



DEPARTMENT OF ENVIRONMENTAL PROTECTION

Isiah Leggett
County Executive

Robert Hoyt
Director

October 29, 2012

NOTICE OF ADMINISTRATIVE PUBLIC HEARING

TO: Keith Levchenko, Senior Legislative Analyst
County Council

Mary Dolan, Acting Chief, Functional Planning and Policy Division
Maryland - National Capital Park and Planning Commission

Mike Harmer, Manager, Development Services Group
Washington Suburban Sanitary Commission

Gene Von Gunten, Manager, Well and Septic Section
Department of Permitting Services

Category Change Request Property Owners and Applicants

FROM: Alan Soukup, Sr. Planner, Water and Wastewater Policy Group
Department of Environmental Protection

SUBJECT: Public Hearing for Water and Sewer Plan Amendments: AD 2012-2

DATE & TIME: **Friday, November 30, 2012, at 10:30 am**

LOCATION: **DEP Lobby Conference Room**, 255 Rockville Pike, Suite 120, Rockville

Please be advised that the Montgomery County Department of Environmental Protection (DEP) will hold an administrative public hearing as specified above on the following seven requested amendments to the County's Comprehensive Water Supply and Sewerage Systems Plan:

- WSCCR 12-APH-01A, P. Neal Cogswell
- WSCCR 12-CLO-01A, Margarita Lopez
- WSCCR 12-CLO-02A, Alan & Kathleen Wright
- WSCCR 12-CLO-03A, Bruce Stedman
- WSCCR 12-GWC-02A, Ramana Venigalla
- WSCCR 12-TRV-01A, Dorothy Haines (w/ Patuxent River Devel.)
- WSCCR 12-TRV-02A, Dorothy Haines (w/ Patuxent River Devel.)

To assist with your review, a PDF has been created and posted to the "Service Area Category Changes" page of our website, <http://www.montgomerycountymd.gov/waterworks>. In addition to this memorandum, that PDF includes the following information for each proposed amendment:

- Staff reports and recommendations
- Mapping
- Supporting documents, as appropriate

We ask that Council staff provide the posted materials to the Councilmembers for their review. If Council staff members would like to meet with DEP regarding any of the proposed amendments, we can work together to schedule a meeting to review these cases before the public hearing. We request that the Council submit comments no later than the hearing record closing date; otherwise, we will assume that the Councilmembers agree with administrative approval as recommended for all seven requests.

Your attendance at this hearing is optional; all requests will be considered at that time. If you wish to comment on the referenced amendment or on the staff recommendations, you may testify at the public hearing, or you may submit written testimony to: Robert Hoyt, Director, DEP; 255 Rockville Pike, Suite 120; Rockville, MD 20850-4166; or to waterworks@montgomerycountymd.gov.

Note that the hearing record will close at 5:00 p.m. on Friday, December 7, 2012; all written testimony must be *received* in this office by that time and date. The Director will then act on the amendments, and DEP will notify you of that action by e-mail.

The Montgomery County Planning Board will also consider the proposed amendments in a public forum; further information and their schedule will be provided by the Functional Planning and Policy Division, 301-495-4520, and on their site: <http://www.mc-mncppc.org/board/index.shtml> .

Please do not hesitate to contact me at alan.soukup@montgomerycountymd.gov or at 240-777-7716 if you have any questions concerning the following category change requests or the review schedules.

Attachments

ADS: ads/

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cc: Civic/Environmental Groups, and designated interested parties
Isiah Leggett, County Executive
Roger Berliner, President, County Council & Chairperson, Council Transportation, Infrastructure, Energy, & Environment Committee
Françoise Carrier, Chairperson, Montgomery County Planning Board
John Carter & Katherine Nelson, Area 3 Planning Team, M-NCPPC
Geoffery Mason, Parks Planning and Stewardship Division, M-NCPPC
David Shen & Kathy Maholtz, Development Services Group, WSSC
Jay G. Sakai, Director, Water Management Admin., Maryland Dept. of the Environment
Richard Eberhard Hall, Secretary, Maryland Department of Planning

WSSCR 12-APH-01A: P. Neal Cogswell

DEP Staff Recommendation: Approve S-1. Administrative policy V.F.1.a.: Consistent with Existing Plans.

<p>Property Information and Location Property Development</p> <ul style="list-style-type: none"> • 2111 Marymont Rd., Aspen Hill • Lot 14, Block F, Allanwood (acct. no. 01394564) • Map tile: WSSC – 221NW02; MD – JS12 • North side of Marymont Rd. west of Tierra Dr. • R-200 Zone; 0.93 ac. • Aspen Hill Planning Area Aspen Hill Master Plan (1994) • Northwest Branch Watershed (MDE Use IV) • <u>Existing use</u>: single-family house (built 1954) <u>Proposed use</u>: service for the existing house to relieve a failed septic system 	<p>Applicant's Request: Service Area Categories & Justification</p> <p>Service Area Categories:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr style="border-bottom: 1px solid black;"> <th style="text-align: left; width: 50%;"><u>Existing</u></th> <th style="text-align: left; width: 50%;"><u>Requested</u></th> </tr> </thead> <tbody> <tr> <td>W-1</td> <td>W-1 (no change)</td> </tr> <tr> <td>S-6</td> <td>S-1</td> </tr> </tbody> </table> <p><u>Applicant's Explanation</u></p> <p>"Our septic system has failed, as per the enclosed memo."</p> <p><i>DEP notes:</i></p> <ul style="list-style-type: none"> • <i>The applicant's reference above is to the attached memo dated Jan. 20, 2012, from DPS to DEP confirming the septic system failure.</i> • <i>Based on the preceding information, on Jan. 20, 2012, DEP directed the WSSC Development Services Group to proceed with and expedite the provision of public sewer service for this property.</i> 	<u>Existing</u>	<u>Requested</u>	W-1	W-1 (no change)	S-6	S-1
<u>Existing</u>	<u>Requested</u>						
W-1	W-1 (no change)						
S-6	S-1						

DEP Staff Report: The applicant has requested a change from sewer category S-6 to S-1 to allow the connection of his house to public sewer service. The applicant's request is prompted at this time by the failure of the existing septic system serving the property.

The provision of public sewer service within this R-200 Zone is consistent with Water and Sewer Plan general service policies and with master plan service recommendations. WSSC reports that an existing sewer main abuts and can provide sewer service to this lot.

