



Preliminary Plan No. 120090050: First Baptist Church of Damascus

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Staff Report Date: 05/31/12

Description

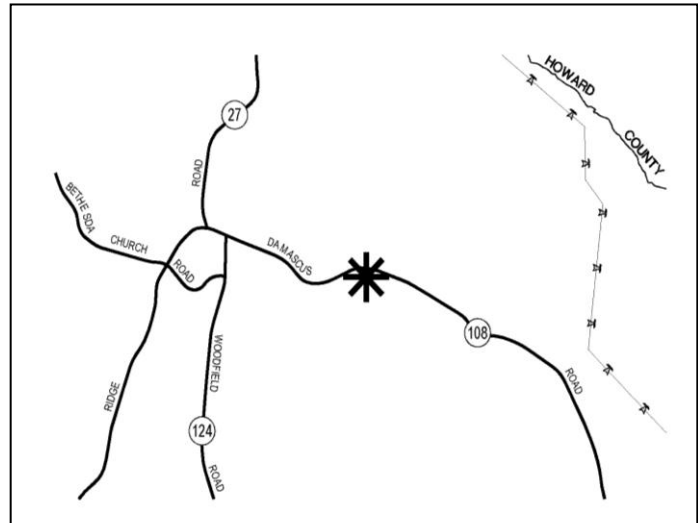
Preliminary Plan No. 120090050: First Baptist Church of Damascus

Combine unrecorded parcel P200 and Outlot A (17.88 acres) and construct a 26,115 square foot addition to an existing 8,252 square foot religious institution, located on south side of Damascus Road (MD 108) opposite Cornor Drive and east of Stanley Hills Way, RC Zone, Damascus Master Plan area.

Staff recommendation: Approval with conditions

Submittal Date: December 15, 2008

Applicant: First Baptist Church of Damascus



Summary

- Creation of one 17.88 acre lot in the RC zone for an existing religious institution to allow for an expansion of 26,115 square feet for a 450 seat capacity sanctuary, administrative offices, Sunday school classroom space and parking.
- No weekday child daycare or private school uses are proposed.
- Final Forest Conservation Plan included
- Seeking a tree variance for removal of 3 trees

RECOMMENDATION

Approval, subject to the following conditions:

- 1) Approval under this Preliminary Plan is limited to one (1) lot for a religious institutional use, with no regular weekday child daycare service or weekday private school.
- 2) The Applicant must comply with the conditions of approval for the final forest conservation plan no. 120090050, approved together with this Application. Conditions of the final forest conservation plan include:
 - a. The Applicant must obtain Staff approval of a certificate of compliance for use of an approved offsite forest mitigation bank to satisfy the forest mitigation planting requirements, prior to any clearing or grading on the property.
 - b. Mitigation for the loss of one specimen tree (Tree #15 as identified on the NRI/FSD) to be provided by planting four 3-inch caliper native canopy trees on site. Mitigation is not required if this tree is able to be retained as determined by the field inspector. Trees must be planted prior to issuance of building permit.
 - c. Inspections must occur consistent with Section 22A.00.01.10 of the Forest Conservation Law.
 - d. The final sediment control plan must be consistent with the final limits of disturbance as approved by Staff.
 - e. The Applicant must comply with all tree protection measures shown on the approved forest conservation plan.
 - f. Tree save measures not specified on the forest conservation plan may be required by the M-NCPPC forest conservation inspector.
- 3) The Planning Board has accepted the recommendations of the Montgomery County Department of Transportation ("MCDOT") in its letter dated February 11, 2009, and does hereby incorporate them as conditions of the Preliminary Plan approval. Therefore, the Applicant must comply with each of the recommendations as set forth in the letter, which may be amended by MCDOT provided that the amendments do not conflict with other conditions of the Preliminary Plan approval.
- 4) The Applicant must satisfy the provisions for access and improvements as required by MCDOT prior to recordation of plat(s).
- 5) The Planning Board has accepted the recommendations of the Maryland State Highway Administration ("SHA") in its letter dated January 26, 2009, and does hereby incorporate them as conditions of the Preliminary Plan approval. Therefore, the Applicant must comply with each of the recommendations as set forth in the SHA letter, which may be amended by SHA provided that the amendments do not conflict with other conditions of the Preliminary Plan approval.
- 6) The Applicant must satisfy the provisions for access and improvements as required by SHA prior to issuance of access permits.

- 7) The Planning Board has accepted the recommendations of the Montgomery County Department of Permitting Service (MCDPS) – Water Resources Section in its letter dated April 25, 2006, and does hereby incorporate them as conditions of the Preliminary Plan approval. Therefore, the Applicant must comply with each of the recommendations as set forth in the MCDPS letter, which may be amended by MCDPS – Water Resources Section provided that the amendments do not conflict with other conditions of the Preliminary Plan approval.
- 8) The Planning Board has accepted the recommendations of MCDPS – Well and Septic Section in its letter dated February 1, 2011 and does hereby incorporate them as conditions of the Preliminary Plan approval. Therefore, the Applicant must comply with each of the recommendations as set forth in the MCDPS letter, which may be amended by MCDPS – Well and Septic Section provided that the amendments do not conflict with other conditions of the Preliminary Plan approval.
- 9) The Applicant must dedicate and show on the record plat the following dedications:
 - a. Sixty (60) feet from the existing pavement centerline along the property frontage for Damascus Road (MD 108) (0.98 acres).
- 10) Prior to recordation of the plat the Applicant must satisfy MCDPS requirements to ensure the construction of a five (5) foot wide sidewalk along the property frontage on Damascus Road (MD 108), unless construction is waived by MCDPS.
- 11) The certified Preliminary Plan must contain the following note:

“Unless specifically noted on this plan drawing or in the Planning Board conditions of approval, the building footprints, building heights, on-site parking, site circulation, and sidewalks shown on the Preliminary Plan are illustrative. The final locations of buildings, structures and hardscape will be determined at the time of issuance of building permit(s). Please refer to the zoning data table for development standards such as setbacks, building restriction lines, building height, and lot coverage for each lot. Other limitations for site development may also be included in the conditions of the Planning Board’s approval.”

SITE DESCRIPTION

The subject property consists of Parcel 200, and adjoining Outlot A, recorded as part of the adjacent Damascus Hills subdivision and acquired by the First Baptist Church of Damascus. The Property is located at 8850 Damascus Road, Damascus Maryland, which is on the south side of Damascus Road (MD 108), opposite Cornor Drive, and immediately east of Stanley Hills Way. The Property is approximately 17.88 acres in size and zoned Rural Cluster (RC) ("Property" or "Subject Property"). (Figure 1).

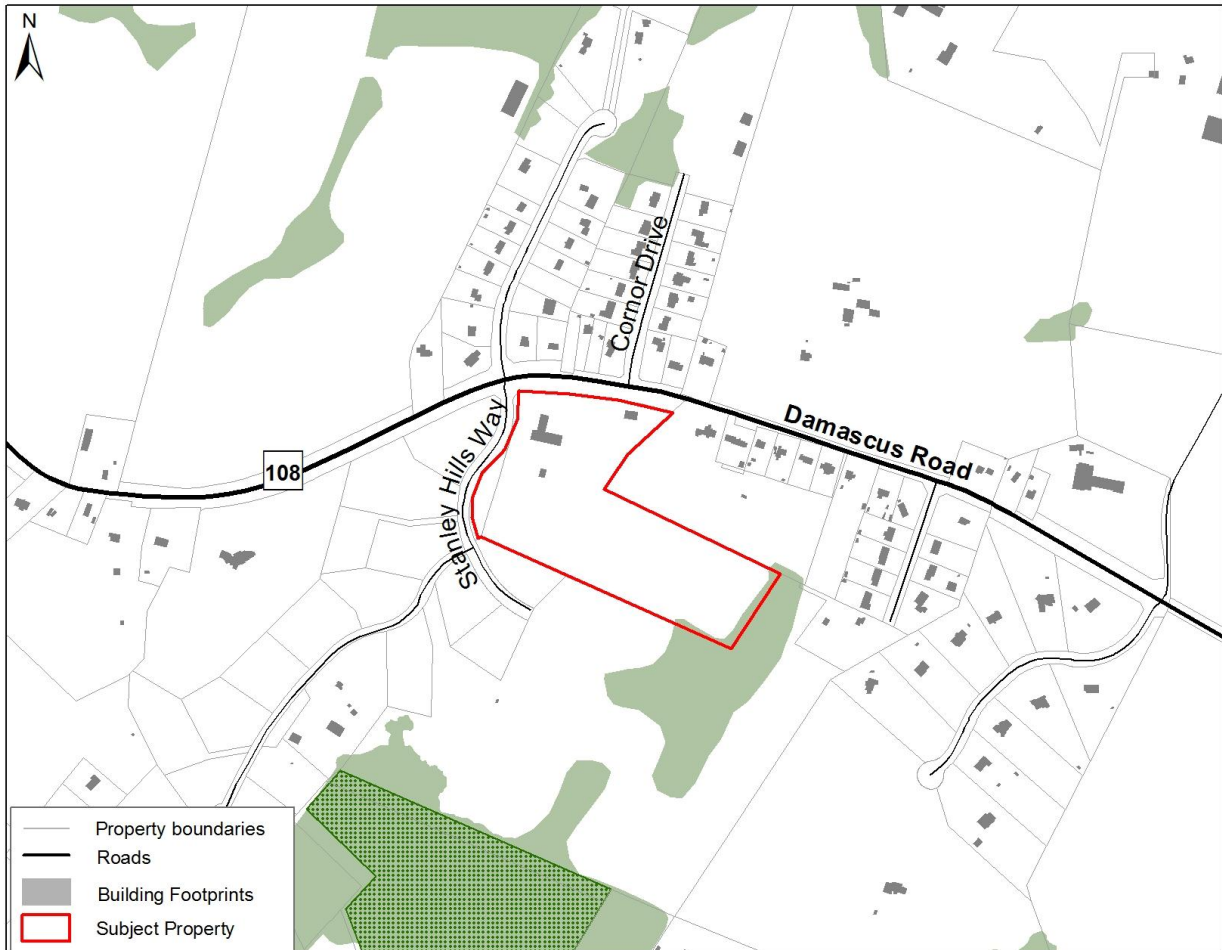


Figure 1

Currently the Property has an 8,252 square foot religious institution with associated parking. The surrounding land uses are mostly one-family detached residential located in the RC zone and the RE-2C zone. The Property is also located near active agricultural uses in the RDT and RC Zones. There are no streams or sensitive environmental features on the Property. There are 0.46 acres of existing forest located in the extreme southeastern portion of the Property with additional tree canopy located along the southern border of the Property, and in a line running north/south through the middle of the site. The Property is in the Great Seneca Creek watershed, a State designated Use I-P watershed (Figure 2).



