

Plat Name: Chevy Chase, Section 4
Plat #: 220121440

Location: Located on the west side of Ridgewood Avenue 450 feet south of
Thornapple Street

Master Plan: Bethesda-Chevy Chase

Plat Details: R-60 zone; 1 lot
Community Water, Community Sewer

Applicant: Andrew J. Fisher

Staff recommends approval of this minor subdivision plat pursuant to Section **50-35A (a)(3)** of the Subdivision Regulations, which states:

Consolidation of Two or More Lots or a Part of a lot into One Lot. Consolidating more than one lot into a single lot is permitted under the minor subdivision procedure provided:

- a. Any conditions applicable to the original subdivision remain in full force and effect and the number of trips generated on the new lot do not exceed those permitted for the original lots or as limited by an Adequate Public Facilities agreement.
- b. Any consolidation involving a part of a lot may occur under the minor subdivision process if the part of a lot was created by deed recorded prior to June 1, 1958

Staff applied the above-noted minor subdivision criteria for the property included in this application and concludes that the proposed subdivision complies with the requirements of Section 50-35A(a)(3) and supports this minor subdivision record plat.

NOTES

1. THE PROPERTY SHOWN HEREON IS APPROVED FOR PUBLIC WATER AND SEWER WATER CATEGORY 1 SEWER CATEGORY 1.
2. THE PROPERTY THAT IS THE SUBJECT OF THIS RECORD PLAT IS IN THE R-40 ZONE AS OF THE DATE OF PLAT RECORDED.
3. I.P.F. = IRON PIPE FOUND
O.P.P. = OPEN IRON PIPE FOUND
4. THE APPROVAL OF THIS PLAT IS PREDICATED ON THE AVAILABILITY OF PUBLIC WATER AND SEWER.
5. THIS PROPERTY IS SHOWN ON TAX MAP HN 342.
6. THIS PROPERTY IS SHOWN ON M.S.S.C. 200-FOOT SHEET 209 HN 04.
7. ASSOCIATED WITH ANY PRELIMINARY PLAN, APPLICATION, AND SUBSEQUENT OTHER PLAN ALLOWING DEVELOPMENT OF THIS PROPERTY AS APPROVED BY THE BOARD OF PLANNING AND ZONING REGULATIONS OF THE MONTGOMERY COUNTY PLANNING BOARD AND UNLESS MODIFIED BY FURTHER ACTION BY THE BOARD, THE OFFICIAL PUBLIC FILES FOR ANY SUCH PLAN, APPLICATION, OR OTHER PLAN SHALL BE THE FINAL AUTHORITY FOR THE BOARD.
8. THE AREA CONTAINED ON THIS SUBDIVISION RECORD PLAT IS NOT INTENDED TO AFFECT THE OWNERSHIP AND USE, NOR EVERY MATTER RESTRICTING THE SUBDIVISION REGULATIONS, BEING CHAPTER 50 OF THE MONTGOMERY COUNTY SUBDIVISION RECORD PLAT ACT, AS APPLICABLE TO THIS PLAT, OR PARTS OF A LOT INTO A LOT, AS PROVIDED FOR IN SECTION 50-28A(6)(B).
9. THIS SUBDIVISION RECORD PLAT IS NOT INTENDED TO AFFECT ANY MATTER AFFECTING THE OWNERSHIP AND USE, NOR EVERY MATTER RESTRICTING THE SUBDIVISION REGULATIONS, BEING CHAPTER 50 OF THE MONTGOMERY COUNTY SUBDIVISION RECORD PLAT ACT, AS APPLICABLE TO THIS PLAT, OR PARTS OF A LOT INTO A LOT, AS PROVIDED FOR IN SECTION 50-28A(6)(B).
10. THIS SUBDIVISION RECORD PLAT IS NOT INTENDED TO REPLACE AN EXAMINATION OF TITLE OR TO DEFECT OR NOTE ALL MATTERS AFFECTING TITLE.