The property satisfies the Water and Sewer Plan's public health problem policy. On that basis, DEP issued a health problem memo to WSSC on January 20, 2012, requesting an expedited sewer service connection. WSSC has recently confirmed the provision of public sewer service to this property; a service connection permit was issued in late January 2012.

Agency Review Comments

DPS – Well & Septic: *(DEP note: the DPS Well and Septic Section confirmed a septic system failure at this location on January 20, 2012.)*

M-NCPPC – Planning Department: The 1994 Aspen Hill Master Plan supports sewer service to this property which has an abutting sewer main and a failing septic system. Approve S-1.

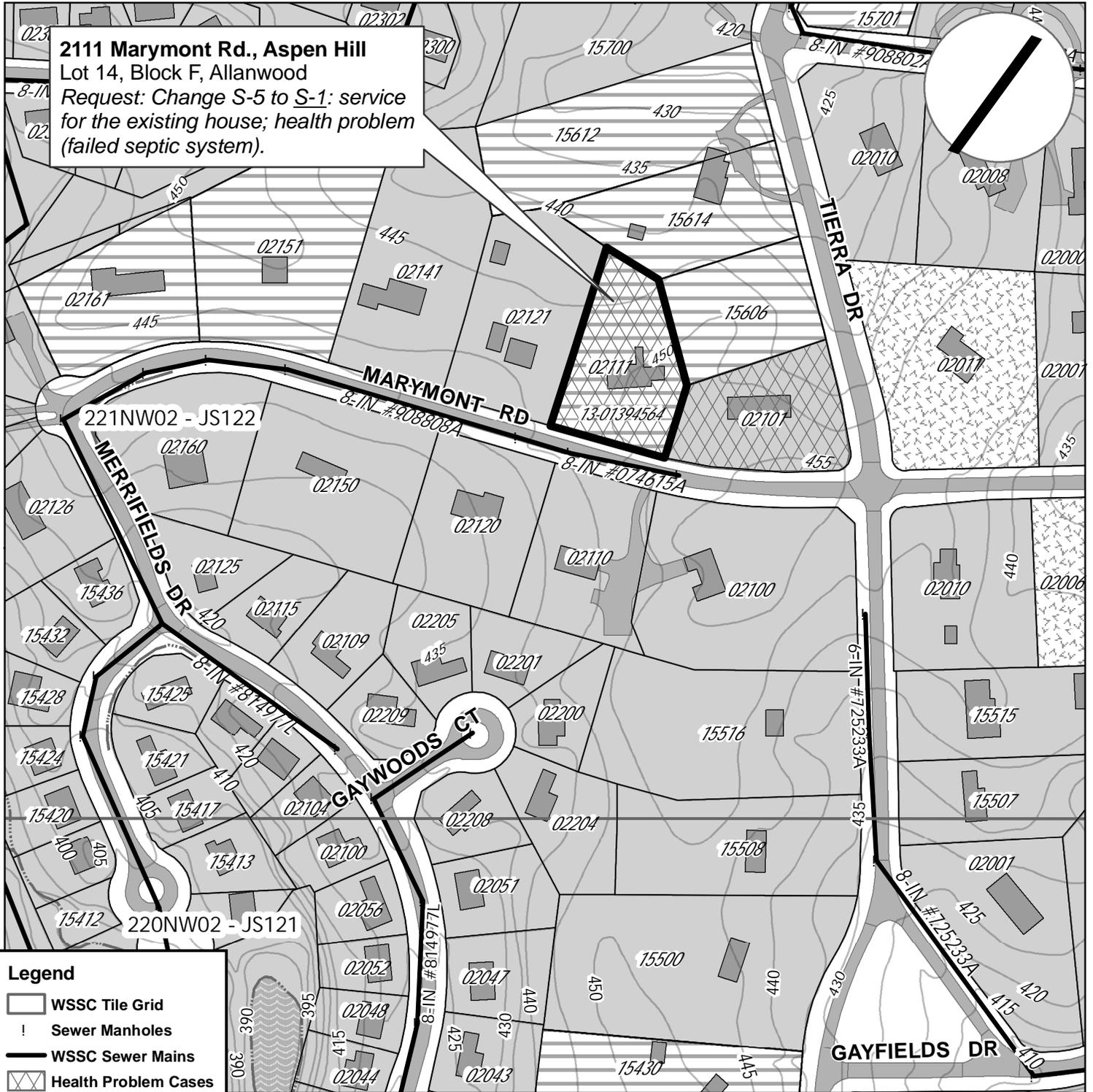
M-NCPPC – Parks Planning: No apparent park impact.

WSSC-Water: *(DEP note: Not requested; the property is designated W-1.)*

WSSC - Sewer: Northwest Branch Basin. An 8-inch sewer line in Marymont Road abuts the property (Contract no. 07-4615A). Flow from the proposed development: 300 GPD. Program-sized sewer mains are not required to serve the property. Interceptor capacity is adequate. Treatment capacity is adequate.

Sewer Service Area Categories Map: WSCCR 12-APH-01A (P. Neal Cogswell)

2111 Marymont Rd., Aspen Hill
 Lot 14, Block F, Allanwood
 Request: Change S-5 to S-1: service for the existing house; health problem (failed septic system).



Legend

- WSSC Tile Grid
- Sewer Manholes
- WSSC Sewer Mains
- Health Problem Cases
- Topography (5 ft. c.i.)
- Parks

Sewer Categories

- S-1
- S-3
- S-4
- S-5
- S-6

Aspen Hill Planning Area

Northwest Branch Watershed



Scale (Feet)

Montgomery County, Maryland
 2011 Draft Comprehensive Water Supply
 and Sewerage Systems Plan



DEP
 Water and Wastewater
 Policy Group



DEPARTMENT OF ENVIRONMENTAL PROTECTION

Isiah Leggett
County Executive

Robert Hoyt
Director

MEMORANDUM

January 20, 2012

TO: Mike Harmer, Group Leader, Development Services Group
Luis Tapia, Unit Coordinator, DSG Permit Services
Washington Suburban Sanitary Commission

FROM: Alan Soukup, Senior Environmental Planner, Water and Wastewater Policy Group
Department of Environmental Protection

SUBJECT: Public Health Problems

We request WSSC's assistance in expediting the provision of public service to the following property:

Sewer Service: 2111 Marymont Rd., Aspen Hill

Property I.D.:	Lot 14, Block F, Allanwood / dist.-acct. no. 13-01394564 – (SDAT tax map: JS12)
Owner:	Guy and E.M. Cogswell
WSSC grid:	221NW02
Planning Area:	Aspen Hill
Service Areas:	W-1 & S-5
Zoning/Size:	R-200 Zone; 40,510 sq.ft. (0.93 ac.)
Watershed:	Northwest Branch

The Department of Permitting Services (DPS), Well and Septic Section, has advised this office of a public health problem, a septic system failure, at the subject property (see the attached memorandum). DPS recommended relief of this problem by connecting the site to public sewer service, due to the location of the property within the County's planned public sewer envelope and the availability of an abutting sewer main.

