



MONTGOMERY COUNTY PLANNING DEPARTMENT
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

MCPB
Item #
5-19-11

MEMORANDUM

TO: Montgomery County Planning Board
VIA: Khalid Afzal, Team Leader, East County Team, Area 2 Division *KA*
 Glenn Kreger, Acting Chief, Area 2 Division *GK*
FROM: Amy Lindsey, Senior Planner, Area 2 Division *AL*
DATE: May 3, 2011
PLAN NAME: Kensington Fire Station #25 Renovation and Addition
PLAN NUMBER: MR 2011205
PLAN TYPE: Preliminary Forest Conservation Plan pursuant to a Mandatory Referral Review
REVIEW BASIS: Chapter 22A of the County Code
ZONE: PRC
LOCATION: 3227 Bel Pre Road at Connecticut Avenue
MASTER PLAN: Aspen Hill
APPLICANT: Montgomery County Department of General Services (DGS)
HEARING DATE: May 19, 2011

RECOMMENDATIONS

Approval of the Preliminary Forest Conservation Plan subject to the following conditions:

1. The proposed development shall comply with the conditions of the Preliminary Forest Conservation Plan. The applicant shall satisfy all conditions prior to Montgomery County Department of Permitting Services (MCDPS) issuance of sediment and erosion control permits:
 - a. Approval of Final Forest Conservation Plan consistent with the approved Preliminary Forest Conservation Plan prior to any clearing, grading or demolition on the site.
2. Applicant must record a Category I Conservation Easement over all onsite areas of forest retention and planting prior to any demolition, clearing or grading occurring onsite.
3. Required site inspections by M-NCPPC monitoring staff must occur as specified in "Trees Technical Manual".

DISCUSSION

There are two items for the Planning Board to review for this Mandatory Referral application:

- 1) Mandatory Referral MR2011205
- 2) A Preliminary Forest Conservation Plan (MR2011205)

This memorandum covers staff's review and recommendations on the Preliminary Forest Conservation Plan. Unlike the review of the Mandatory Referral, the Board's actions on Forest Conservation Plans pursuant to Chapter 22A of the County Code are regulatory and binding. The Planning Board must act on the forest conservation plan before it can act on the mandatory referral.

Project Description- The Montgomery County Department of General Services (DGS) is proposing a renovation and addition to Kensington Fire Station #25, located at 3227 Bel Pre Road, at the northeast quadrant of the intersection of Bel Pre Road and Connecticut Avenue. The site is surrounded on two sides by Aquarius Local Park. The project will include three building additions, stormwater management facilities, and a new circulation system.



Figure 1: 2010 Aerial Photograph

ANALYSIS

Environmental Guidelines - A Natural Resource Inventory/Forest Stand Delineation (NRI/FSD #420102280) was approved by staff on July 19, 2010. The 4.99-acre site contains 0.94 acres of forest, and has no streams, wetlands, or environmental buffers. The property is within the Lower Rock Creek watershed – a Use I watershed. The proposed project does not have any proposed activities within any streams, wetlands, or environmental buffers and is in compliance with the *Environmental Guidelines*.

Forest Conservation - This project is subject to the Montgomery County Forest Conservation law (Chapter 22A of the Code) under section 22A-4(d) which states “a government entity subject to mandatory referral on a tract of land 40,000 square feet or larger...” The site is 4.99 acres in size, and contains 0.94 acres of forest in one stand, contiguous with the forest on the adjacent MNCPPC parkland. The applicant proposes to remove 0.29 acres of forest and retain 0.65 acres of forest. The 0.58-acre planting requirement will be met on-site through forest planting in an area adjacent to existing forest. The configuration of the proposed planting area creates a gap between newly planted forest and existing forest on Park property. Staff has been working with MNCPPC Park staff to arrange for this area to be planted but the exact mechanism has not been determined yet.

There are four trees on-site greater than 24” diameter at breast height (DBH) – #5 24” Yellow Poplar, #6 24” Pin Oak, #8 25” Yellow Poplar, #9 25” White Oak. The proposed development will require the removal of tree #5, located in a proposed stormwater management area. A variance is not required with this Preliminary Forest Conservation Plan because there is no impact to trees that: measure 30 inches or greater, DBH; are part of a historic site or designated with a historic structure; are designated as a national, State, or County champion trees; are at least 75 percent of the diameter of the current State champion tree of that species; or trees, shrubs, or plants that are designated as Federal or State rare, threatened, or endangered species.