Figure 2

PROJECT AND DESCRIPTION

Background

A previous application for subdivision, Preliminary Plan 119970580, was submitted on January 23, 1997 by the Applicant to create one lot on 15.25 acres to allow for an expansion of the existing religious institution but not include a daycare or weekday educational space. The above-mentioned plan was taken to the Planning Board on January 25, 2001 and was approved with a Planning Board Opinion dated March 01, 2001 with two 12 month extensions granted by the Planning Board on April 24, 2004 and May 05, 2005¹. On April 04, 2006 an amendment (11997058A) was filed to include additional area that was being added to the church property (17.14 acres total), however the amendment was never brought before the Planning Board and the original plan expired.

¹ The justification for both extensions was delays caused by State Highway Administration access permitting, and the Montgomery County Department of Permitting Services concerns over the redesigned septic system and stormwater management.

Current Plan

Preliminary Plan 120090050, First Baptist Church of Damascus (“Application” or “Preliminary Plan”) was submitted on December 15th, 2008² by the Applicant for the Subject Property. The Application proposes to create a single 17.88 acre lot to allow building permits for a 26,115 square foot two story addition to the existing religious institution (Attachment A). This addition will include administrative offices, Sunday school classrooms, and a new 450 seat worship sanctuary, along with reconfigured parking for 168 vehicles. The Application does not request approval of any weekday daycare services except during occasional daytime events and does not propose any weekday private school functions. A new softball field for church members is proposed on the site to the south of the existing and proposed building. An existing public water connection will be used; however the site is not served with public sewer so the on-site septic system is to be expanded to accommodate the increased building size and capacity.

ANALYSIS AND FINDINGS

Conformance to the Master Plan

The Subject Property is located in the 2006 Damascus Master Plan (“Master Plan”). The church has been serving the needs of the Damascus community at this location for decades and the need to expand at this location is reasonable. While the Master Plan is silent on anticipated uses other than low density residential and agriculture, religious institutions are a permitted use in the RC zone, which is an agricultural zone. The need to expand the sanctuary and parking generally follows a healthy religious institution and can be expected as the population of Damascus grows with new subdivisions and new homes. The Property is suited for this expansion with direct access to Damascus Road, a designated Major Highway, and a developable area that does not diminish agricultural opportunities.

The Property is located in an area identified as a Rural Transition Area in the Proposed Land Use section of the Master Plan. There are no specific recommendations for the Property however; the recommendations for the Rural Transition Area include a mix of low-density residential and agricultural uses and the Master Plan further suggests that the low density zoning should maintain the good water quality of the upper Great Seneca Creek by limiting impervious surfaces. The proposed impervious area covers 15.9% of the Property, leaving the remaining 84.1% as pervious green area. The Application is providing more parking than required at 168 spaces (1:2.67 ratio of spaces to seating capacity) as opposed to the minimum required 113 spaces (1:4 ratio of spaces to seating capacity). The Applicant submitted a letter of justification for the higher parking ratio dated, October 1, 2010 which cited that the Church has historically averaged a need for 1 parking space for every 2.13 seats and believes that this existing ratio average of 1:2.13 spaces to seat ratio is unlikely to dramatically change with the expansion. The justification also cites that there are very limited options for overflow parking on or near the Property. The impervious levels are not excessive for the intended use. The Applicant has proposed new development and associated impervious surfaces that are compact in nature, in close proximity to the existing buildings and to Damascus Road. This compact layout minimizes pavement that would otherwise be necessary to provide full access to a more spread out campus, which would be possible on

² Plan review duration is a result of septic and stormwater design difficulties with the engineer and the County Department of Permitting Services.

the 17 acre Property. The existing parking lot will be re-worked to the extent possible to make it more safe and efficient but also more compact, thereby creating less impervious area. Staff finds that the Preliminary Plan substantially conforms to the recommendations of the Master Plan

Public Facilities

Roads and Transportation Facilities

The Property is located on Damascus Road (MD 108), which as stated above, is a Major Highway as designated in the Master Plan with a recommended right-of-way of 120 feet. The Application proposes dedication to the right-of-way that will comply with the required Master Plan width (60 feet from the road centerline) The Applicant will be required to construct a 5 foot wide sidewalk along the Property frontage and connect it to the existing sidewalk in the Damascus Hills subdivision to the west. The access driveway to the existing Church has already constructed in accordance with a previous SHA permit. No further frontage improvements are required by SHA for the proposed expansion.

Chapter 50-35(k) (6) of the Montgomery County Code provides an exemption for places of worship from the provisions of Adequate Public Facilities as long as the proposed use does not generate a significant number of peak hour trips. The Application does not generate 30 or more vehicle trips during the morning or evening peak-hours and, therefore is not subject to the Local Area Transportation Review (LATR) or Policy Area Mobility Review (PAMR) requirements. The Applicant submitted a Traffic Statement to state that no uses were proposed that would generate peak hour trips. The facility may have occasional weekday activities typical of any religious facility but there are no regularly scheduled weekday events that would generate trips during normal peak hours.

Other Public Facilities and Services

The Property is in water and sewer categories W-1 and S-6. There is existing water service to the Property, but the Preliminary Plan proposes a new 8 inch water line loop, to tie into the existing 10 inch line in Damascus Road. The loop will supply the new fire hydrants as shown along the parking lot perimeter. The Washington Suburban Sanitary Commission finds there is adequate water supply for the Property.

The existing church building uses an existing septic system on site; however the addition will require that the septic system be expanded and new septic reserve areas be established to handle the increased capacity of the Church. MCDPS – Well and Septic Section approved the proposed septic plan on February 1, 2011. All utilities including telecommunications and electricity providers have adequate service available to the Property. Other public facilities and services, such as police stations, firehouses and health services are currently operating within the standards set by the Subdivision Staging Policies currently in effect. The Application does not include residential units; therefore a school facility payment is not required.

Environment

The Property is located within the Upper Great Seneca Creek Watershed, a Use I-P watershed, and tributary to the Potomac River. According to the “Countywide Stream Protection Strategy”, water quality in this portion of the watershed is rated as good (MCDEP 2003). The Natural Resources Inventory/Forest Stand Delineation (NRIFSD) No.420080230 for the Property was approved on July 28th,

2008. There are a total of sixteen (16) trees identified that are 24 inches or greater diameter at breast height (DBH), with six (6) being greater than or equal to 30 inches in diameter. The NRI/FSD shows 0.46 acres of forest on-site that is defined as “forest” because it is contiguous to off-site forest in the south eastern portion of the Property. There is one small area of man-made steep slopes adjacent to the existing parking lot along the western boundary and there are no highly erodible soils, streams, wetlands, floodplains or environmental buffers on the Property.

Forest Conservation Plan

As required by the Montgomery County Forest Conservation Law (Chapter 22A of the County Code), a Forest Conservation Plan (FCP) for the Property was submitted with the Application (Attachment B). The 0.46 acres of “forest” on the Property is an L-shaped area in the southeastern corner of the Property along the eastern and southern Property lines. Although the on-site portion of this forest stand is less than 50 feet in width it is contiguous with off-site forest and is therefore, part of that forest’s edge and must be defined as forest under the Law. The proposed improvements on this Property do not require the physical removal of the forest, but the 0.46 acre forest strip must be counted as “cleared” on the Final Forest Conservation Plan because the off-site forest (not part of this Application) is not currently and is not proposed to be protected in an easement, and therefore, cannot be counted toward “forest saved”. The 0.46 acre, on-site forest is too narrow (<50 feet) to meet the definition of forest on its own so it cannot be counted as “retained forest” per the Forest Conservation Law.

The Final Forest Conservation Plan has a planting requirement of 3.03 acres (0.92 acres reforestation and 2.11 acres afforestation). The Applicant proposes to satisfy the planting requirement by using a forest bank located in the Little Bennett Creek watershed, a Use III-P watershed. Little Bennett Creek is a tributary to the Monocacy River, which ultimately flows into the Potomac River.

Tree Variance

Section 22A-12(b) (3) of Montgomery County Forest Conservation Law identifies certain vegetation as high priority for retention and protection. This Section of the Law requires that there be no impact to trees that measure 30 inches or greater DBH; trees that are part of a historic site or designated with a historic structure; trees that are designated as a national, State, or County champion; trees that are at least 75 percent of the diameter of the current State champion tree of that species; or trees, shrubs, or plants that are designated as Federal or State rare, threatened, or endangered species. The Law provides for a variance to examine any impact to vegetation meeting these criteria, including removal of a tree or disturbance to its critical root zone (CRZ), if enforcement of this Law can be recognized as an unwarranted hardship to a person seeking relief. A request for a variance must provide certain written information including justification of any unwarranted hardship and support of certain required findings, in accordance with Section 22A-21 of the County Forest Conservation Law.

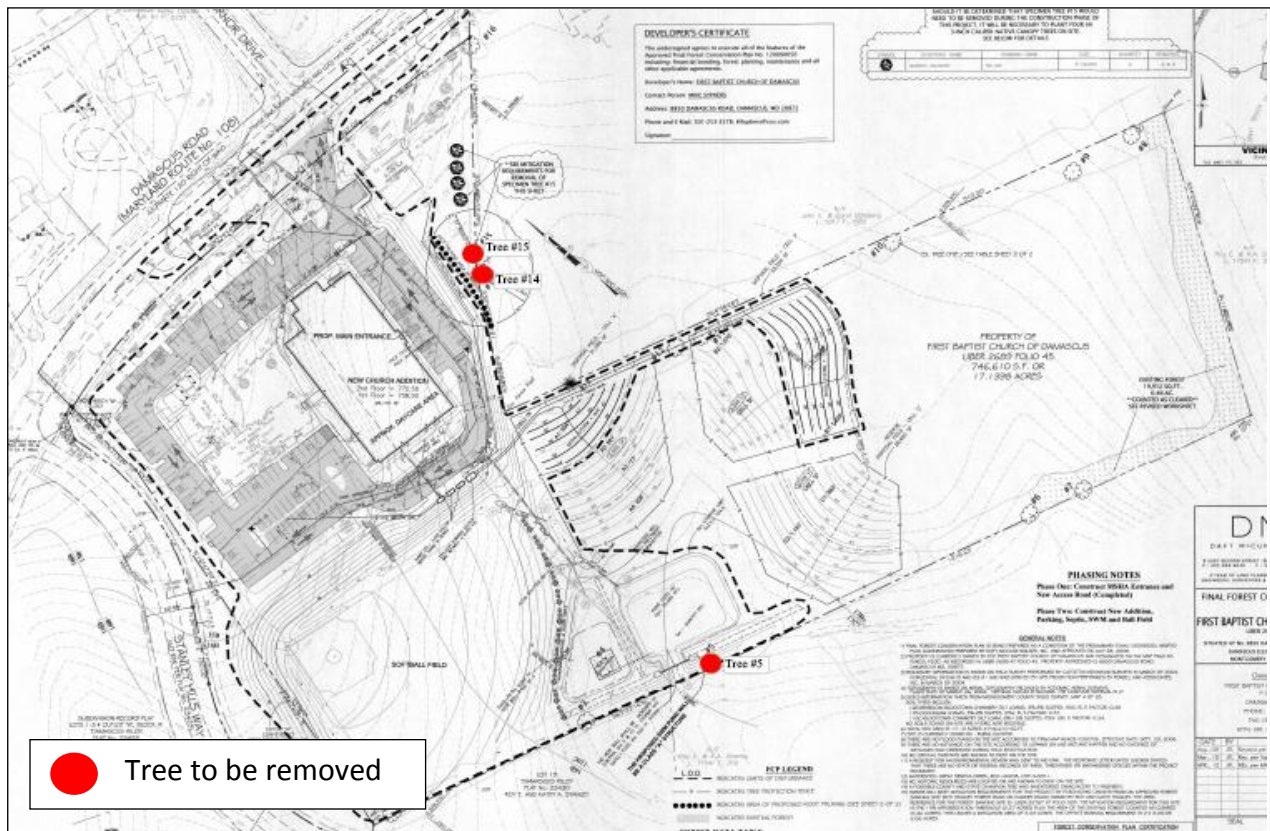
The Applicant submitted a variance request in a letter dated December 22, 2009 (Attachment C). In accordance with Montgomery County Code Section 22A-21(c), the Planning Department forwarded a copy of the variance request to the County Arborist of the Montgomery County Department of Environmental Protection for a recommendation. On December 14, 2009, the County Arborist issued a letter stating that she has elected not to review the variance request (Attachment D).