Although this property is designated as category S-5 in the County's Water and Sewer Plan, DPS acknowledgment of a public health problem is sufficient justification to warrant the expedited provision of public sewer service, regardless of the existing service area category. DEP will initiate the process to have the property owner file a request for a service area change from S-5 to S-1.

Given these conditions, it is reasonable to relieve this public health hazard by expediting the provision of public sewer service. **WSSC should not wait for the approval of a Water and Sewer Plan amendment to provide public service; public sewer service via the WSSC's system should be provided as soon as possible.** We would appreciate your assistance in this matter.

The property owner will need to contact WSSC to begin the application process for public sewer service. Neither DEP nor DPS staff can initiate a WSSC service application on the owner's behalf. Contact the WSSC Permit Services Section at 301-206-4003 for additional information or refer to the WSSC-Permits website at <http://www.wsscwater.com/home/jsp/content/permit-securing.faces>.

Mike Harmer
Luis Tapia
January 20, 2012

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If you have any questions, or if there are significant problems related to provision of [water/sewer] service, please contact me at alan.soukup@montgomerycountymd.gov or 240-777-7716.

Attachments

cc: Lisa Sine, Permit Services Unit, WSSC
Kathy Maholtz, Development Services Group
David Lake, Manager, Water and Wastewater Policy Group, DEP
John Hancock, Well and Septic Section, DPS
Mary Dolan, Functional Planning Division, M-NCPPC
Guy and E.M. Cogswell

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DEPARTMENT OF PERMITTING SERVICES

Isiah Leggett
County Executive

Diane R. Schwartz Jones
Director

MEMORANDUM

January 20, 2012

TO: Alan Soukup
Water and Waste Management
Montgomery County Environmental Protection

From: John Hancock *JH*
Well and Septic Section
Montgomery County Permitting Services

Subject: Request for Sewer Connection
2111 Marymont Road
Tax Map Grid JS 12
WSSC Grid 221 NE 2 NW

Neil Cogswell, one of the owners of the structure at the location noted above, has requested our assistance in obtaining an expedited sewer house connection due to a failing septic system. A septic failure has been confirmed. An onsite correction may not be possible. The property is in S-5 category but a sewer main abuts the property. If I can be of further assistance please contact me at 240-777-6318.

Cc: Luis Tapia, WSSC; Neal Cogswell

255 Rockville Pike, 2nd Floor • Rockville, Maryland 20850 • 240-777-6300 • 240-777-6256 TTY
www.montgomerycountymd.gov

montgomerycountymd.gov/311



240-773-3556 TTY

WSSCR 12-CLO-01A: Margarita Lopez

DEP Staff Recommendation: Approve S-1, for one sewer hookup only. Administrative delegation policy V.F.2.b.: Properties Abutting Existing Mains: Single Hookups.

Property Information and Location Property Development	Applicant's Request: Service Area Categories & Justification						
<ul style="list-style-type: none"> • 15811 New Hampshire Ave., Cloverly • Parcel P412, Snowdens Manor Enl (acct. no. 00259055) • Map tile: WSSC – 221NE01; MD – JS562 • East side of New Hampshire Ave. (MD 650), south of Harding La. • RE-1 Zone; 0.75 ac. • Cloverly – Norwood Planning Area Cloverly Master Plan (1997) • Northwest Branch (MDE Use IV and Paint Branch Watersheds (MDE Use III, Mont. Co. SPA) • <u>Existing use:</u> single-family house (built 1954) <u>Proposed use:</u> sewer service for the existing house 	Service Area Categories: <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="border-bottom: 1px solid black;">Existing</th> <th style="border-bottom: 1px solid black;">Requested</th> </tr> </thead> <tbody> <tr> <td>W-1</td> <td>W-1 (no change)</td> </tr> <tr> <td>S-6</td> <td>S-1</td> </tr> </tbody> </table> <u>Applicant's Explanation</u> None provided with the application. The applicant had indicated concerns about the age of the existing septic system and a preference for the reliability of public sewer service. <i>DEP note: On April 18, 2012, DEP directed WSSC to proceed with public sewer service for this property, which qualifies under the abutting mains policy.</i>	Existing	Requested	W-1	W-1 (no change)	S-6	S-1
Existing	Requested						
W-1	W-1 (no change)						
S-6	S-1						

DEP Staff Report: The applicant has requested a sewer category change from S-6 to S-1 in order to provide public sewer service to an existing single-family house. DEP confirmed that the property satisfies the requirements of the Water and Sewer Plan's abutting mains service policy (Chapt. 1, Section II.E.3.). The house on the property was built in 1953, which preceded the installation of the abutting 1.5-inch-diameter low-pressure sewer main (contract no.949907A) in 1997. WSSC has confirmed that sewer service to this property can be provided from the abutting low-pressure main. The provision of sewer service to this property is restricted to a single sewer connection and hookup only. (Note that under the existing RE-1 zoning, this 0.75-acre parcel cannot be subdivided into any additional lots.)

As noted in the table above, DEP issued permission on April 18, 2012, allowing WSSC to connect this property to the public sewerage system in advance of the requested category change approval. This action was taken under the authority granted to DEP by the Water and Sewer Plan abutting mains service policy (Chapt. 1, Sect. II.E.3.a.) cited previously. WSSC's permit records indicate that a sewer service connection was approved on or about April 25, 2012.

Agency Review Comments

DPS – Well & Septic: There is no record of a septic failure at this location.

M-NCPPC – Area 3 Planning: The 1997 Cloverly Master Plan recommends that RE-1 properties in the master plan area be eligible for public sewer service, noting that service is already largely available to those properties, generally as a result of recommendations made in the 1981 Eastern Montgomery County Master Plan. The Cloverly plan does not include a service envelope map; instead the plan "conditionally confirm[s] the recommended sewer service area proposed in the 1981 Plan." That plan showed the Lopez property in category S-5, or eligible for service in seven to ten years. An abutting main to the property provides a connection. Staff recommends approval of this request.

