

...As a nearby resident, I appreciate the county's thoroughness in studying all of the affected intersections, and I understand how restrictions on widening Georgia Avenue limit the county's options at the intersection. Nevertheless, the funds for the proposed right-turn lane would be better spent on transportation improvements elsewhere in Olney. Permitting those improvements to be related only indirectly to the MGH expansion would allow a range of creative options. Here are some examples.

- Diverting the seep that occasionally ices part of Old Baltimore Road in wintertime.
- Adding a sidewalk along Old Baltimore Road, especially between Menden Farm Drive and Covered Wagon Way.
- Adding a bike lane along Old Baltimore Road.
- Adding a sidewalk or bike lane along Route 108 east of Dr. Bird Road.

The intersection improvement was proposed to satisfy the requirement of Local Area Transportation Review Guide Lines. The transportation Planning staff has offered the following comments regarding the options stated in Mr. Berg's letter.

...The required APF improvement, construction of a separate westbound Old Baltimore Road to northbound Georgia Avenue right-turn lane, was proposed by the applicant to mitigate the overall impact of the additional density being planned at Montgomery General Hospital. If the Planning Board is to consider an alternative improvement to the required APF improvement at the intersection of Georgia Avenue and Old Baltimore Road, then staff recommends that the Planning Board require the applicant to provide a shared-use path along Old Baltimore Road between Menden Farm Drive and Covered Wagon Way in-lieu of the required APF improvement.

F. Inherent and Non-Inherent Adverse Effects

Standard for Evaluation: Section 59-G-1.2.1 of the Zoning Ordinance specifies that a special exception must not be granted without the findings required by this Article. In making these findings, the Board of Appeals, Hearing Examiner, or District Council, as the case may be, must consider the inherent and non-inherent adverse effects of the use on nearby properties and the general neighborhood at the proposed location, irrespective of adverse effects the use might have if established elsewhere in the zone. Inherent adverse effects are the physical and operational characteristics necessarily associated with the particular use, regardless of its physical size or scale of operations. Inherent adverse effects alone are not a sufficient basis for denial of a special exception. Non-inherent adverse effects are physical and operational characteristics not necessarily associated with the particular use, or adverse effects created by unusual characteristics of the site. Non-inherent adverse effects, alone or in

conjunction with inherent adverse effects, are a sufficient basis to deny a special exception.

As established in previous special exception cases, seven criteria are used to identify the physical and operational characteristics of a use. Those criteria are size, scale, scope, lighting, noise, traffic, and the environment.

The primary characteristics necessarily associated with the proposed modification are the increase in building density and parking spaces. The proposed modifications are not likely to result in adverse operational characteristics such as noise or traffic to the site. The non-inherent impact in this case includes the location of a helicopter pad with in stream valley buffer.

G. Specific Special Exception Requirements: Section 59-G-2.31 states that a hospital must adhere to the following standards and requirements.

A hospital or sanitarium building may be allowed, upon a finding by the board that such use will not constitute a nuisance because of traffic, noise or number of patients or persons being cared for; that such use will not affect adversely the present character or future development of the surrounding residential community; and if the lot, parcel or tract of land on which the buildings to be used by such institution are located conforms to the following minimum requirements; except, that in the C-2 and C-O zones, the minimum area and frontage requirements shall not apply:

(1) Minimum area. Total area, 5 acres.

The site comprises approximately 27 acres of land

(2) Minimum frontage. Frontage, 200 feet.

The proposal complies with this requirement. The property has 1,707 feet of frontage along Brook Farm Drive and 927 feet of frontage along Prince Philip Drive.

(3) Setback: No portion of a building shall be nearer to the lot line than a distance equal to the height of that portion of the building, where the adjoining or nearest adjacent land is zoned single-family detached residential or is used solely for single-family detached residences, and in all other cases not less than 50 feet from a lot line.