Unwarranted Hardship

The Variance request included a justification as to why enforcement of the Law would create an unwarranted hardship upon the Applicant. Staff has reviewed the Applicant’s justification and believes

it demonstrates that enforcement of Section 22A-12(b) (3) would result in an unwarranted hardship. Development on the Property is constrained by existing site conditions including the existing buildings and the proximity of certain specimen trees to the area needed for the expansion. The Applicant has made efforts to minimize imperviousness recommended in the Damascus Master Plan by locating the new addition and expanded parking in close proximity to the existing building and parking in a compact manner. By limiting the development to the area of the Property closest to Damascus Road, pavement is reduced and impact to other specimen trees is eliminated. The grading necessary to construct these improvements as proposed, will impact two specimen trees (#14 and #15).

The existing conditions and new development require new stormwater management facilities which must be placed down grade from the impervious areas along Damascus Road. The expansive septic reserve areas are also located downslope of the buildings because they operate using gravity to convey effluent. Both the septic systems and stormwater systems compete for the same areas of the Property. The stormwater management systems must be located at the lowest points, topographically, of a given property to receive runoff. The grading for the proposed stormwater management facilities in the location where it has been approved by MCDPS severely impacts a tree (#5). Based on the existing conditions and grading required for the expansion and its infrastructure, staff agrees that there would be an unwarranted hardship imposed upon the Applicant if Section 22A-12(b) (3) were enforced. The request for a variance review to impact three trees is appropriate.



Variance Review

Section 22A-21 of the County Forest Conservation Law sets forth the findings that must be made by the Planning Board or Planning Director, as appropriate, in order for a variance to be granted.

- (1) Approval of the variance will not confer on the Applicant a special privilege that would be denied to other applicants:

Granting the variance will not confer a special privilege on the Applicant as disturbance to the specified trees are due to the reasonable expansion of an existing use on the site. Although the Property encompasses 17 acres of land, the L-shaped configuration coupled with the desire to minimize imperviousness by incorporating the bulk of the expansion into the existing developed area onsite, is limiting. The affected trees lie within the most developable areas of the site. Granting a variance request to allow disturbance or removal of the three identified trees would not be unique to this Applicant. Tree #5, a 30" DBH white mulberry (*Morus alba*) is the one large tree that is designated for certain removal. This tree, a non-native, invasive species determined to be in fair condition, is located along the southern property line, at the lowest elevation on the property, within a natural drainage swale. It is the proposed and preferred location of an onsite stormwater management facility. The stormwater management concept plan has been approved by MCDPS.

The other two trees included in this request, will have less than one-third of their critical root zones impacted, and will be saved unless determined otherwise in the field by a certified arborist and an M-NCPPC forest conservation inspector. These two trees, a 38" DBH red maple (*Acer rubrum*) (Tree #15) and a 45" DBH Tree-of-Heaven (*Ailanthus altissima*) (Tree #14, non-native, invasive species), are adjacent to each other and are located along the northeastern property line. They will be impacted by grading for a proposed parking lot. Root pruning is proposed for both of these trees in order to help preserve the trees. It is believed that these two trees can be saved; however, due to the proposed impacts, the Applicant is pursuing the variance for the potential removal if M-NCPPC staff deems it necessary in the field. Staff has determined that the removal and impacts to the trees subject to the variance requirement cannot be avoided. Therefore, staff believes that the granting of this variance is not a special privilege that would be denied to other applicants.

- (2) Approval of the variance is not based on conditions or circumstances which are the result of the actions by the Applicant:

The requested variance is not based on conditions or circumstances which are the result of specific actions by the Applicant outside the norm of a development application allowed under the applicable zoning and associated regulations. Religious institutions are a permitted use in the Rural Cluster zoned. The requested variance is based upon the proposed site layout for the addition to the facility that incorporates the location of the existing church and parking lot that are to remain.

- (3) Approval of the variance is not based on a condition relating to land or building use, either permitted or non-conforming, on a neighboring property:

The requested variance is a result of the existing and proposed site design and layout on the Subject Property in accordance with the zoning and subdivision requirements, and it is not as a result of land or building use on a neighboring property.

- (4) Approval of the variance will not violate State water quality standards or cause measurable degradation in water quality:

The granting of this variance request will not result in the removal or impacts of any trees located within the environmental buffer, wetland, or special protection area. MCDPS has found the stormwater management concept for the proposed project to be acceptable and conditionally approved it in a letter dated April 25, 2006 and as administratively amended on May 21, 2012. Therefore, staff believes that the project will not violate State water quality standards or cause measurable degradation in water quality.

In conformance with the above findings, Staff recommends that the Planning Board approve the Applicant's request for a forest conservation variance to remove three trees (Tree #5, Tree #14, and Tree #15).

Mitigation for Trees Subject to the Variance Provisions

There are three trees proposed for removal in this variance request. Two of these trees are classified as invasive species and their removal is often encouraged. Therefore, mitigation for the removal of Tree #5 and Tree #14 is not recommended. The third tree (Tree #15) is likely to be saved, but a determination will be made in the field during construction. If this tree is removed, mitigation should be at a rate that approximates the form and function of the tree. Therefore, staff is recommending that replacement occur at a ratio of approximately 1" DBH (Diameter at Breast Height) for every 4" DBH removed, using trees that are a minimum of 3" DBH. This means that for the 38 caliper inches of tree removed, they will be mitigated by the Applicant with four (4) native canopy trees with a minimum size of 3" DBH on the site. While these trees will not be as large as the tree lost, they will provide some immediate canopy and ultimately replace the canopy lost by the removal of this tree. If it is determined that this tree can be saved and the result is some disturbance within the critical root zone, tree protection measures will be employed and additional mitigation is not recommended.

STORMWATER MANAGEMENT

A stormwater management concept for the project was conditionally approved by MCDPS on April 25, 2006, and as administratively amended on May 21, 2012 (Attachment E). The concept consists of a dry pond to provide on-site channel protection measures and 2 & 10 year storage due to future downstream development. Water quality control will be provided via a surface sand filter with a hydrodynamic device for pretreatment. A grass swale will also provide water quality for the proposed ball field. Recharge will be provided by multiple methods including dry wells, infiltration, and the grass swale.

COMPLIANCE WITH THE SUBDIVISION REGULATIONS AND ZONING ORDINANCE

The Application has been reviewed for compliance with the Montgomery County Code, Chapter 50, the Subdivision Regulations. The Application meets all applicable sections of the Chapter. The proposed lot size, width, shape and orientation are appropriate for the location of the Property. The dimensions of lots within the general area vary greatly; many are shown on recorded plats and others are unplatted parcels with older structures upon them. The church has existed for many years on a large unplatted

parcel which must now be recorded by plat to allow a building permit for the addition. The resulting lot is appropriate given the existing use of the Property as a church that is a permitted use in the RC Zone.

The Preliminary Plan was reviewed for compliance with the development standards in the RC zone as specified in the Zoning Ordinance. The lot as proposed will meet all the dimensional requirements for area, frontage, width, and setbacks in that zone. A summary of this review is included in attached Table. The Application has been reviewed by other applicable county agencies, all of whom have recommended approval of the Preliminary Plan.

COMMUNITY OUTREACH

This Application was submitted and noticed in accordance with all Planning Board adopted procedures. A sign referencing the Application was posted along the Property frontage on Damascus Road (MD 108). A pre-submission meeting was held at the Church on March 3, 2008 at 7:30pm. Nine people were in attendance at the meeting. According to the minutes of that meeting no major issues were raised. Staff to date has received no citizen comments or correspondence regarding this application.

CONCLUSION

The proposed lot in this Application meets all requirements established in the Subdivision Regulations and the Zoning Ordinance and substantially conforms to the recommendations of the Damascus Master Plan. Access and public utilities will be adequate to serve the proposed lot, and the Application has been reviewed by other applicable county agencies, all of whom have recommended approval of the Preliminary plan. Therefore, approval of the Application with the conditions specified above is recommended.