M-NCPPC – Parks Planning: No park impacts.

WSSC-Water: (DEP note: Not requested; the property is designated W-1.)

WSSC - Sewer: Basin: North East Branch. A 1.5-inch low pressure sewer line in New Hampshire Ave. abuts the property (contract no.949907A). Flow from the proposed development: 300 GPD. Program-sized sewer mains are not required to serve the property. Interceptor capacity is adequate. Treatment capacity is adequate.

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DEPARTMENT OF ENVIRONMENTAL PROTECTION

Isiah Leggett
County Executive

Robert Hoyt
Director

MEMORANDUM

April 18, 2012

TO: Luis Tapia, Manager, Permit Services Unit
Washington Suburban Sanitary Commission

FROM: Alan Soukup, Senior Environmental Planner, Water and Wastewater Policy Group 
Department of Environmental Protection

SUBJECT: Request to Provide a Single Sewer Service Connection

This is to request that WSSC accept and act on an application to provide public sewer service for the following property:

Property Address & Identification	Owner – Est. Date	Abutting Main - 200' Tile	WSSCR No.
15811 New Hampshire Ave. Parcel P412, Snowdens Manor Enl (tax map JS562)	Margarita Lopez House built: 1953	1.5"-dia. low-pressure main – WSSC #949907A (WSSC tile: 221NE01)	WSSCR 12-CLO-01A

Our records show that the house located on the subject property was constructed in 1953, before the construction of the abutting low-pressure sewer in 1997. Given this, the property is eligible for a single sewer service connection under the abutting mains service policy in the County's Water and Sewer Plan.

DEP will address the service area category change amendment cited above, which seeks to change the existing category S-6 to S-1, allowing the provision of public sewer service. However, it will take our office some time to process and approve this request, and the owner has indicated a need to expedite the service to this site.

WSSC may approve and install the requested sewer service connection/hookup and appropriate plumbing permits in advance of DEP's approval of the associated service area change. The County's approved Water and Sewer Plan allows DEP to direct WSSC to provide public service for cases which clearly satisfy the abutting mains policy.

If you have any questions concerning this request, or if there are any problems encountered with providing service to this property, please contact me at 240-777-7716

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Office of the Director, Water and Wastewater Policy Group

255 Rockville Pike, Suite 120 • Rockville, Maryland 20850-4166 • 240-777-7716, FAX 240-777-7715

Luis Tapia
April 18, 2011

Page 2

cc: Lisa Sine, Development Services Group/Permit Services, WSSC
Dave Shen & Kathy Maholtz, Development Services Group, WSSC
Mary Dolan, M-NCPPC
Gene Von Gunten, Well and Septic Section, DPS
Keith Levchenko, County Council
Dave Lake, DEP-WWPG
Margarita Lopez

WSSCR 12-CLO-02A: Alan & Kathleen Wright

DEP Staff Recommendation: Approve S-1. Administrative policy V.F.1.a.: Consistent with Existing Plans.

<p>Property Information and Location Property Development</p> <ul style="list-style-type: none"> • 17710 Meeting House Rd., Sandy Spring • Parcel P660, Olney (acct. no. 00715665) • Map tile: WSSC – 224NW01; MD – JT32 • West side of Meeting House Rd., south of the Sandy Spring Friends meeting house • RE-2 Zone; 2.16 ac. • Cloverly – Norwood Planning Area Sandy Spring – Ashton Master Plan (1998) • Northwest Branch (MDE Use IV) • <u>Existing use</u>: single-family house (built 1928) • <u>Proposed use</u>: service for the existing house to relieve a septic system 	<p>Applicant’s Request: Service Area Categories & Justification</p> <hr/> <p>Existing – Requested – Service Area Categories</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%;">W-6</td> <td style="width: 50%;">W-6 (no change)</td> </tr> <tr> <td>S-6</td> <td>S-1</td> </tr> </table> <hr/> <p>Applicant’s Explanation</p> <p>“Connect to existing sewer to replace failing septic.”</p> <p><i>DEP note: DEP issued an expedite sewer service memo to WSSC on April 6, 2012, due to an anticipated public health problem resulting from the condition of the existing septic system.</i></p>	W-6	W-6 (no change)	S-6	S-1
W-6	W-6 (no change)				
S-6	S-1				

DEP Staff Report: The applicants have requested a sewer category change from S-6 to S-1 for service to an existing single-family house. The age of the house and its apparently original septic system has raised concerns about its potential failure, as confirmed by the DPS Well and Septic Section (April 11, 2012). An existing 8-inch-diameter sewer main (#704196A), located along Meeting House Road, is in close proximity to the property requiring only a non-abutting sewer service connection. Given the circumstances, the use of public sewer service to relieve this anticipated public health problem is consistent with the Water and Sewer Plan’s public health problems service policy (Chapt. 1, Sect. II.E.2.).

As noted in the table above, DEP issued permission on April 19, 2012, allowing WSSC to connect this property to the public sewerage system in advance of the requested category change approval. This action was taken under the authority granted to DEP by the Water and Sewer Plan policy cited previously. WSSC’s permit records indicate that a sewer service connection was approved on or about April 23, 2012.

The provision of public sewer service to this property is consistent with service recommendations included in the Sandy Spring – Ashton Master Plan (see M-NCPC planning staff comments below). Properties zoned RE-2 are not generally expected to receive public sewer service under Water and Sewer Plan general service policies. However, where master plans specifically recommend public service, the Water and Sewer Plan defers to the master plan’s position. The provision of public sewer service in this case is therefore also consistent with Water and Sewer Plan service policies.

Agency Review Comments

DPS – Well & Septic: Given the age of the existing septic system, we support the concept of a sewer connection.

M-NCPPC – Area 3 Planning: Although these properties are in the RE-2 Zone, for which the Comprehensive Water and Sewerage Systems Plan does not generally support the provision of public sewer service, both have been included in the sewer service envelope approved with the 1998 Sandy Spring/Ashton Master Plan. The Plan therefore recommends them for public service. The Plan also recommends “continuation of the policy to provide sewer and water service where public health is an issue and extension of service is found to be the appropriate solution.” (p 86) The Department of Environmental Protection has notified the Washington Suburban Sanitary Commission that it anticipates public health problems for both of these properties, satisfying the master plan criterion for service to address public health issues. Staff recommends approval of these requests.