OWNERS' CERTIFICATE

WE, ANDREW J. FISHER, TRUSTEE OF THE ANDREW J. FISHER REVOCABLE TRUST, TRUSTEE OF THE ANDREW J. FISHER REVOCABLE TRUST, OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, SHOWN HEREON AS 10' PLAT 1, TO THOSE PARTIES NAMED IN THE DOCUMENT ENTITLED, "DECLARATION OF TERMS AND PROVISIONS OF PUBLIC UTILITY SERVICE" AND ALL OTHER DOCUMENTS REFERENCED THEREIN, AND ALL LAND BELONGING TO US AT THE TIME OF THE RECORDING OF THIS PLAN OF SUBDIVISION IN THE PUBLIC RECORDS OF MONTGOMERY COUNTY, MARYLAND. THERE ARE NO BUTTS, ACTIONS AT LAW, LEASES, LIENS, EASEMENTS, OR OTHER MATTERS AFFECTING THE PROPERTY SHOWN HEREON, UNLESS AS INDICATED BELOW.

5/17/12 *Andrew J. Fisher*
DATE ANDREW J. FISHER
WITNESS *Colleen M. Fisher*

5/17/12 *Colleen M. Fisher*
DATE COLLEEN M. FISHER
WITNESS *Andrew J. Fisher*

WE, SUNTRUST BANK, HEREBY CONSENT TO THIS PLAN OF SUBDIVISION
5/17/12 *A Lynn Arkes*
DATE A LYNN ARKES
WITNESS

PLAT TABULATION	
NUMBER OF LOTS	1
NUMBER OF PARCELS	1
AREA OF PARCEL(S)	11,250.00 SQ. FT.
AREA OF STREET DEDICATION	0
TOTAL AREA	11,250.00 SQ. FT. (0.25 ACRES)

Department of Permitting Services
Montgomery County, Maryland

Date: _____
Approved: _____
Division

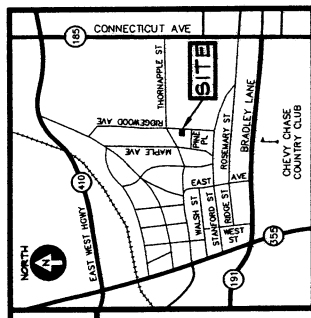
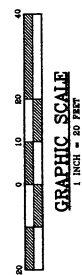
The Maryland National Capital Park and Planning Commission
Montgomery County Planning Board

Approved: _____
Chairman
ART. Secretary - Treasurer

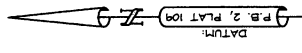
M.N.C.P. & P.C. Record File No. _____

Recorded _____
Plat No. _____

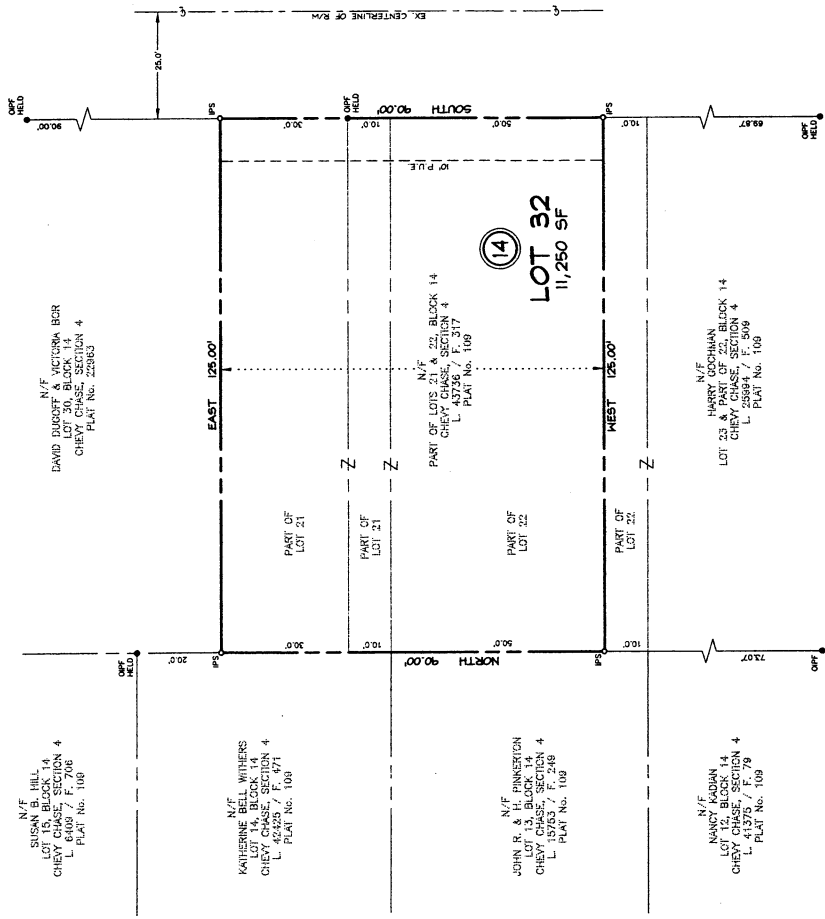
108 West Ridgeville Blvd., Suite 101
Mount Airy, Maryland 21771
Phone: 301-807-9645
www.caseengineering.com
info@caseengineering.com