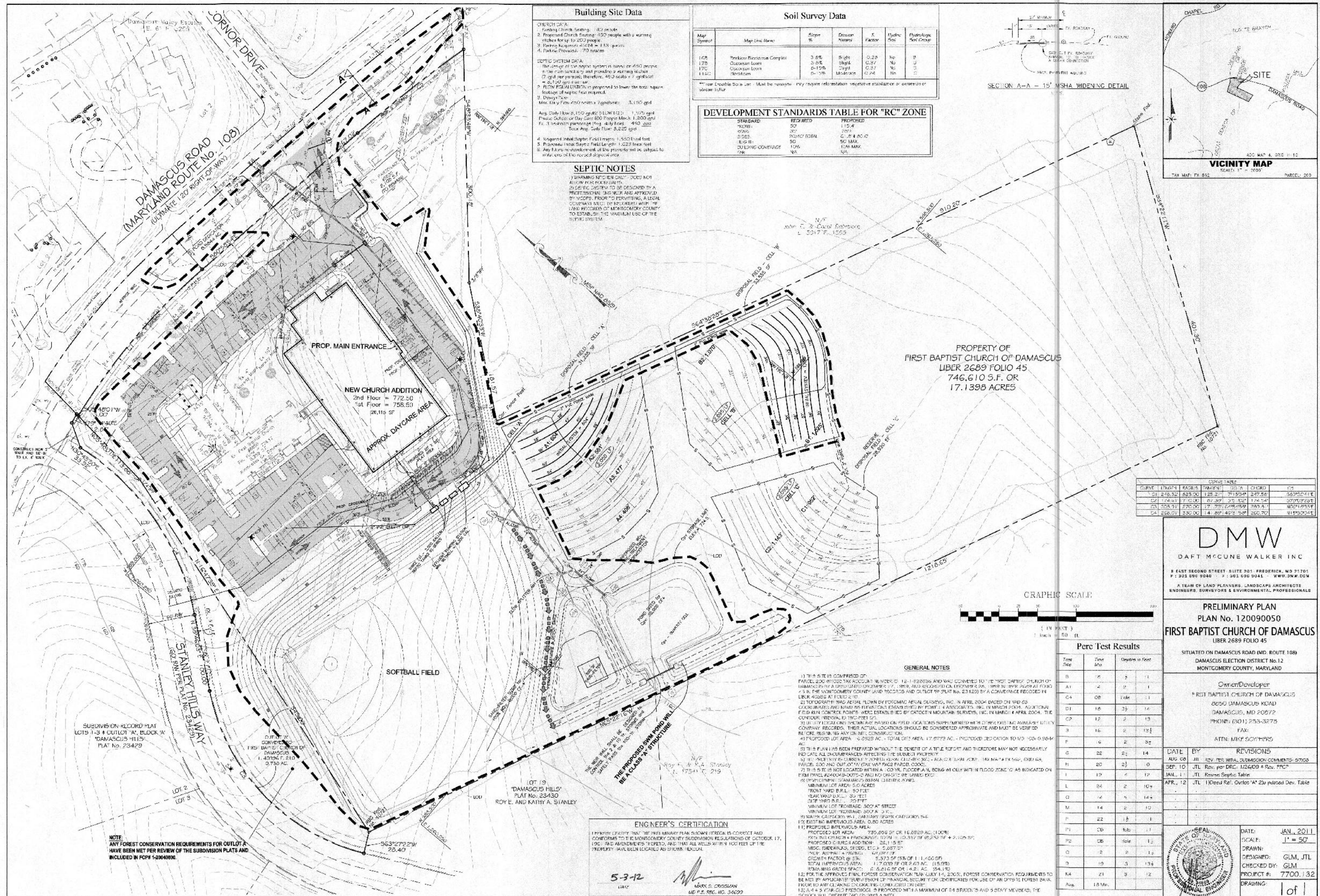
Attachments

- Attachment A – Preliminary Plan
- Attachment B – Final Forest Conservation Plan
- Attachment C – Variance request
- Attachment D – Arborist tree variance letter
- Attachment E – Stormwater Management concept approval

Table 1: Preliminary Plan Data Table and Checklist

Plan Name: First Baptist Church of Damascus				
Plan Number: 120090050				
Zoning: RC				
# of Lots: 1				
# of Outlots:				
Dev. Type: Standard				
PLAN DATA	Zoning Ordinance Development Standard	Proposed for Approval by the Preliminary Plan	Verified	Date
Minimum Lot Area	5 Acres	17.88 Acres	BB	04/16/2012
Lot Width	300 ft.	~600 ft.	BB	04/23/2012
Lot Frontage	300 ft.	~700 ft.	BB	04/23/2012
Setbacks				
Front	50 ft. Min.	115 ft.	BB	04/16/2012
Side	20ft. Min./ 40 ft. total	62 ft./81 ft.	BB	04/16/2012
Rear	35 ft. Min.	35 ft. or more	BB	04/16/2012
Height	50 ft. Max.	50 ft. or less	BB	04/16/2012
Max Resid'l d.u. or Comm'l s.f. per Zoning	10% of lot	10% or less	BB	04/16/2012
MPDUs	No	No	BB	04/16/2012
TDRs	No	No	BB	04/16/2012
Site Plan Req'd	No	No	BB	04/16/2012
FINDINGS				
<i>SUBDIVISION</i>				
Lot frontage on Public Street		Yes	BB	04/16/2012
Road dedication and frontage improvements		Yes	Agency letter	01/26/2009
Environmental Guidelines		Yes	Staff memo	06/24/2010
Forest Conservation		Yes	Staff memo	05/08/2012
Master Plan Compliance		Yes	Staff memo	01/26/2009
Other (i.e., parks, historic preservation)		N/A	BB	04/16/2012
<i>ADEQUATE PUBLIC FACILITIES</i>				
Stormwater Management		Yes	Agency letter	05/21/2012
Water and Sewer (WSSC)		Yes	Agency comments	01/26/2009
10-yr Water and Sewer Plan Compliance		Yes	Agency comments	01/26/2009
Well and Septic		Yes	Agency letter	02/01/2010
Local Area Traffic Review		Yes	Staff memo	01/26/2009
Policy Area Mobility Review		N/a	Staff memo	01/26/2009
Transportation Management Agreement		No	BB	04/16/2012
School Cluster in Moratorium?		No	BB	04/16/2012
School Facilities Payment		No	BB	04/16/2012
Fire and Rescue		Yes	Agency letter	04/21/2010

¹ As determined by MCDPS at the time of building permit.



Building Site Data

1. Existing Church Seating: 100 people
2. Proposed Church Seating: 450 people with a Sunday school for up to 200 people
3. Existing Bus Route: 4.133 people
4. Parking: Proposed: 170 spaces

SEPTIC SYSTEM DATA

The design of the septic system is based on 450 people in the main building and providing a Sunday school of 200 people; therefore, 450 people x 1.5 gallons = 675 GPD per day

1. FLOW ESTIMATION is proposed to lower the total square footage of septic flow required.

2. Design flow: 675 GPD

3. Daily Flow: 2700 GPD

4. Peak Daily Flow: 4200 GPD

5. Peak Daily Flow: 1150 GPD

6. Average Daily Flow: 600 GPD

7. Total Average Daily Flow: 1150 GPD

8. Total Average Daily Flow: 600 GPD

9. Total Average Daily Flow: 1150 GPD

10. Total Average Daily Flow: 600 GPD

11. Total Average Daily Flow: 1150 GPD

12. Total Average Daily Flow: 600 GPD

13. Total Average Daily Flow: 1150 GPD

14. Total Average Daily Flow: 600 GPD

15. Total Average Daily Flow: 1150 GPD

16. Total Average Daily Flow: 600 GPD

17. Total Average Daily Flow: 1150 GPD

18. Total Average Daily Flow: 600 GPD

19. Total Average Daily Flow: 1150 GPD

20. Total Average Daily Flow: 600 GPD

Soil Survey Data

Map Symbol	Map Unit Name	Slope %	Drainage Pattern	K Factor	Hydric Soil	Hydrologic Soil Group
169	Thinly Bedded Complex	3-5%	Slight	0.28	No	U
170	Coarsely Bedded Complex	3-5%	Slight	0.27	No	U
171	Medium Bedded Complex	5-15%	Medium	0.24	No	U

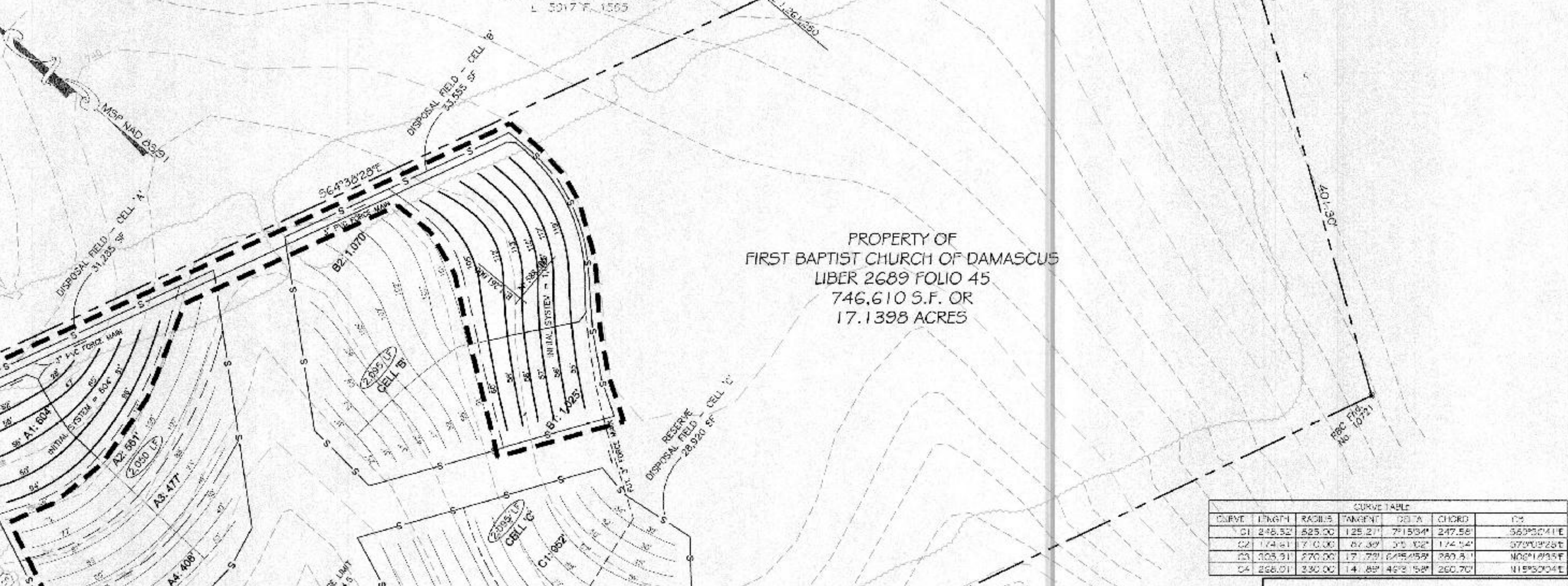
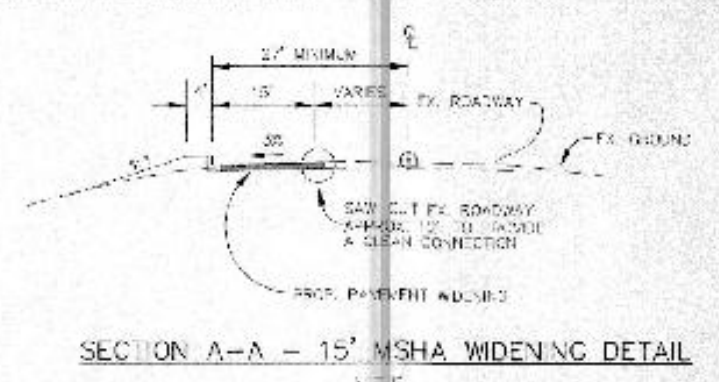
**For Liquid Soils - Must be available to require information regarding stabilization or treatment of sludge filter