M-NCPPC – Parks Planning: No park impacts.

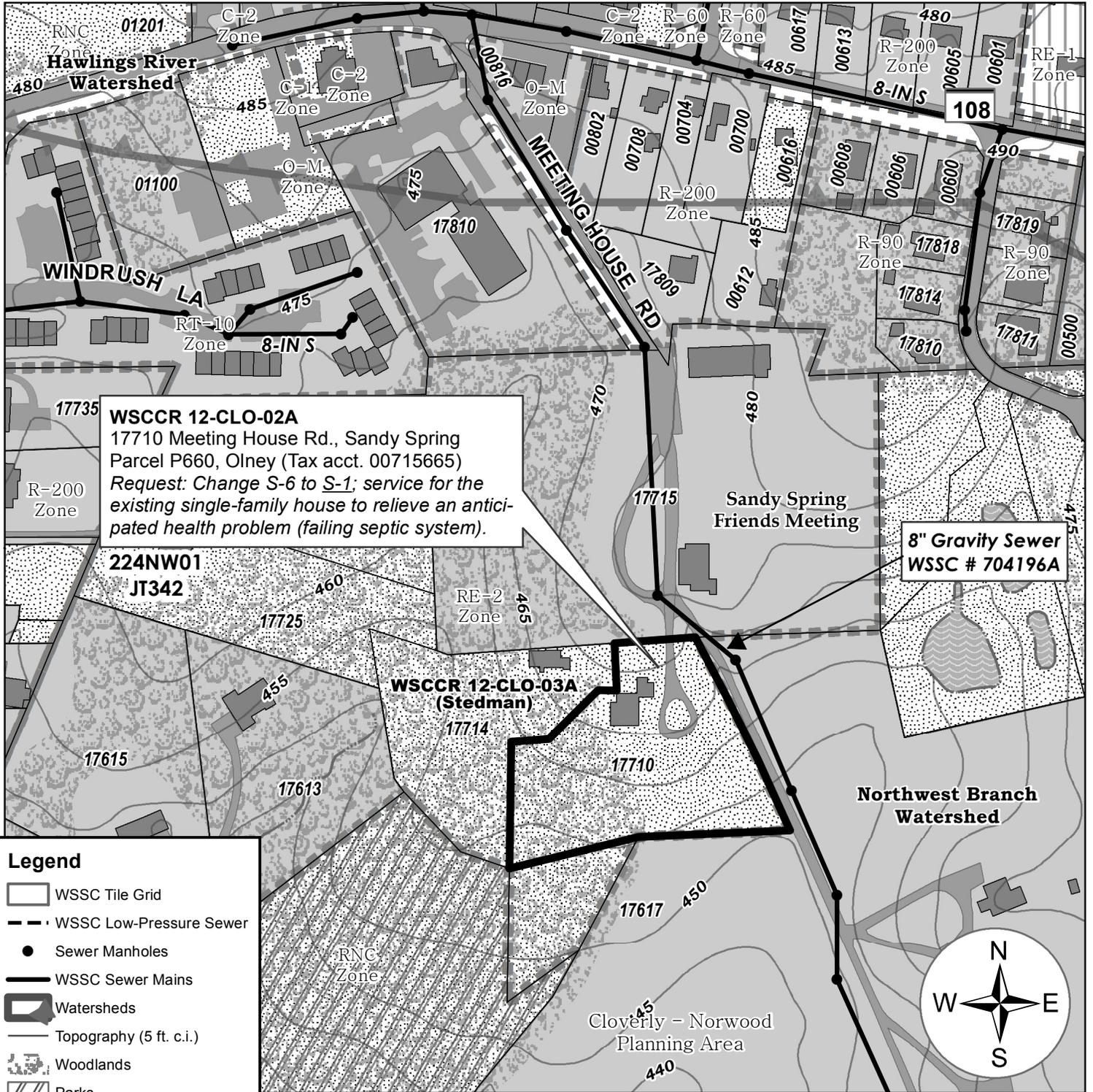
WSSC-Water: *(DEP note: Not requested; the property is designated as W-6 and will continue to use well water.)*

WSSC - Sewer: Basin: Northwest Branch. A non-abutting pressure sewer connection will be required to serve the property, connecting to the 8-inch sewer east of the property, contract number 70-4196A. Flow from the proposed development: 300 GPD. Program-sized sewer mains are not required to serve the property. Interceptor capacity is adequate. Treatment capacity is adequate.

ADS:ads/

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Sewer Service Area Categories Map: WSCCR 12-CLO-02A (Alan & Kathleen Wright)

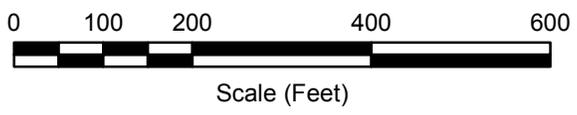


Legend

- WSSC Tile Grid
- WSSC Low-Pressure Sewer
- Sewer Manholes
- WSSC Sewer Mains
- Watersheds
- Topography (5 ft. c.i.)
- Woodlands
- Parks
- Zoning Limits

Sewer Categories

- S-1
- S-3
- S-4
- S-5
- S-6



Montgomery County, Maryland
 2011 Draft Comprehensive Water Supply
 and Sewerage Systems Plan

DEP
 Water and Wastewater
 Policy Group



DEPARTMENT OF ENVIRONMENTAL PROTECTION

Isiah Leggett
County Executive

Robert Hoyt
Director

MEMORANDUM

April 19, 2012

TO: Mike Harmer, Group Leader, Development Services Group
Luis Tapia, Unit Coordinator, DSG Permit Services
Washington Suburban Sanitary Commission

FROM: Alan Soukup, Senior Environmental Planner, Water and Wastewater Policy Group 
Department of Environmental Protection

SUBJECT: Public Health Problems

We request WSSC's assistance in expediting the provision of public sewer service to the following property:

Sewer Service: 17710 Meeting House Road, Sandy Spring

Property I.D.:	Parcel P660, Olney – (SDAT tax map: JT32); tax acct. no: 00715665		
Owner:	Alan & Kathleen Wright	Service Areas:	W-6 & S-6; WSCCR 12-CLO-02A
WSSC grid:	224NW01	Zoning/Size:	RE-2 / 2.16 ac.)
Planning Area:	Cloverly - Norwood	Watershed:	Northwest Branch

The Department of Permitting Services (DPS), Well and Septic Section, has advised this office of an anticipated public health problem involving the potential for a septic system failure at the subject property (see the attached memorandum). DPS recommended relief of this problem by connecting the site to public sewer service, due in part to the proximity of an existing 8"-dia. sewer main (#704196A) located along Meeting House Road.