The proposal satisfies with this requirement. The applicant's site Plan shows that the proposed eastern addition is set back 207 feet from the lot line and the proposed western addition is set back 327 feet from the lot line.

- (4) **Off-street parking:** Off-street parking shall be located so as to achieve a maximum of coordination between the proposed development and the surrounding uses and a maximum of safety, convenience and amenity for the residents of neighboring areas. Parking shall be limited to a minimum in the front yard. Subject to prior board approval, a hospital may charge a reasonable fee for the use of off-street parking. Green area shall be located so as to maximize landscaping features, screening for the residents of neighboring areas and to achieve a general effect of openness.

The proposal provides for sufficient parking spaces for the hospital use and meets the parking requirements. As part of the proposed modifications, the ambulance bays and the pedestrian entrance to the Emergency Department will be relocated to allow for a better circulation and decreased congestion for ambulance traffic. Parking spaces would be added in some places and will be removed from other's in order to accommodate the new addition and protect the stream valley buffer. The applicant's last revised plan (submitted September 19, 2007) indicates a net addition of 12 parking spaces with a total of 1,181 spaces. With the proposed modifications, a total of 697 spaces are required for the hospital.

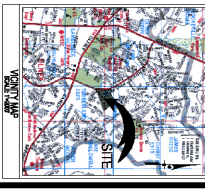
- (5) **Commission recommendation:** The board or the applicant shall request a recommendation from the commission with respect to a site plan, submitted by the applicant, achieving and conforming to the objectives and requirements of this subsection for off-street parking and green area.

- (6) **Building height limit:** Building height limit, 145 feet.

Building height for the proposed modification is well within the 145 feet maximum height. The tallest of the buildings will measure no more than 73 feet, including the elevator tower

- (7) **Prerequisite.** A resolution by the health services planning board approving the establishment of the hospital shall be filed with the petition for a special exception.

Not applicable



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 Fax: (301) 948-9007
 www.esinc.com

Project Information

Project Name:	Montgomery General Hospital
Site No.:	100000000000000000
Client:	Montgomery General Hospital, Inc.
Address:	1400 Rockville Pike, Suite 100, Rockville, MD 20850
Property No.:	000000000000000000
Zone:	Residential

OWNER/APPLICANT:
 MONTGOMERY GENERAL HOSPITAL, INC.
 1400 ROCKVILLE PIKE, SUITE 100
 ROCKVILLE, MD 20850
 CONTACT: MR. HAROLD M. POCKETT
 (301) 774-8771