DEVELOPMENT STANDARDS TABLE FOR "RC" ZONE

STANDARD	REQUIRED	PROPOSED
MINIMUM LOT AREA	50'	112.4'
MINIMUM LOT WIDTH	30'	30'
MINIMUM LOT DEPTH	20'	20'
MINIMUM LOT FRONT YARD SETBACK	5'	5'
MINIMUM LOT SIDE YARD SETBACK	5'	5'
MINIMUM LOT REAR YARD SETBACK	5'	5'
MINIMUM LOT CORNER SETBACK	5'	5'
MINIMUM LOT FRONT PORCH SETBACK	5'	5'
MINIMUM LOT SIDE PORCH SETBACK	5'	5'
MINIMUM LOT REAR PORCH SETBACK	5'	5'
MINIMUM LOT CORNER PORCH SETBACK	5'	5'
MINIMUM LOT FRONT DRIVEWAY SETBACK	5'	5'
MINIMUM LOT SIDE DRIVEWAY SETBACK	5'	5'
MINIMUM LOT REAR DRIVEWAY SETBACK	5'	5'
MINIMUM LOT CORNER DRIVEWAY SETBACK	5'	5'
MINIMUM LOT FRONT WALKWAY SETBACK	5'	5'
MINIMUM LOT SIDE WALKWAY SETBACK	5'	5'
MINIMUM LOT REAR WALKWAY SETBACK	5'	5'
MINIMUM LOT CORNER WALKWAY SETBACK	5'	5'
MINIMUM LOT FRONT FENCE SETBACK	5'	5'
MINIMUM LOT SIDE FENCE SETBACK	5'	5'
MINIMUM LOT REAR FENCE SETBACK	5'	5'
MINIMUM LOT CORNER FENCE SETBACK	5'	5'
MINIMUM LOT FRONT SIGN SETBACK	5'	5'
MINIMUM LOT SIDE SIGN SETBACK	5'	5'
MINIMUM LOT REAR SIGN SETBACK	5'	5'
MINIMUM LOT CORNER SIGN SETBACK	5'	5'
MINIMUM LOT FRONT MAILBOX SETBACK	5'	5'
MINIMUM LOT SIDE MAILBOX SETBACK	5'	5'
MINIMUM LOT REAR MAILBOX SETBACK	5'	5'
MINIMUM LOT CORNER MAILBOX SETBACK	5'	5'
MINIMUM LOT FRONT UTILITY SETBACK	5'	5'
MINIMUM LOT SIDE UTILITY SETBACK	5'	5'
MINIMUM LOT REAR UTILITY SETBACK	5'	5'
MINIMUM LOT CORNER UTILITY SETBACK	5'	5'

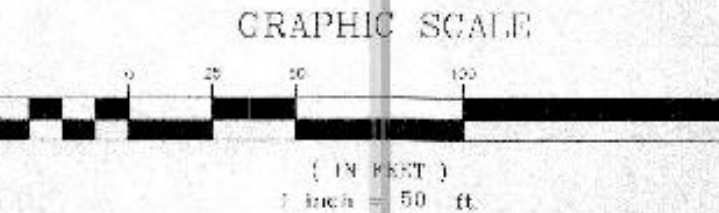
SEPTIC NOTES

1. WARNING: NOT TO BE USED FOR ANY OTHER PURPOSES.
2. THIS SEPTIC SYSTEM IS DESIGNED BY A PROFESSIONAL ENGINEER AND APPROVED BY THE ENGINEER OF MONTGOMERY COUNTY TO ESTABLISH THE MAXIMUM USE OF THE SEPTIC SYSTEM.



CURVE TABLE

Curve	Length	Radius	Chord	Delta	Offset	Area
C1	125.50	825.00	125.50	90.00	0.00	3627.50
C2	174.61	710.00	174.61	90.00	0.00	5707.50
C3	105.31	270.00	105.31	90.00	0.00	3071.25
C4	256.01	230.00	14.89	43.50	5.91	1159.04



DMW
DAFT MCCUNE WALKER INC
8 EAST SECOND STREET, SUITE 201, FREDERICK, MD 21701
P: 301.696.9040 F: 301.696.9041 WWW.DMW.COM
A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

PRELIMINARY PLAN
PLAN No. 120090050
FIRST BAPTIST CHURCH OF DAMASCUS
LIBER 2689 FOLIO 45

SITUATED ON DAMASCUS ROAD (MD. ROUTE 108)
DAMASCUS ELECTION DISTRICT No. 12
MONTGOMERY COUNTY, MARYLAND

Owner/Developer:
FIRST BAPTIST CHURCH OF DAMASCUS
2850 DAMASCUS ROAD
DAMASCUS, MD 20812
PHONE: (301) 253-3275
FAX:
ATTN: MARK SOYHPERS

REVISIONS

DATE	BY	REVISIONS
AUG. 08	JTL	REV. PER JTL SUBMISSION COMMENTS: 07/08
SEP. 10	JTL	REV. PER DRG. 12/26/09 & REV. PFC
JAN. 11	JTL	REVISE SEPTIC TABLE
APR. 12	JTL	1) Dead Ref. Outlets "A" 2) updated Det. Table

DATE: JAN. 2011
SCALE: 1" = 50'
DRAWN: GLM, JTL
DESIGNED: GLM
CHECKED BY: GLM
PROJECT #: 7700.132
DRAWING: 1 of 1

GENERAL NOTES

- 1) THIS SITE IS COMPRISED OF PARCEL 200 WHOSE TAX ACCOUNT NUMBER IS 12-1-268988 AND WAS CONVEYED TO THE FIRST BAPTIST CHURCH OF DAMASCUS BY A DEED DATED FEBRUARY 17, 1988 AND RECORDED IN MONTGOMERY COUNTY RECORDS AT FOLIO 45 IN THE MONTGOMERY COUNTY LAND RECORDS AND OUTLOT "A" PLAT NO. 23429 BY A CONVEYANCE RECORDED IN LIBER 2689 FOLIO 45.
- 2) EXISTING MAJOR FLOW BY POTOMAC AERIAL SURVEYS, INC. IN APRIL 2004 BASED ON MAP 05 COORDINATES AND HORIZONTAL ELEVATIONS ESTABLISHED BY POINT # 4 ASSOCIATES, INC. IN MARCH 2004. ADDITIONAL FIELD SURVEY CONTROL POINTS WERE ESTABLISHED BY CATCOON MOUNTAIN SURVEYS, INC. IN MARCH & APRIL 2004. THE CONVEYANCE REFERENCE TO THESE POINTS.
- 3) ALL ELEVATIONS SHOWN ARE BASED ON FIELD LOCATIONS SUPPLIED WITH OTHER PUBLIC AND AVAILABLE UTILITY COMPANY RECORDS. THEIR ACTUAL LOCATIONS SHOULD BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY ONE BEFORE ANY CONSTRUCTION.
- 4) PROPOSED LOT AREA: 4.8228 AC. TOTAL SITE AREA: 17.8773 AC. PROPOSED DEDICATION TO MD: 108: 0.8041 AC.
- 5) THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND THEREFORE MAY NOT NECESSARILY INDICATE ALL ENCUMBRANCES AFFECTING THE SUBJECT PROPERTY.
- 6) THE PROPERTY IS CURRENTLY ZONED GENERAL COMMERCIAL (GC) - ARA-CR (LOCAL ZONE) - 165 MPA (A PARKING, 600 G.S. FUTURE G.S. AND OUTLOT "A" (ON MAP PAGE PARCEL 200)).
- 7) THIS SITE IS NOT LOCATED WITHIN A 100' FLOOD PLANE, BEING AN ONLY WITHIN FLOOD ZONE (C) AS INDICATED ON FIRM PANEL #24008-0072-C AND NO ON-SITE WETLANDS EXIST.
- 8) MONTGOMERY COUNTY FOREST CONSERVATION PLAN: MINIMUM LOT AREA: 5.0 ACRES FRONT YARD SETBACK: 50 FEET SIDE YARD SETBACK: 30 FEET REAR YARD SETBACK: 30 FEET MINIMUM LOT FRONTAGE: 50 FT STREET MINIMUM LOT FRONTAGE: 50 FT STREET SIDE YARD SETBACK: 30 FT SIDE YARD SETBACK: 30 FT MINIMUM LOT REAR SETBACK: 50 FT STREET MINIMUM LOT REAR SETBACK: 50 FT STREET SIDE YARD SETBACK: 30 FT SIDE YARD SETBACK: 30 FT MINIMUM LOT CORNER SETBACK: 5 FT MINIMUM LOT CORNER SETBACK: 5 FT MINIMUM LOT CORNER DRIVEWAY SETBACK: 5 FT MINIMUM LOT CORNER DRIVEWAY SETBACK: 5 FT PROPOSED IMPERVIOUS AREA: 100 ACRES PROPOSED LOT AREA: 795,000 SF OR 18,088.9 AC (100%) PROPOSED CHURCH ADDITION: 26,115 SF MED. SIDEWALKS, STAIRS, ETC.: 2,887 SF MED. ASPHALT PAVING: 6,977 SF TOTAL IMPERVIOUS AREA: 5,573 SF (3% OF 1,100,000) TOTAL IMPERVIOUS AREA: 11,700 SF OR 2.63 AC. (1.5%) REMAINING GREEN SPACE: 6,521.6 SF OR 4.21 AC. (84.1%) FOR THE APPROVED FINAL FOREST CONSERVATION PLAN JULY 14, 2009, FOREST CONSERVATION REQUIREMENTS TO BE MET BY APPLICANT'S REVIEW OF "MANUAL SECURITY OF INTEREST" FOR USE OF AN OPEN SPACE FOREST BANK FROM ANY CLEARING OR GRADING CONDUCTED ON-SITE. 10.5 A + 5 YEAR OLD PRESHEDS IS PROVIDED WITH A MAXIMUM OF 24 STUDENTS AND 5 STAFF MEMBERS; THE SCHOOL WILL OPERATE TWO (2) DAYS A WEEK.

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THE PRELIMINARY PLAN SHOWN HEREON IS CORRECT AND CONFORMS TO THE MONTGOMERY COUNTY SUBDIVISION REGULATIONS OF OCTOBER 17, 1992, AND AMENDMENTS THERE TO, AND THAT ALL WELLS WITHIN 100 FEET OF THE PROPERTY HAVE BEEN LOCATED AS SHOWN HEREON.

5-3-12
MARK S. CROSSMAN
ME P.E. REG. NO. 34009

NOTE:
ANY FOREST CONSERVATION REQUIREMENTS FOR OUTLOT A HAVE BEEN MET PER REVIEW OF THE SUBDIVISION PLATS AND INCLUDED IN FORM 1-20040899.

Attachment B

DEVELOPER'S CERTIFICATE

The undersigned agrees to execute all of the features of the Approved Final Forest Conservation Plan No. 120000050 including: financial bonding, forest planning, maintenance and all other applicable agreements.