The property owner has advised us that your office has considered and approved the use of a non-abutting sewer service connection to serve this property. The referenced sewer main and its easement sit just east of the property; it does not abut. A non-abutting connection would likely provide the timeliest provision of sewer service to the property. Our understanding is that a non-abutting connection for the adjacent property at 17714 Meeting House Road has also been approved. The two property owners are looking to coordinate the construction of their sewer hookups.

Although this property is designated as category S-6 in the County's Water and Sewer Plan, DPS acknowledgment of an anticipated public health problem is sufficient justification to warrant the expedited provision of public sewer service, regardless of the existing service area category. The property has filed a request with DEP (WSCCR 12-CLO-02A) for a service area change from S-6 to S-1.

Given these conditions, it is reasonable to relieve this potential public health hazard by expediting the provision of public sewer service. **WSSC should not wait for the approval of a Water and Sewer Plan amendment to**

Office of the Director, Water and Wastewater Policy Group

255 Rockville Pike, Suite 120 • Rockville, Maryland 20850-4166 • 240-777-7700, FAX 240-777-7715

Mike Harmer
Luis Tapia
April 19, 2012

Page 2

provide public service; public sewer service via the WSSC's system should be provided as soon as possible.

We would appreciate your assistance in this matter.

The property owner has apparently already contacted WSSC to begin the application process for public sewer service. Neither DEP nor DPS staff can initiate a WSSC service application on the owner's behalf. For additional information if needed, the owner should contact the WSSC Development Services Group (DSG) at 301-206-8650 or refer to the WSSC-DSG website at <http://www.wsscwater.com/home/jsp/content/permit-securing.faces>.

If you have any questions, or if there are significant problems related to provision of sewer service, please contact me at alan.soukup@montgomerycountymd.gov or 240-777-7716.

Attachments

cc: Lisa Sine, Permit Services Unit, WSSC
Dave Shen and Kathy Maholtz, Development Services Group
David Lake, Manager, Water and Wastewater Policy Group, DEP
Gene Von Gunten, Well and Septic Section, DPS
Mary Dolan, Functional Planning Division, M-NCPPC
Allan and Kathleen Wright
Bruce Stedman and Eleanor Dorsey

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DEPARTMENT OF PERMITTING SERVICES

Isiah Leggett
County Executive

Diane R. Schwartz Jones
Director

MEMORANDUM

April 11, 2012

TO: Alan Soukup
Water and Wastewater Management
Montgomery County Environmental Protection
255 Rockville Pike
Rockville, Maryland 20850

FROM: Gene von Gunten, R.S. *GVG 4-11-12*
Well and Septic Section
Montgomery County Permitting Services
255 Rockville Pike, Box 16
Rockville, Maryland 20850

SUBJECT: Request for Sewer Connection

17710 Meeting House Rd, Sandy Spring, MD 20860
Tax Map Grid JY32, Parcel 660
WSSC Grid: 224NW-1NW

The owners of the dwelling at the location noted above have requested our assistance in getting an expedited sewer connection. We have inspected the septic system and it appears to be very old and not capable of properly treating the sewage to prevent the discharge of nitrogen into the Patuxent River and Chesapeake Bay watersheds. The age of the system and its condition indicate a public health hazard could result in the near term. Your assistance in having this property connect to the public sewer system is appreciated.

gvg
sepexp

cc: Luis Tapia, WSSC,
Alan Wright

255 Rockville Pike, 2nd Floor • Rockville, Maryland 20850 • 240-777-6300 • 240-777-6256 TTY
www.montgomerycountymd.gov



WSSCR 12-CLO-03A: Bruce Stedman

DEP Staff Recommendation: Approve S-1. Administrative policy V.F.1.a.: Consistent with Existing Plans.

<p>Property Information and Location Property Development</p> <ul style="list-style-type: none"> • 17714 Meeting House Rd., Sandy Spring • Parcel P905, Auburn Farm (acct. no. 00706592) • Map tile: WSSC – 224NW01; MD – JT32 • West of Meeting House Rd., south of the Sandy Spring Friends meeting house • RE-2 Zone; 1.53 ac. • Cloverly – Norwood Planning Area Sandy Spring – Ashton Master Plan (1998) • Northwest Branch (MDE Use IV) • <u>Existing use</u>: single-family house (built 1939) • <u>Proposed use</u>: service for the existing house to relieve a septic system 	<p>Applicant’s Request: Service Area Categories & Justification</p> <hr/> <p><u>Existing – Requested – Service Area Categories</u></p> <p>W-6 W-6 (no change) S-6 S-1</p> <hr/> <p><u>Applicant’s Explanation</u></p> <p>“Hook to existing main to replace failing septic tank.”</p> <p><i>DEP note: DEP issued an expedite sewer service memo to WSSC on January 12, 2012, due to a public health problem resulting from a failure of the existing septic system.</i></p>
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DEP Staff Report: The applicant has requested a sewer category change from S-6 to S-1 for service to an existing single-family house. The DPS Well and Septic Section confirmed a failure of the existing septic system on January 11, 2012. An existing 8-inch-diameter sewer main (#704196A), located along Meeting House Road, is in close proximity to the property requiring only a non-abutting sewer service connection. Given the circumstances, the use of public sewer service to relieve this public health problem is consistent with the Water and Sewer Plan’s public health problems service policy (Chapt. 1, Sect. II.E.2.).

As noted in the table above, DEP issued permission on January 12, 2012, allowing WSSC to connect this property to the public sewerage system in advance of the requested category change approval. This action was taken under the authority granted to DEP by the Water and Sewer Plan policy cited previously. WSSC’s permit records indicate that a sewer service connection was approved on or about April 23, 2012.

The provision of public sewer service to this property is consistent with service recommendations included in the Sandy Spring – Ashton Master Plan (see M-NCPC planning staff comments below). Properties zoned RE-2 are not generally expected to receive public sewer service under Water and Sewer Plan general service policies. However, where master plans specifically recommend public service, the Water and Sewer Plan defers to the master plan’s position. The provision of public sewer service in this case is therefore also consistent with Water and Sewer Plan service policies.