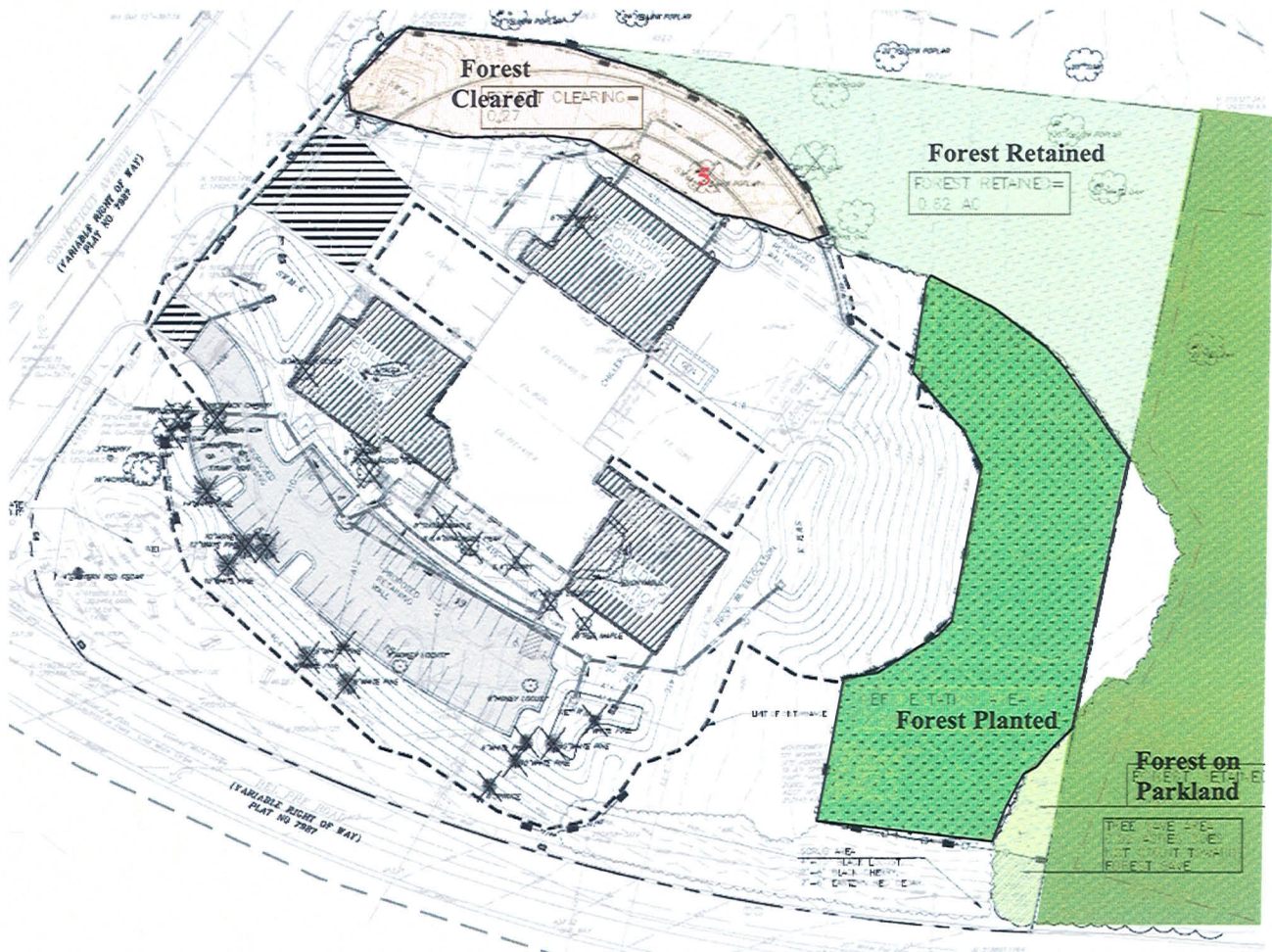


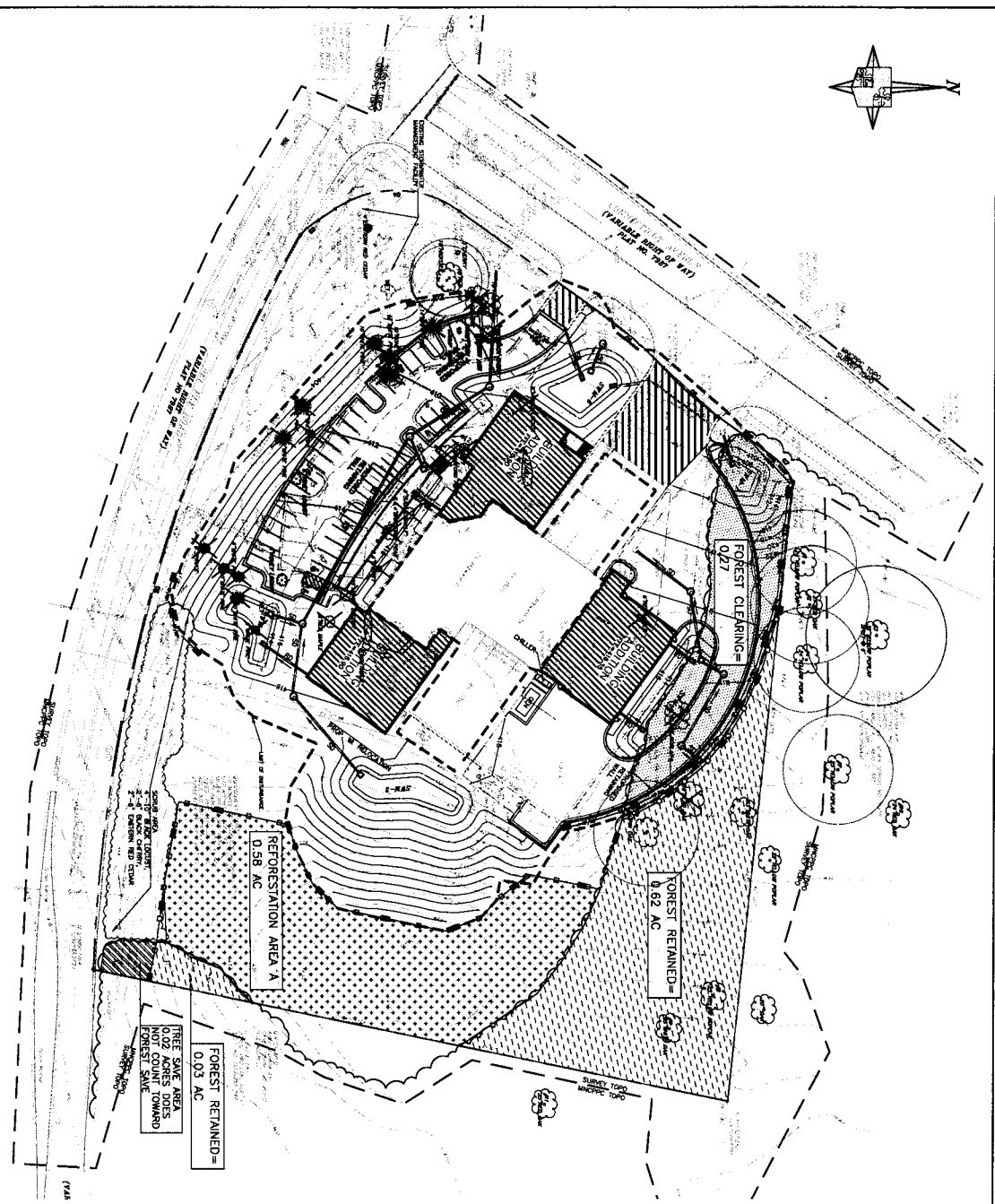
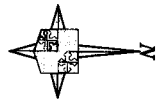
Figure 2: Proposed Preliminary Forest Conservation Plan

CONCLUSION

Staff recommends that the Planning Board approve the Preliminary Forest Conservation Plan with the conditions cited in this staff report.

Attachment:

- A. Forest Conservation Plan submitted for PB approval



- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE RETAINED
- SPECIMEN/TREE TO BE REMOVED
- SPECIMEN/TREE TO BE RETAINED
- LIMITS OF DISTURBANCE
- LIMITS OF FOREST PROTECTION
- LIMITS OF RESTORATION
- SPOT SOIL FENCE
- SIGNAGE APPROX. 50' O.C.

LEGEND

- FOREST CLEARING AREA
- FOREST SAVE AREA
- REFORESTATION AREA

NOTE: CLEARING IS TO TAKE PLACE OUTSIDE OF THE LIMITS OF DISTURBANCE.
TREES AND SHRUBS TO BE PLANTED OUTSIDE ONLY AND MUST BE TO GO OUTSIDE OF SCHEDULED SAVE AREA.



GRAPHIC SCALE
1" = 10'

CALL: HAS LIMITED AT 1-800-251-7777. AS APPLICABLE TO THE START OF THE CONSTRUCTION PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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CERTIFICATION OF QUALIFIED PROFESSIONAL
I, **DAVID A. LAMON**, a duly Licensed Professional Engineer in the State of Maryland, do hereby certify that I am the author of the design and content of this drawing and that I am a duly Licensed Professional Engineer in the State of Maryland.
Signature: _____
Date: _____

NO. OF SHEETS	TOTAL SHEETS
1	1



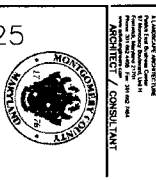
MARK	DATE	ISSUE
DRWN BY:	12/1/2010	100% SCHEMATIC DESIGN
CHKD BY:	02/23/2011	MANUALLY REVISION

DRAWING TITLE
PRELIMINARY FOREST CONSERVATION PLAN

PROJECT / OWNER
KENSINGTON FIRE STATION #25
RENOVATION AND ADDITION
PROJECT LOCATION: 3227 BEL PRE ROAD
OWNER: SILVER SPRING, MD 20906-2695



ADTEK
ARCHITECT / CONSULTANT



H.G. ARCHITECTS
ARCHITECTS

DRAWING NUMBER
L-1.1