VICINITY MAP
SCALE: 1" = 2000'



RIDGEWOOD AVENUE
50' RIGHT-OF-WAY (PER PLAT BOOK 2, PLAT No. 104 & 109)



SURVEYOR'S CERTIFICATE

HEREBY CERTIFY THAT THE PLAN SHOWN HEREON IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH ALL OF THE LANDS CONVERTED BY ANDREW J. FISHER AND COLLEEN M. FISHER INTO ANDREW J. FISHER, TRUSTEE OF THE ANDREW J. FISHER REVOCABLE TRUST, TRUSTEE OF THE ANDREW J. FISHER REVOCABLE TRUST, BY DEED DATED APRIL 14, 2012 AND BEING A RESUBDIVISION OF PARTS OF LOT 21 AND LOT 22, BLOCK 14, CHEVY CHASE, SECTION 4, MONTGOMERY COUNTY, MARYLAND, AND THAT THE TOTAL AREA INVOLVED IN THIS PLAT IS 11,250 SQUARE FEET, NONE OF WHICH IS DEDICATED TO PUBLIC USE, AND THAT ALL PROPERTY CORNERS HEREON HAVE BEEN RECONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF MONTGOMERY COUNTY, MARYLAND.

5/17/12 *Jeffery Allen Mathison*
DATE JEFFERY ALLEN MATHISON
REGISTERED PROFESSIONAL SURVEYOR
NO. 1622, NO. 2816
EXPIRATION DATE: JULY 19, 2018

SUBDIVISION RECORD PLAT
LOT 32, BLOCK 14
CHEVY CHASE,
SECTION 4

A RESUBDIVISION OF PART OF LOTS 21 AND 22, BLOCK 14

BETHESDA (7TH) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND
SCALE: 1" = 20' MAY, 2012

MINOR SUBDIVISION PLAT REVIEW SHEET

(This form contains 3 pages)

Plat Name: Cherry Close, Section 4 Plat Number: 220121440
 Plat Submission Date: 3/20/2012
 DRD Plat Reviewer: H. Myrals
 DRD Prelim Plan Reviewer: _____

*For category of minor subdivision see pages 2 and 3

Initial DRD Review:

Pre-Preliminary Plan No. _____ Checked: Initial _____ Date _____
 Preliminary Plan No. _____ Checked: Initial _____ Date _____
 Planning Board Opinion - Date _____ Checked: Initial _____ Date _____
 Site Plan Name if applicable: _____ Site Plan Number: _____
 Planning Board Opinion - Date _____ Checked: Initial _____ Date _____