Developer's Name: **FIRST BAPTIST CHURCH OF DAMASCUS**

Contact Person: **MIKE SCYPHERS**

Address: **8850 DAMASCUS ROAD, DAMASCUS, MD 20872**

Phone and E-Mail: **301-253-3278; Mike.Scypers@verizon.net**

Signature: *Mike Scypers*

THE MARYLAND-NATIONAL CAPITAL PARKS AND PLANNING COMMISSION
FOREST CONSERVATION PLAN
SUBMITTED FOR PLANNING BOARD
APPROVAL

Plan No. **12000050**

Signature: *Mary P. Kaitlin* Date: **5/10/2012**

"MITIGATION NOTE FOR REMOVAL OF SPECIMEN TREE #15 SHOULD IT BE DETERMINED THAT SPECIMEN TREE #15 WOULD NEED TO BE REMOVED DURING THE CONSTRUCTION PHASE OF THIS PROJECT, IT WILL BE NECESSARY TO PLANT FOUR (4) 3-INCH CALIPER NATIVE CANOPY TREES ON SITE. SEE BELOW FOR DETAILS

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY	REMARKS
☉	QUERCUS ALBA	WHITE OAK	3" CALIPER	4	SEE # 8



RECEIVED
MNCPC
MAY 11 2012
MONTGOMERY COUNTY
PLANNING DEPARTMENT

EXISTING FOREST
19,912 SQ. FT.
0.46 AC.
"COUNTED AS CLEARED"
SEE REVISED WORKSHEET

PROPERTY OF
FIRST BAPTIST CHURCH OF DAMASCUS
LIBER 2689 FOLIO 45
746,610 S.F. OR
17.1398 ACRES

PHASING NOTES
Phase One: Construct MSHA Entrance and New Access Road (Completed)
Phase Two: Construct New Addition, Parking, Septic, SWM and Ball Field

GENERAL NOTES

- FINAL FOREST CONSERVATION PLAN IS BEING PREPARED AS A CONDITION OF THE PRELIMINARY PLAN (120000050) IMPROVED PLAN DEVELOPMENT PREPARED BY DAFT MCCUNE WALKER, INC. AND APPROVED ON JULY 28, 2011.
- PROPERTY IS CURRENTLY OWNED BY THE FIRST BAPTIST CHURCH OF DAMASCUS AND DESIGNATED ON TAX MAP #162 AS PARCEL 1000. AS RECORDED IN LIBER 2689 AT FOLIO 45. PROPERTY ADDRESS IS 8850 DAMASCUS ROAD, DAMASCUS, MD, 20872.
- BOUNDARY INFORMATION IS BASED ON FIELD SURVEY PERFORMED BY CAUDEN MOUNTAIN SURVEY IN MARCH OF 2004. HORIZONTAL DATUM IS NAD 83. AND WAS REVIEWED BY GPS POSITION VERIFIED BY FOWLER AND ASSOCIATES, INC. IN MARCH OF 2004.
- TOPOGRAHY IS BASED ON AERIAL PHOTOGRAPHY PROVIDED BY FOTOMAC AERIAL SURVEYS. FLIGHT DATE OF MARCH 28, 2004. VERTICAL DATUM IS NAVD83. THE CONE OF VISION IS 2.5.
- SOIL INFORMATION TAKEN FROM MONTGOMERY COUNTY SOILS SURVEY, MAP # OF 08.
- SOIL TYPES INCLUDE:
1) CUMMINGS FORESTLAND CHANNERY NET LOAM, 38-4% SLOPES, 10% B, K FACTOR: 0.25
2) CUMMINGS FORESTLAND CHANNERY NET LOAM, 38-4% SLOPES, 10% B, K FACTOR: 0.17
3) CUMMINGS FORESTLAND CHANNERY NET LOAM, 38-4% SLOPES, 10% B, K FACTOR: 0.24
- NO SOILS FOUND ON-SITE ARE HYDRIC NOR PRODUCE.
- TOTAL SITE AREA IS 17.13 ACRES @ 2.16 D.S.F.
- 7) SITE IS CURRENTLY ZONED RS - RURAL CLUSTER.
- 8) THERE ARE NO FLOODED PLANS ON THE SITE ACCORDING TO FIRM MAP #24031 (03/07/02), EFFECTIVE DATE: SEPT. 29, 2002.
- 9) THERE ARE NO WETLANDS ON THE SITE ACCORDING TO USFWS ON-LINE WETLAND MAPPER AND NO EVIDENCE OF WETLANDS WAS OBSERVED DURING FIELD INVESTIGATION.
- 10) NO CRITICAL HABITATS ARE KNOWN TO EXIST ON THE SITE.
- 11) A REQUEST FOR AN ENVIRONMENTAL REVIEW WAS MADE TO MD DNR. THE RESPONSE LETTER DATED 05/06/08 STATED THAT THERE ARE NO STATE OR FEDERAL RECORDS OF RARE, THREATENED OR ENDANGERED SPECIES WITHIN THE PROJECT BOUNDARY.
- 12) WATERBODIES: GREAT SENeca CREEK, RD# 140006, USE CLASS 4.
- 13) NO PROSIC RECORDS ARE LOCATED OR ARE KNOWN TO EXIST ON THE SITE.
- 14) A POSSIBLE COUNTY AND STATE CHAMPION TREE WAS IDENTIFIED ON-ADJACENT TO PROPERTY.
- 15) OWNER WILL MEET MITIGATION REQUIREMENTS FOR THIS PROJECT BY PURCHASING CREDITS FROM AN APPROVED FOREST BANKING SITE (ROY STANLEY FOREST BANK ON IMPAVED ROAD OWNED BY ROY AND KATHY STANLEY, THE DEED REFERENCE FOR THE FOREST BANKING SITE IS LIBER 26747 AT FOLIO 028. THE MITIGATION REQUIREMENT FOR THIS SITE IS THE 15% AFFORESTATION THRESHOLD (2.57 ACRES PLUS THE AREA OF THE EXISTING FOREST COUNTED AS CLEARED @ 0.46 ACRES. THIS LEAVES A MITIGATION AREA OF 3.03 ACRES. THE OFFSET BANKING REQUIREMENT IS 2 X 0.33 OR 0.66 ACRES.

FCP LEGEND
- - - - - INDICATES LIMITS OF DISTURBANCE
x x x x x INDICATES TREE PROTECTION FENCE
● ● ● ● ● INDICATES AREA OF PROPOSED ROOF PRUNING (SEE SHEET 2 OF 2)
● ● ● ● ● INDICATES EXISTING FOREST

FOREST DATA TABLE

EXISTING FOREST	0.45 AC.
EX. STREAM BUFFER	0 AC.
EX. FORESTED STREAM BUFFER	0 AC.
EX. WETLAND	0 AC.
EX. FORESTED WETLAND	0 AC.
ANTICIPATED FOREST CLEARING	0.46 AC.

GRAPHIC SCALE
1" = 50'
1 inch = 50 ft.

CURVE TABLE

CHORD	LENGTH	ARC	ANGLE	DELTA	CHORD	CD
C1	344.52	625.00	125.21	171.9544	247.50	309.52014
C2	174.42	312.50	62.60	85.9772	174.54	214.76007
C3	309.31	575.00	115.20	157.9544	209.81	262.76358
C4	254.01	500.00	100.00	143.1406	200.70	241.90358

NOTE: ANY FOREST CONSERVATION REQUIREMENTS FOR OUTLOT A HAVE BEEN MET FOR REVIEW OF THE SUBDIVISION PLATS AND INCLUDED IN PCP 1-20040800.

DMW
DAFT MCCUNE WALKER INC.
A EAST SECOND STREET, SUITE 205, FREDERICK, MD 21701
P. 301.498.8900 F. 301.498.8901 WWW.DMW.COM
A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

FINAL FOREST CONSERVATION PLAN
FIRST BAPTIST CHURCH OF DAMASCUS
LIBER 2689 FOLIO 45

SITUATED AT NO. 8850 DAMASCUS ROAD (MD ROUTE 108)
DAMASCUS ELECTION DISTRICT # 162
MONTGOMERY COUNTY, MARYLAND

Owner/Developer:
FIRST BAPTIST CHURCH OF DAMASCUS
8850 DAMASCUS ROAD
DAMASCUS, MD 20872
PHONE: (301) 253-3278
FAX: (301) 253-1713
ATTN: MR. MICHAEL SCYPHERS

DATE	BY	REVISIONS
Aug. 09	JTL	Revised per MNCPC comments: 06/20/09
Mar. 10	JTL	Rev. per Variance Request & MNCPC
May. 12	JTL	Rev. per MNCPC comments: 5/8/2012

DATE: MAR., 2010
SCALE: 1" = 50'
DRAWN: JTL
DESIGNED: JTL
CHECKED BY: GJM
PROJECT #: 05722
DRAWING: 1 of 2

FOREST CONSERVATION WORKSHEET		For Baptist Church of Damascus	
NET TRACT AREA			
A. Total tract area			17.13
B. Land dedication areas (ports, county facility, etc.)			0.00
C. Land dedication for roads or utilities (not being constructed by this plan)			0.00
D. Area to remain in commercial agricultural production/Use			0.00
E. Other deductions (specify)			0.00
F. Net Tract Area			17.13
LAND USE CATEGORY: (From Tractor Technical Manual)			
Input the number "1" under the appropriate land use area to verify one entry.			
ARA	MOR	IDA	HR
0	0	0	0
MPD	OR		
0	0		
G. Afforestation Threshold	10%	x F =	2.57
H. Conservation Threshold	20%	x F =	3.43
EXISTING FOREST COVER:			
I. Existing forest cover			0.48
J. Area of forest above afforestation threshold			0.00
K. Area of forest above conservation threshold			0.00
BREAK EVEN POINT:			
L. Forest retention above threshold with no mitigation			0.00
M. Clearing permitted without mitigation			0.00
PROPOSED FOREST CLEARING:			
N. Total area of forest to be cleared			0.48
O. Total area of forest to be retained			0.06
PLANTING REQUIREMENTS:			
P. Reafforestation for clearing above conservation threshold			0.00
Q. Reafforestation for clearing below conservation threshold			0.92
R. Credit for retention above conservation threshold			0.00
S. Total reafforestation required			0.92
T. Total afforestation required			2.11
U. Credit for landscaping (may not exceed 20% of "S")			0.00
V. Total reafforestation and afforestation required			3.03

INSPECTIONS

All field inspections must be requested by the applicant. Inspections must be conducted as follows:

Tree Save Plans and Forest Conservation Plans without Planting Requirements

1. After the limits of disturbance have been staked and flagged, but before any clearing or grading begins.
2. After necessary stress reduction measures have been completed and protection measures have been installed, but before any clearing and grading begins.
3. After completion of all construction activities, but before removal of tree protection fencing, to determine the level of compliance with the provision of the forest conservation.

Additional Requirements for Plans with Planting Requirements

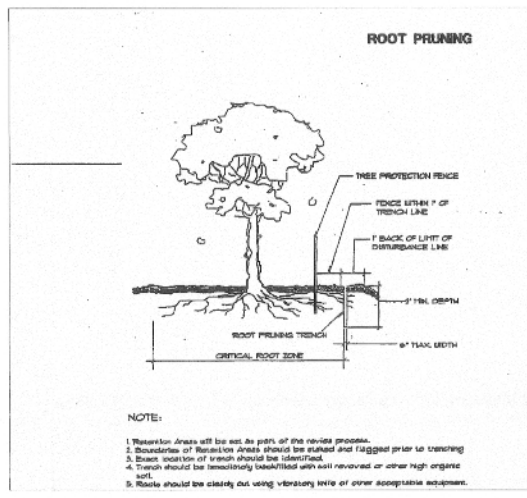
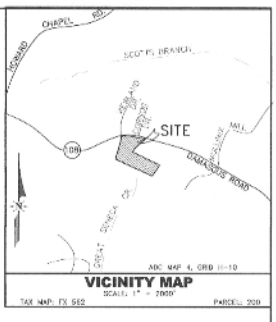
4. Before the start of any required reforestation and afforestation planting.
5. After the required reforestation and afforestation planting has been completed to verify that the planting is acceptable and prior to the start the maintenance period.
6. At the end of the maintenance period to determine the level of compliance with the provisions of the planting plan, and if appropriate, release of the performance bond.