Agency Review Comments

DPS – Well & Septic: Given the age of the existing septic system, we support the concept of a sewer connection. (*DEP note: The DPS Well and Septic Section notified DEP of a failed septic system at this property on January 11, 2012.*)

M-NCPPC – Planning Dept.: Although these properties are in the RE-2 Zone, for which the Comprehensive Water and Sewerage Systems Plan does not generally support the provision of public sewer service, both have been included in the sewer service envelope approved with the 1998 Sandy Spring/Ashton Master Plan. The Plan therefore recommends them for public service. The Plan also recommends “continuation of the policy to provide sewer and water service where public health is an issue and extension of service is found to be the appropriate solution.” (p 86) The Department of Environmental Protection has notified the Washington Suburban Sanitary Commission that it anticipates public health problems for both of these properties, satisfying the master plan criterion for service to address public health issues. Staff recommends approval of these requests.

M-NCPPC – Parks Planning: No park impacts.

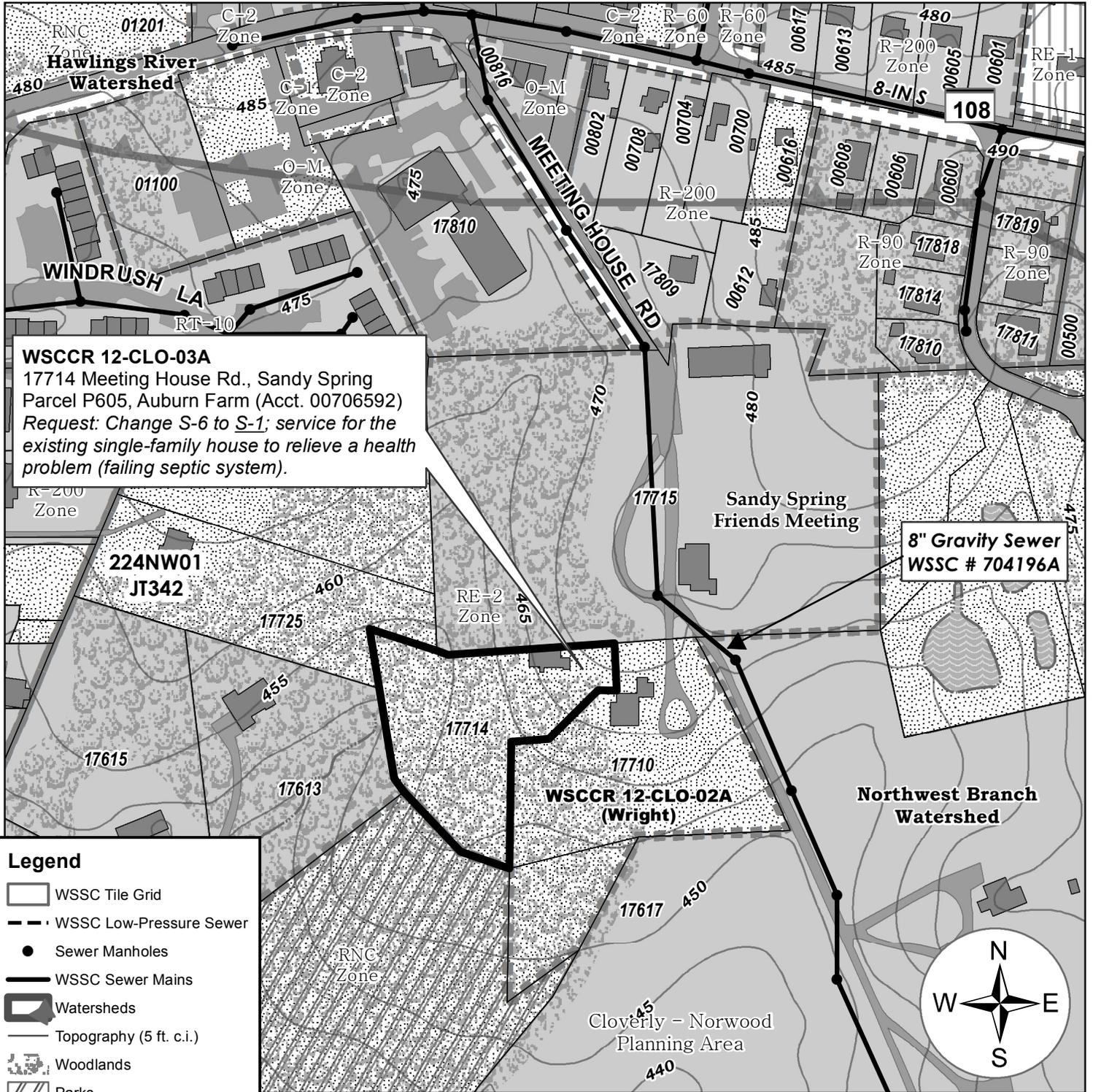
WSSC-Water: *(DEP note: Not requested; the property is designated as W-6 and will continue to use well water.)*

WSSC - Sewer: Basin: Northwest Branch. A non-abutting pressure sewer connection will be required to serve the property, connecting to the 8-inch sewer east of the property, contract number 70-4196A. Flow from the proposed development: 300 GPD. Program-sized sewer mains are not required to serve the property. Interceptor capacity is adequate. Treatment capacity is adequate.

ADS:ads/

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Sewer Service Area Categories Map: WSCCR 12-CLO-03A (Bruce Stedman)

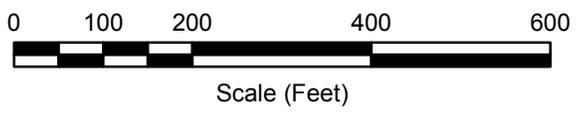


Legend

- WSSC Tile Grid
- WSSC Low-Pressure Sewer
- Sewer Manholes
- WSSC Sewer Mains
- Watersheds
- Topography (5 ft. c.i.)
- Woodlands
- Parks
- Zoning Limits

Sewer Categories

- S-1
- S-3
- S-4
- S-5
- S-6



Montgomery County, Maryland
 2011 Draft Comprehensive Water Supply
 and Sewerage Systems Plan



DEP
 Water and Wastewater
 Policy Group



DEPARTMENT OF ENVIRONMENTAL PROTECTION

Isiah Leggett
County Executive

Robert Hoyt
Director

MEMORANDUM

January 12, 2012

TO: Mike Harmer, Group Leader, Development Services Group
Luis Tapia, Unit Coordinator, DSG Permit Services
Washington Suburban Sanitary Commission