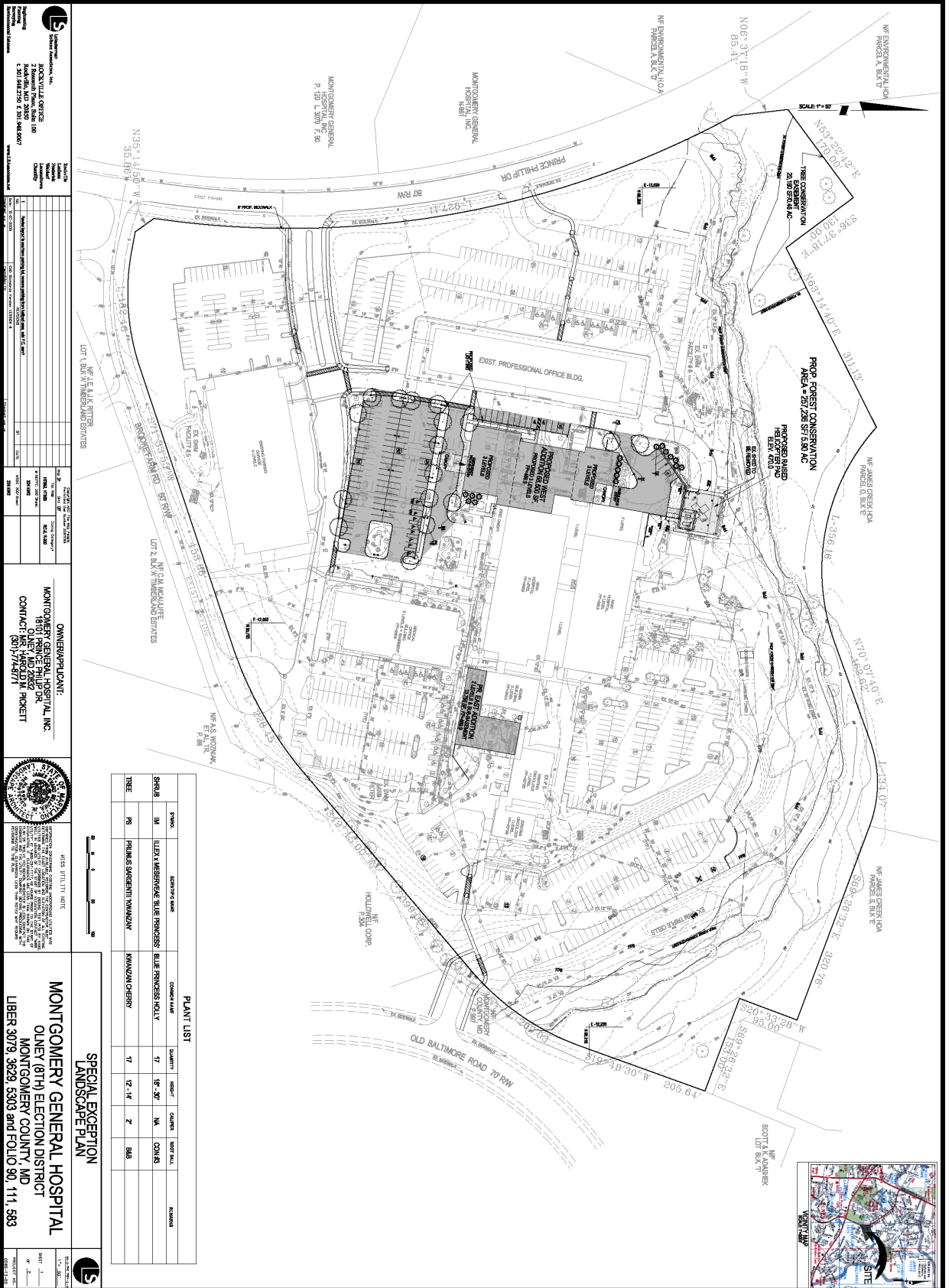


SPECIAL EXCEPTION
SITE PLAN

MONTGOMERY GENERAL HOSPITAL
 OLNEY (8TH) ELECTION DISTRICT
 MONTGOMERY COUNTY, MD
 LIBER 3079, 3029, 5303 and FOLIO 90, 114, 583

GENERAL NOTES:

1. All dimensions are shown in feet and inches.
2. All dimensions are shown to the center of the line.
3. All dimensions are shown to the face of the line.
4. All dimensions are shown to the center of the hole.
5. All dimensions are shown to the center of the pipe.
6. All dimensions are shown to the center of the shaft.
7. All dimensions are shown to the center of the well.
8. All dimensions are shown to the center of the tank.
9. All dimensions are shown to the center of the building.
10. All dimensions are shown to the center of the lot.
11. All dimensions are shown to the center of the block.
12. All dimensions are shown to the center of the street.
13. All dimensions are shown to the center of the highway.
14. All dimensions are shown to the center of the railroad.
15. All dimensions are shown to the center of the waterway.
16. All dimensions are shown to the center of the airport.
17. All dimensions are shown to the center of the park.
18. All dimensions are shown to the center of the school.
19. All dimensions are shown to the center of the church.
20. All dimensions are shown to the center of the synagogue.
21. All dimensions are shown to the center of the mosque.
22. All dimensions are shown to the center of the temple.
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25. All dimensions are shown to the center of the abbey.
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28. All dimensions are shown to the center of the priory.
29. All dimensions are shown to the center of the nunnery.
30. All dimensions are shown to the center of the cloister.
31. All dimensions are shown to the center of the refectory.
32. All dimensions are shown to the center of the dormitory.
33. All dimensions are shown to the center of the library.
34. All dimensions are shown to the center of the scriptorium.
35. All dimensions are shown to the center of the school.
36. All dimensions are shown to the center of the university.
37. All dimensions are shown to the center of the college.
38. All dimensions are shown to the center of the academy.
39. All dimensions are shown to the center of the institute.
40. All dimensions are shown to the center of the seminary.
41. All dimensions are shown to the center of the divinity school.
42. All dimensions are shown to the center of the law school.
43. All dimensions are shown to the center of the medical school.
44. All dimensions are shown to the center of the engineering school.
45. All dimensions are shown to the center of the business school.
46. All dimensions are shown to the center of the art school.
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67. All dimensions are shown to the center of the anthropology school.
68. All dimensions are shown to the center of the psychology school.
69. All dimensions are shown to the center of the education school.
70. All dimensions are shown to the center of the communication school.



ES Environmental Solutions, Inc.
 3800 VULFORD DRIVE
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 BALTIMORE, MD 21201
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NO.	REVISION	DATE	BY	CHK

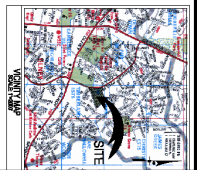
OWNER/APPLICANT:
 MONTGOMERY GENERAL HOSPITAL, INC.
 1801 OLNEY DRIVE
 BALTIMORE, MD 21202
 CONTACT: MR. MARCO M. POCKETT
 (301) 775-8711



SPECIAL EXCEPTION LANDSCAPE PLAN
MONTGOMERY GENERAL HOSPITAL
 OLNEY (8TH) ELECTION DISTRICT
 MONTGOMERY COUNTY, MD
 LIBER 3079, 3629, 5303 and FOLIO 90, 111, 583

1" = 30'
 1/4" = 1'-0"

SYMBOL	SPERMATOPHYTES	CONIFERS	SHRUBS	TREES
[Symbol]	LILEX VIRESCENS BLUE PRINCESS	BLUE PRINCESS HOLLY	[Symbol]	[Symbol]
[Symbol]	FRAXINUS SARGENTII WASHINGTON	KAWAZUMI CHERRY	[Symbol]	[Symbol]



H. Section 59-G-1.21. General conditions

(a) A special exception may be granted when the Board, the Hearing Examiner, or the District Council, as the case may be, finds from a preponderance of the evidence of record that the proposed use:

(1) **Is a permissible special exception in the Zone.**

The subject property is located in the RE-2 Zone, which permit the proposed special exception.

(2) **Complies with the standards and requirements set forth for the use in Division 59-G-2. The fact that a proposed use complies with all specific standards and requirements to grant a special exception does not create a presumption that the use is compatible with nearby properties and, in itself, is not sufficient to require a special exception to be granted.**

The proposal is in compliance with the specific special exception requirements of **Section 59-G-2.31** in accordance with Section 59-G-1-21(a)(2) of the Zoning Ordinance.

(3) **Will be consistent with the general plan for the physical development of the District, including any master plan adopted by the Commission. Any decision to grant or deny a special exception must be consistent with any recommendation in a master plan regarding the appropriateness of a special exception at a particular location. If the Planning Board or the Board's technical staff in its report on a special exception concludes that granting a particular special exception at a particular location would be inconsistent with the land use objectives of the applicable master plan, a decision to grant the special exception must include specific findings as to master plan consistency.**

There are no master plan issues associated with this application.