FOREST CONSERVATION PLAN DATA TABLE	
1) Acreage of tracts 17.13 Acres	
2) Acreage of tract remaining in agricultural use: 0 acres	
3) Acreage of road and utility (not to be improved as part of the development application): 0 acres	
4) Acreage of total existing forest: 0.48 acres	
5) Acreage of forest retention: 0.00 acres	
6) Acreage of total forest cleared: 0.48 acres	
7) Land Use Category:	
Rational Development Area (RDA)	
Conservation Threshold: 20% or 3.4 Acres	
Afforestation Threshold: 10% or 1.7 Acres	
8) Acreage of Forest Retained Within Wetlands: 0 acres	
9) Acreage of forest cleared within wetlands: 0 acres	
10) Acreage of forest planted within wetlands: 0 acres	
11) Acreage of forest retained within 100 year floodplain: 0 acres	
12) Acreage of forest cleared within 100 year floodplain: 0 acres	
13) Acreage of forest planted within 100 year floodplain: 0 acres	
14) Acreage of forest retained within stream buffer: 0 acres	
15) Acreage of forest cleared within stream buffer: 0 acres	
16) Acreage of forest planted within stream buffer: 0 acres	
17) Acreage of forest retained within priority areas: 0 acres	
18) Acreage of forest cleared within priority areas: 0 acres	
19) Acreage of forest planted within priority areas: 0 acres	
20) Mean feet and average width of stream buffer provided on each side of stream: 0 acres	

Sequence of Events for Property Owners Required to Comply With Forest Conservation and/or Tree-Save Plans

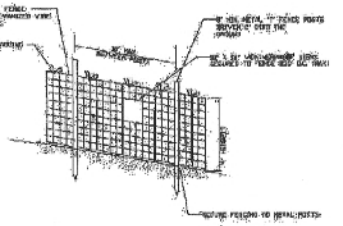
Pre-Construction

1. An on-site pre-construction meeting is required after the limits of disturbance have been staked and flagged, but before any clearing or grading begins. The property owner should contact the Montgomery County Planning Department inspection staff before construction to verify the limits of disturbance and discuss tree protection and tree care measures. The developer's representative, construction superintendent, ISA certified arborist or Maryland-licensed tree expert must implement the tree protection measures, forest conservation inspector, and Department of Permitting Services (DPS) sediment control inspector should attend this pre-construction meeting.
2. No clearing or grading shall begin before stress-reduction measures have been implemented. Appropriate measures may include, but are not limited to:
 - a. Root pruning
 - b. Crown reduction or pruning
 - c. Watering
 - d. Fertilizing
 - e. Vertical mulching
 - f. Root aeration/mulching



24" D.B.H. TREE INVENTORY			
No.	COMMON NAME/SCIENTIFIC NAME	D.B.H.	PROPOSED STATUS
1	WHITE MULBERRY Alnus alba	20"	TO BE REMOVED
2	TREE-OF-HEAVEN Ailanthus altissima	20"	TO BE REMOVED
3	TREE-OF-HEAVEN Ailanthus altissima	20"	TO BE REMOVED
4	SILVER MAPLE Acer saccharinum	30"	TO BE REMOVED
5	MULBERRY Alnus sp.	20"	TO BE REMOVED
6	RED MAPLE Acer rubrum	20"	SAVED
7	BLACK CHERRY Prunus serotina	31"	SAVED
8	PIE OAK FRI OAK	27"	SAVED
9	QUERCUS ALBISTRIS NORTHERN RED OAK Quercus bicolor	30"	SAVED
10	MULBERRY Alnus sp.	20"	SAVED
11	MULBERRY Alnus sp.	20"	TO BE REMOVED
12	MULBERRY Alnus sp.	20"	TO BE REMOVED
13	EASTERN RED CEDAR Juniperus virginiana	24"	TO BE DETERMINED IN FIELD
14	TREE-OF-HEAVEN Ailanthus altissima	30"	TO BE DETERMINED IN FIELD
15	RED MAPLE Acer rubrum	31"	SAVED
16	RED MAPLE Acer rubrum	31"	SAVED

* Specimen trees of species
* Candidate County Champion and Possible Candidate Site Champion
* Note height and spread dimensions are approximate.



- NOTES**
1. PROTECTION SHALL BE STAKED WITH SEDIMENT CONTROL TRENCHES.
 2. LOCATION AND LENGTH OF FENCING SHALL CORRESPOND TO FIELD WITH APPROX. 10% TOLERANCE. PROTECTIVE TRENCHES SHALL BE STAKED.
 3. PROTECTIVE TRENCHES SHALL BE STAKED.
 4. ROOT DAMAGE SHALL BE BY VIBRATION.
 5. PROTECTIVE STAKES SHALL BE REQUIRED.
 6. FENCING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

TREE PROTECTION FENCE DETAIL
NOT TO SCALE

Measures not specified on the forest conservation plan may be required as determined by the forest conservation inspector in coordination with the arborist.

3. A Maryland-licensed tree expert or an International Society of Arboriculture-certified arborist must perform all stress reduction measures. Documentation of stress reduction measures must be either observed by the forest conservation inspector or sent to the inspector at 8787 Georgia Avenue, Silver Spring, MD 20910. The forest conservation inspector will determine the exact method to carry the stress reduction measures during the pre-construction meeting.
4. Temporary tree protection devices shall be installed per the Forest Conservation Plan/Tree Save Plan and prior to any construction activities. Tree protection fencing locations should be staked prior to the pre-construction meeting. The forest conservation inspector, in coordination with the DPS sediment control inspector, may make field adjustments to increase the survivability of trees and forest shown as saved on the approved plan. Temporary tree protection devices may include:
 - a. Chain link fence (four feet high)
 - b. Super silt fence with wire strung between support poles (minimum 4 feet high) with high visibility flagging
 - c. 14 gauge 2 inch x 4 inch welded wire fencing supported by steel T-bar posts (minimum 4 feet high) with high visibility flagging
5. Temporary protection devices shall be maintained and installed by the contractor for the duration of construction project and must not be altered without prior approval from the forest conservation inspector. No equipment, trucks, materials, or debris may be stored within the tree protection fence areas during the entire construction project. No vehicle or equipment access to the fenced area will be permitted. Tree protection shall not be removed without prior approval of forest conservation inspector.
6. Forest retention area signs shall be installed as required by the forest conservation inspector, or as shown on the approved plan.
7. Long-term protection devices will be installed per the Forest Conservation Plan/Tree Save Plan and attached details. Installation will occur at the appropriate time during the construction project. Refer to the plan drawing for long-term protection measures to be installed.

DEVELOPER'S CERTIFICATE

The undersigned agrees to execute all of the features of the Approved Final Forest Conservation Plan No. 120090050 including: financial bonding, forest planting, maintenance and all other applicable agreements.

Developer's Name: **FIRST BAPTIST CHURCH OF DAMASCUS**
 Contact Person: **MIKE SCYPHERS**
 Address: **8550 DAMASCUS ROAD, DAMASCUS, MD 20822**
 Phone and E-Mail: **301-253-3278; Mike.Scypers@verizon.net**
 Signature: *Michael S. Scypers*

During Construction

8. Periodic inspections by the forest conservation inspector will occur during the construction project. Conditions and repairs to all tree protection devices as determined by the forest conservation inspector, must be made within the timeframe established by the inspector.

Post-Construction

9. After construction is completed, an inspection shall be requested. Corrective measures may include:
 - a. Removal and replacement of dead and dying trees
 - b. Pruning of dead or declining limbs
 - c. Soil aeration
 - d. Fertilization
 - e. Watering
 - f. Wound repair
 - g. Clean up of retention areas
10. After inspection and completion of corrective measures have been undertaken, all temporary protection devices shall be removed from the site. Removal of tree protection devices that also operate for erosion and sediment control must be coordinated with both the Department of Permitting Services and the forest conservation inspector. No additional grading, sodding, or haying may take place after the tree protection fencing is removed.

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

FOREST CONSERVATION PLAN SUBMITTED FOR PLANNING BOARD APPROVAL

Plan No. **120090050**
 Signature: *Walter J. Kibler* 5/15/2012
 Date

FOREST CONSERVATION PLAN CERTIFICATION

I CERTIFY THAT I AM QUALIFIED TO PREPARE AN ACCOUNT OF WHAT THE FIELD REPRESENTS OF THE FOREST CONSERVATION ACT PURSUANT TO COMPLY WITH THE REQUIREMENTS OF THE FOREST CONSERVATION ACT AND THAT TO THE BEST OF MY KNOWLEDGE THE INFORMATION HEREON SUBMITTED MEETS THE REQUIREMENTS OF THE MONTGOMERY COUNTY FOREST CONSERVATION ACT.

Walter J. Kibler 5/15/2012
 WALTER J. KIBLER, IS
 A MONTGOMERY COUNTY APPROVED
 FOREST CONSERVATION PLAN PROFESSIONAL

DMW
DAFT MCDUNE WALKER INC

8 EAST SECOND STREET SUITE 204 FREDERICK, MD 21704
 P. 301.586.8040 F. 301.586.8041 WWW.DMW.COM

A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

FINAL FOREST CONSERVATION PLAN

FIRST BAPTIST CHURCH OF DAMASCUS
 LIBER 2689 FOLIO 45

SITUATED AT No. 8550 DAMASCUS ROAD (MD ROUTE 168)
 DAMASCUS ELECTION DISTRICT No. 12
 MONTGOMERY COUNTY, MARYLAND

Owner/Developer
FIRST BAPTIST CHURCH OF DAMASCUS
 8550 DAMASCUS ROAD
 DAMASCUS, MD 20822
 PHONE: (301) 253-3278
 FAX: (301) 253-1715
 ATTN: MIKE SCYPHERS

DATE	BY	REVISIONS
Aug. 08	JTL	Revised per MNC/PC comment: 08/03/08
Mar. 10	JTL	Rev. per Variances Request Letter # MNC/PC
MAY. 12	JTL	Rev. per MNC/PC comment: 05/02/12

SEAL DATE: **MAY 15, 2012**

SCALE: **N/A**

DRAWN: **JTL**

DESIGNED: **JTL**

CHECKED BY: **GLW/GJM**

PROJECT #: **08722**

DRAWING: **2 of 2**

Attachment C



May 9, 2012

Maryland National Capital Park and Planning Commission
Montgomery County Planning Dept.
8787 Georgia Avenue
Silver Spring, MD 20910
Attn: Mary Jo Kishter

Re: **First Baptist Church of Damascus - Final Forest Conservation Plan
Request for Variance of Section 22A-21 of the County Code**
Plan #120090050
DMW, Inc. Project No.: 08722

Dear Ms. Kishter:

Based upon your letter of September 24, 2009 concerning the removal of some trees that are 30 inches or greater at the site of the proposed First Baptist Church of Damascus Preliminary Plan (#120090050), our client is requesting a variance of Section 22A-21 of the County Code. Listed below are the affected trees along with an explanation of why each tree will / may require removal. The trees are depicted on the previously submitted Final Forest Conservation Plan.