Lot # & Layout Lot Area Zoning OK Bearings & Distances OK Coordinates _____
 Plan # OK Road/Alley Widths OK Easements OK Open Space OK Non-standard _____
 BRLs N/A Adjoining Land Vicinity Map Septic/Wells N/A
 TDR note N/A Child Lot note N/A Surveyor Cert Owner Cert Tax Map OK
 SPA N/A

Agency Reviews Req'd	Reviewer	Date Sent	Due Date	Date Rec'd	Comments
Environment	Evelyn Gibson	4/11/12	4/13/12	2/30/12	OK
Research	Bobby Fleury			"	OK
SHA	Corren Giles				
PEPCO	Bobbie Dickey				
Parks	Doug Powell				N/A
DRD	Keiona Clark				

Final DRD Review:

	Initial	Date
Consultant Notified (Final Mark-up):	<u>WJM</u>	<u>4/19/12</u>
Final Mylar & DXF/DWG Received:	<u>SOS</u>	<u>6/20/12</u>
Final Mylar Review Complete:	<u>SOS</u>	<u>7-12-12</u>

Board Approval of Plat:

Plat Agenda:	<u>SOS</u>	<u>7/26/12</u>
Planning Board Approval:	_____	_____
Chairman's Signature:	_____	_____

MCDPS Approval of Plat:

Consultant Pick-up for DPS Signature:	_____	_____
Final Mylar for Reproduction Rec'd:	_____	_____

Plat Reproduction:

Addressing:	_____	_____
File Card Update:	_____	_____
Final Zoning Book Check:	_____	_____
Update Address Books with Plat #:	_____	_____
Update Green Books for Resubdivision:	_____	_____
Complete Reproduction:	_____	_____
Notify Consultant to Seal Plats:	_____	_____
Surveyor's Seal Complete:	_____	_____
Sent to Courthouse for Recordation:	_____	_____
Recordation Info Entered into Hansen	_____	_____

No. _____

MINOR SUBDIVISION SECTION 50-35A

Select which Category of Minor Subdivision and fill information as required

Requirements under Sec 50-35A (A)

(1) Minor Lot Adjustment

- a) Total area does not exceed 5% of combined area affected: _____
- b) No additional lots created: _____
- c) Adjusted line is approximately parallel/does not significantly change shape of the lots: _____
- d) Date sketch plan submitted: _____
- e) Sketch plan revised or denied within 10 business days: _____
- f) Final record plat submitted within ninety days: _____
- g) Sketch shows following information:
 - i. proposed lot adjustment: _____
 - ii. physical improvements within 15 feet of adjusted line: _____
 - iii. alteration to building setback: _____
 - iv. amount of lot area affected: _____

(2) Conversion of Outlot into a Lot

- a) Outlot not required for open space or otherwise constrained: _____
- b) Adequate sewerage and water service/public or private: _____
- c) Adequate public facilities and AGP satisfied: _____
- d) Any conditions/agreements of original subdivision: _____
- e) Special Protection Area, Water Quality Plan required: _____

(3) Consolidation Of Two of More Lots

- a) Any prior subdivision conditions: _____
- b) Part of lot created by deed prior to June 1 1958: OK
OK

(4) Further Subdivision of Commercial/Industrial/Multi-Family Lot

Any subdivision/conditions; APF agreement satisfied: _____

(5) Plat of Correction

- a) All owners and trustees signed: _____
- b) Original Plat identified: _____

(6) Plats for Residentially Zoned Parcels Created by Deed prior to June 1958

- a) Deed(s) submitted: _____
- b) Developable with only one single family detached unit: _____

(7) Plat for Existing Places of Worship, Private Schools, Country Club, Private Institution, and Similar Uses located on Unplatted Parcels

- a) Adequate Public Facilities satisfied: _____
- b) Street dedication required: _____
- c) Forest conservation: _____
- d) Storm water management: _____
- e) Special Protection Area/Water Quality Plan: _____
- f) Landscaping and lighting plan including parking lot layout: _____
- g) Approved Special Exception: _____

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