(4) **Will be in harmony with the general character of the neighborhood considering population density, design, scale and bulk of any proposed new structures, intensity and character of activity, traffic and parking conditions and number of similar uses.**

With the recommended conditions, the proposed use will be in harmony with the general character of the neighborhood. The site and landscape plans provide for extensive landscaping, partially attributed to the additional planting that the applicant agreed to plant in the stream buffer area to compensate for intensified intrusion into the stream valley buffer. Moreover, adequate green space and sufficient building setbacks are provided. The applicant's landscape plan omits some of the existing ornamental trees and shrubs located in landscape islands along the driveway entrance and other areas on the property. Staff recommends that all existing trees and shrubs be depicted on the landscape plan.

Due to the location of the hospital in the area (adequately distanced from the residential properties) the presence of a stream and a stream valley buffer on site, the expansive land area, and parking accommodation in excess of the minimum requirement (69%), it is unlikely that the proposed modifications would generate a level of traffic or noise that would raise concern for congestion on the streets or the residential neighborhood.

- (5) Will not be detrimental to the use, peaceful enjoyment, economic value or development of surrounding properties or the general neighborhood at the subject site, irrespective of any adverse effects the use might have if established elsewhere in the zone.**

The proposed use will not be detrimental to the development or economic values of the surrounding properties or neighborhood.

- (6) Will cause no objectionable noise, vibrations, fumes, odors, dust, illumination, glare, or physical activity at the subject site, irrespective of any adverse effects the use might have if established elsewhere in the zone.**

It is not anticipated that the use would cause objectionable noise, vibrations, fumes, odors, dust, illumination, glare, or physical activity at the subject site.

- (7) Will not, when evaluated in conjunction with existing and approved special exceptions in any neighboring one-family residential area, increase the number, intensity, or scope of special exception uses sufficiently to affect the area adversely or alter the predominantly residential nature of the area. Special exception uses that are consistent with the recommendations of a master or sector plan do not alter the nature of an area.**

The proposed modifications will not increase the number, intensity and scope of approved special exceptions in the area.

- (8) Will not adversely affect the health, safety, security, morals or general welfare of residents, visitors or workers in the area at the subject site, irrespective of any adverse effects the use might have if established elsewhere in the zone.**

With the recommended conditions, the proposed use will not adversely affect the health, safety, security, morals or welfare of residents, visitors or workers in the area.

- (9) Will be served by adequate public services and facilities including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public facilities.**

- (i) **If the special exception use requires approval of a preliminary plan of subdivision the adequacy of public facilities must be determined by the Planning Board at the time of subdivision review. In that case, subdivision approval must be included as a condition of the special exception. If the special exception does not require approval of a preliminary plan of subdivision, the adequacy of public facilities must be determined by the Board of Appeals when the special exception is considered. The adequacy of public facilities review must include the Local Area Transportation Review and the Policy Area Transportation Review, as required in the applicable Annual Growth Policy.**
- (ii) **With regard to findings relating to public roads, the Board, the Hearing Examiner, or the District Council, as the case may be, must further determine that the proposal will not reduce the safety of vehicular or pedestrian traffic.**

The applicant indicated that the property is currently served by adequate sewer and water services that are also adequate to serve the proposed improvements.

Transportation Planning staff review of the proposal reveals that the granting of the requested Special Exception to modify the existing facilities would not have an adverse effect on the nearby road system.

- (b) **Nothing in this Article relieves an applicant from complying with all requirements to obtain a building permit or any other approval required by law. The Board's finding of any facts regarding public facilities does not bind any other agency or department, which approves or licenses the project.**

The applicants will so note.

- (c) **The applicant for a special exception has the burden of proof to show that the proposed use satisfies all applicable general and specific standards under this Article. This burden includes the burden of going forward with the evidence, and the burden of persuasion on all questions of fact.**

The applicant has met the burden of proof under **Sections 59-G-2.31: Hospitals (specific requirements) and 59-G-21(a): General Conditions.**

Conclusion

Based on the foregoing analysis, staff recommends Approval of Special Exception CBA-2521-I subject to the conditions found at the beginning of the technical staff report