- Specimen Tree #5 (Mulberry - 30" dbh, *Morus sp.*) Possibly a white mulberry (*Morus alba*) that is considered an invasive specie. This tree is proposed to be removed due to the construction of a Stormwater Management Pond. The SWM Concept has been approved.
- Specimen Tree #14 (Tree-of-Heaven - 45" dbh, *Ailanthus altissima*) - The **"24" D.B.H. Inventory**, which was taken from the approved NRI-FSD (4-97104) indicates that the status of the affected tree is "to be determined in field". An analysis of the critical root zone (CRZ) indicates that approximately 25% of the CRZ will be disturbed. Since less than 33% of the CRZ will be disturbed, the tree is to be preserved. It is possible that the proposed grading for the road will not impact the tree which is why the plan indicates "t.b.d.". It should also be noted that these specimen trees were not located utilizing survey grade instruments but were located utilizing existing features from the topographic survey. It is entirely possible that the bulk of this tree lies on the adjoining property (Dahlberg). It should also be noted that this particular species is considered an "invasive" tree as shown in the **"TREES, Technical Manual"**. Although this tree is proposed to be preserved, the applicant is pursuing a variance for the

potential removal if MNCPPC staff or The County Arborist deems it necessary. It is understood that removal of the tree may require permission of the adjacent land owner, if the existing fence line represents the actual property line.

- Specimen Tree #15 (Red Maple – 38” d.b.h., *Acer rubrum*) – This tree lies adjacent to Specimen Tree #14 and is actually farther away from the proposed grading shown on the FCP. An analysis of the critical root zone (CRZ) indicates that approximately 12% of the CRZ will be disturbed. Here too, since less than 33% of the CRZ will be disturbed, the tree is to be preserved. With the tree’s adjacency to the proposed LOD we thought it best to indicate that the final decision should be “determined in the field”. Although this tree is proposed to be preserved, the applicant is pursuing a variance for the potential removal if MNCPPC staff or The County Arborist deems it necessary.

If removal of the three (3) trees were not allowed, it would result in an “unwarranted hardship” to our client, The First Baptist Church of Damascus.

The conditions for the variance request are:

- 1) *Special conditions* - The special conditions peculiar to this property are that these specimen trees shown on the plan are not a part of the 0.46 existing forest but are individual trees that have been left unhampered and allowed to grow. They are in fair to good condition.
- 2) *Landowner rights* - The landowner has been in the process of expanding the existing church due to an increase in the congregation size. Various plans have been submitted and are either approved or in the final process of approval. Should this variance not be granted, it would impact the church’s ability to continue getting the various plans approved for final construction. The applicant has progressed too far in the development process for this issue to cause potential delays.
- 3) *Water Quality* – Water quality is not an issue in this case. There are only three individual specimen trees on the 17 acre site that are proposed to be removed and it is possible that two of them might be able to be saved. This would have no impact on water quality standards. And, the removal of specimen tree #5 will not result in an upgrade of water quality standards due to the construction of the SWM pond.
- 4) *Other information* – The three trees that are proposed to be “removed” are fence row trees that are not part of a larger tract of



forest, and two of the three trees are considered invasive species. The granting of the variance request would be beneficial to our client to proceed through with their expansion plans.

If you should have any other questions or need any other information in order to review this plan, please do not hesitate to contact us.

Sincerely,

Daft McCune Walker Inc.

J.T. Lebherz, L.S.

Encl

Cc: Mike Syphers

First Baptist Church of Damascus



RECEIVED
1027
DEC 16 2009

OFFICE OF THE CHAIRMAN
THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

DEPARTMENT OF ENVIRONMENTAL PROTECTION

Isiah Leggett
County Executive

Robert G. Hoyt
Director

December 14, 2009

Royce Hanson, Chairman
Montgomery County Planning Board
Maryland National Capital Park & Planning Commission
8787 Georgia Avenue
Silver Spring, Maryland 20910

RE: Garrett Park Elementary School, no Mandatory Referral #, NRI/FSD applied for on 10/13/2008
Seven Locks Elementary School, MR2009736, NRI/FSD applied for on 11/21/2008
Montgomery Knolls Elementary School, Revision, MR2009743, NRI/FSD applied for on 10/23/2008
First Baptist Church of Damascus, DAIC 420090050 (NRI/FSD applied for on 5/7/2008)

Dear Dr. Hanson:

As stated in a letter to you from Bob Hoyt, dated October 27, 2009, the County Attorney's Office has advised me that the new provisions of the Forest Conservation Act do not apply to any application required by Chapter 22A of the Montgomery County Code submitted before October 1, 2009. Since the applications for the above referenced requests were submitted before this date, I will not provide a recommendation pertaining to these requests for variances.

If you have any questions, please do not hesitate to contact me directly.

Sincerely,

Laura Miller
County Arborist

cc: Robert Hoyt, Director
Walter Wilson, Associate County Attorney
Mark Pfefferle, Acting Chief



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan
County Executive

Robert C. Hubbard
Director

April 25, 2006

Mr. Gerald Lee Miller, Jr., P.E.
GLM Engineering
4987 Winchester Boulevard, #4
Frederick, MD 21703

Re: Stormwater Management **CONCEPT** Request
for First Baptist Church of Damascus
SM File #: 212699
Tract Size/Zone: 17.2 ac./Rural Cluster
Total Concept Area: 9.6 ac.
Parcel(s): 200
Watershed: Great Seneca Creek

Dear Mr. Miller:

Based on a review by the Department of Permitting Services Review Staff, the stormwater management concept for the above mentioned site is **acceptable**. The stormwater management concept consists of on-site channel protection measures through the use of a dry pond. 2 & 10 year storage will also be provided due to future downstream development. Water quality control will be provided via a surface sand filter with a hydrodynamic devise for pretreatment. Also, a grass swale will be constructed to provide water quality for the ball field. Recharge will be provided via multiple methods including dry wells, infiltration, and the grass swale.

The following **conditions** will need to be addressed **during** the detailed sediment control/stormwater management plan stage:

1. Prior to permanent vegetative stabilization, all disturbed areas must be topsoiled per the latest Montgomery County Standards and Specifications for Topsoiling.
2. A detailed review of the stormwater management computations will occur at the time of detailed plan review.
3. An engineered sediment control plan must be submitted for this development.
4. All filtration media for manufactured best management practices, whether for new development or redevelopment, must consist of MDE approved material.
5. Pond weir designs in excess of 4 ft. will require the review of the Natural Resources Conservation Service (NRCS). This will add additional time to the overall approval process.

This list may not be all-inclusive and may change based on available information at the time.

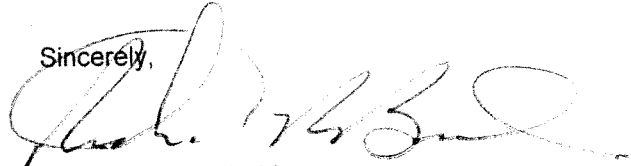
Payment of a stormwater management contribution in accordance with Section 2 of the Stormwater Management Regulation 4-90 is not required.



This letter must appear on the sediment control/stormwater management plan at its initial submittal. The concept approval is based on all stormwater management structures being located outside of the Public Utility Easement, the Public Improvement Easement, and the Public Right of Way unless specifically approved on the concept plan. Any divergence from the information provided to this office; or additional information received during the development process; or a change in an applicable Executive Regulation may constitute grounds to rescind or amend any approval actions taken, and to reevaluate the site for additional or amended stormwater management requirements. If there are subsequent additions or modifications to the development, a separate concept request shall be required.

If you have any questions regarding these actions, please feel free to contact Blair Lough at 240-777-6335.

Sincerely,



Richard R. Brush, Manager
Water Resources Section
Division of Land Development Services

RRB:dm bli

cc: C. Conlon
S. Federline
SM File # 212699

QN -on; Acres: 17.2
QL - on; Acres: 17.2
Recharge is provided



DEPARTMENT OF PERMITTING SERVICES

May 21, 2012

Isiah Leggett
County Executive

Diane R. Schwartz Jones
Director

J.T. Lebherz, LS
Daft McCune Walker, Inc.
8 East Second Street, Suite 201
Frederick, MD 21701

RE: First Baptist Church of Damascus
SM File #212699
Request for Administrative Waiver
for Grandfathering

Dear Mr. Lebherz,

Based on a review by the Department of Permitting Services, an administrative waiver is granted for the above mentioned project. The waiver is in accordance with the provisions of Section 19-21A of the Montgomery County Code and is based on the preliminary project approval for the site, as defined in the Code.

All previously approved conditions of the approved stormwater management concept plan for the site still apply. Please note that changes to the plan in the development process may constitute grounds to rescind or amend this waiver approval.

Please contact me at 240-777-6343 or rick.brush@montgomerycountymd.gov you have questions or comments.

Sincerely,

Richard R. Brush, Manager
Water Resources Section

cc: Mark Etheridge
SM File #212699



Application for Stormwater Management Concept

Project Name: First Baptist Church of Damascus

Property Size/Area: 17.2 Acres
Property Address / Location: 8850 Damascus Road, Damascus, Maryland 29872

Owner/Applicant Information:

Name: First Baptist Church of Damascus, Pastor E. Doyne Cantrell
Firm Name and/or Contact Person

Mailing Address P.O. Box 189
City Damascus State MD Zip 29872 Phone 301-253-3278

Engineer Information:

Name: GLM Engineering, Inc. Gerald Lee Miller, Jr., P.E.
Firm Name and/or Contact Person

Mailing Address 4987 Winchester Blvd., #4
City Frederick State MD Zip 21703-7435 Phone 301-874-6175

Type of Application:

New **Resubmittal** **Revision** **Reconfirmation**

Stormwater Management Provided:

Onsite Management
Onsite Quality Acres 17.2
Onsite Quantity Acres 17.2

Waiver Request
Waive Quality Acres _____
Waive Quantity Acres _____

Onsite Management/Waiver Combination
Onsite Quality Acres _____ Waive Quality Acres _____
Onsite Quantity Acres _____ Waive Quantity Acres _____

SPA Preliminary Water Quality Plan **SPA Final Water Quality Plan**

Total Disturbed Area (in acres): 9.6 Proposed Impervious Area (in acres): 2.75
Preliminary Plan No.: 1-97058 Tax Map No.: FX 562 WSSC Map Grid: 236NW9
Lot(s): _____ Block(s): _____
Parcel(s): 200 Subdivision: _____
Watershed: Great Seneca Creek Tributary: Upper Class: I-P
Municipality: _____ Liber: 2689 Folio: 45 Election District: 12
Current Zoning: Rural Cluster Proposed Zoning: Rural Cluster
Current Land Use: Church / open space Proposed Land Use: Church / open space

I declare and affirm, under penalty of perjury, that to the best of my knowledge, information and belief all matters and facts in this application are correct. I declare that I am the owner of the property or duly authorized to make this application on behalf of the owner.

Signature: Gerald L. Miller GERALD LEE MILLER 2/27/06
Signature of Applicant (Property Owner or Authorized Agent) Printed Name Date

Stormwater Concept Project #: 212699