FROM: Alan Soukup, Senior Environmental Planner, Water and Wastewater Policy Group
Department of Environmental Protection 

SUBJECT: Public Health Problems

We request WSSC's assistance in expediting the provision of public service to the following property:

Sewer Service: 17714 Meeting House Road, Sandy Spring

Property I.D.:	Parcel P605, Auburn Farm – (SDAT tax map: JT32)]		
Owner:	Bruce Stedman & Eleanor Dorsey	Service Areas:	W-6 & S-6
WSSC grid:	224NW01	Zoning/Size:	RE-2; 66,646 sq.ft. (1.53 ac.)
Planning Area:	Cloverly - Norwood	Watershed:	Northwest Branch

The Department of Permitting Services (DPS), Well and Septic Section, has advised this office of a public health problem, a septic system failure, at the subject property (see the attached memorandum). DPS recommended relief of this problem by connecting the site to public sewer service, due to proximity of an existing 8"-dia. sewer main (#704196A) located along Meeting House Road.

The property sits approximately 100 feet from the closest point on the sewer main; it does not abut. A non-abutting connection and off-site hookup would likely provide the timeliest provision of sewer service to the property. However, WSSC will need to determine whether or not service will require a sewer main extension. The property owner has already started discussions about obtaining an access easement with the intervening owner.

Although this property is designated as category S-6 in the County's Water and Sewer Plan, DPS acknowledgement of a public health problem is sufficient justification to warrant the expedited provision of public sewer service, regardless of the existing service area category. DEP will initiate the process to have the property owner file a request for a service area change from S-6 to S-3 or S-1.

Given these conditions, it is reasonable to relieve this public health hazard by expediting the provision of public sewer service. **WSSC should not wait for the approval of a Water and Sewer Plan amendment to provide**

public service; public sewer service via the WSSC's system should be provided as soon as possible. We would appreciate your assistance in this matter.

The property owner will need to contact WSSC to begin the application process for public sewer service. Neither DEP nor DPS staff can initiate a WSSC service application on the owner's behalf. The owner should contact the WSSC Development Services Group (DSG) at 301-206-8650 for additional information or refer to the WSSC-DSG website at <http://www.wsscwater.com/home/jsp/content/permit-securing.faces>.

If you have any questions, or if there are significant problems related to provision of sewer service, please contact me at alan.soukup@montgomerycountymd.gov or 240-777-7716.

Attachments

cc: Lisa Sine, Permit Services Unit, WSSC
Dave Shen and Kathy Maholtz, Development Services Group
David Lake, Manager, Water and Wastewater Policy Group, DEP
Gene VonGunten, Well and Septic Section, DPS
Mary Dolan, Functional Planning Division, M-NCPPC
Bruce Stedman and Eleanor Dorsey

ADS:ads/

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DEPARTMENT OF PERMITTING SERVICES

Isiah Leggett
County Executive

Diane R. Schwartz Jones
Director

MEMORANDUM

January 11, 2012

TO: Alan Soukup
Water and Wastewater Management
Montgomery County Environmental Protection
255 Rockville Pike
Rockville, Maryland 20850

FROM: Gene von Gunten, R.S. *GVG*
Well and Septic Section *1-11-12*
Montgomery County Permitting Services
255 Rockville Pike, Box 16
Rockville, Maryland 20850

SUBJECT: Request for Sewer Connection

17714 Meeting House Road, Sandy Spring, MD 20860
Tax Map Grid JT32-Parcel 605
WSSC Grid: 224NE-1NW

The owner of the dwelling at the location noted above has requested our assistance in getting an expedited sewer connection due to a failing septic system. The failure has been verified by a licensed septic inspector. It appears that the property is in category S-6. We appreciate your efforts.

gvg
sepexp

cc: Luis Tapia, WSSC,
Bruce Steadman

255 Rockville Pike, 2nd Floor • Rockville, Maryland 20850 • 240-777-6300 • 240-777-6256 TTY
www.montgomerycountymd.gov

montgomerycountymd.gov/311



240-773-3556 TTY

WSSCR 12-GWC-01A: Ramana Venigalla

DEP Staff Recommendation: Approve W-1. Administrative policy V.F.1.a.: Consistent with Existing Plans.

<p>Property Information and Location Property Development</p> <ul style="list-style-type: none"> • 8217 Warfield Rd., Gaithersburg • Lot 1, Block A, Warbling Meadows (acct. no. 00001983) • Map tile: WSSC – 228NW08; MD – GU13 • North side of Warfield Rd. at Doubleland Rd. • RE-2 Zone; 0.74 ac. • Goshen – Woodfield – Cedar Grove Planning Area Preservation of Agriculture and Rural Open Space Master Plan (1980) • Middle Great Seneca Creek Watershed (MDE Use I) • <u>Existing use:</u> single-family house (built 2004) <u>Proposed use:</u> public water service for the existing house 	<p>Applicant’s Request: Service Area Categories & Justification</p> <hr/> <p>Existing – Requested – Service Area Categories</p> <p>W-6 W-3 S-1 ^A S-1 (no change) ^A For one hookup only (abutting mains policy)</p> <hr/> <p>Applicant’s Explanation</p> <p>“Applying for a water connection. I have well water which is not getting purified enough. I have two little kids, so I am requesting for public water.”</p>
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DEP Staff Report: The applicant has requested a water category change from W-6 to W-3 to allow for the provision of public water service to his property. The lot is already improved with a single-family house. The request is prompted by the applicant’s concern about the water quality of the existing well service the house. The 0.74-acre property is zoned RE-2. The provision of public water service is consistent with the Water and Sewer Plan’s service policies for areas zoned for large-lot residential development. WSSC has previously reviewed and accepted the concept of providing public water service to this lot using a non-abutting connection from the existing water main located across Warfield Rd. along Doubleland Rd. A water main extension is not required.

The property is already served by an approved connection to an abutting low-pressure sewer; WSSC issued a permit for the connection in 2002.

Agency Review Comments

DPS – Well & Septic: Water samples taken in 2004 were all acceptable. *(In response to DEP’s inquiry about well water quality.)*

M-NCPPC – Planning Dept.: Request is consistent with the Master Plan for the Preservation of Agriculture and Rural Open Space (P. 61). The property is within an area specified for water service within 2 years. Staff recommends approval of this request.

M-NCPPC – Parks Planning: No park impacts.

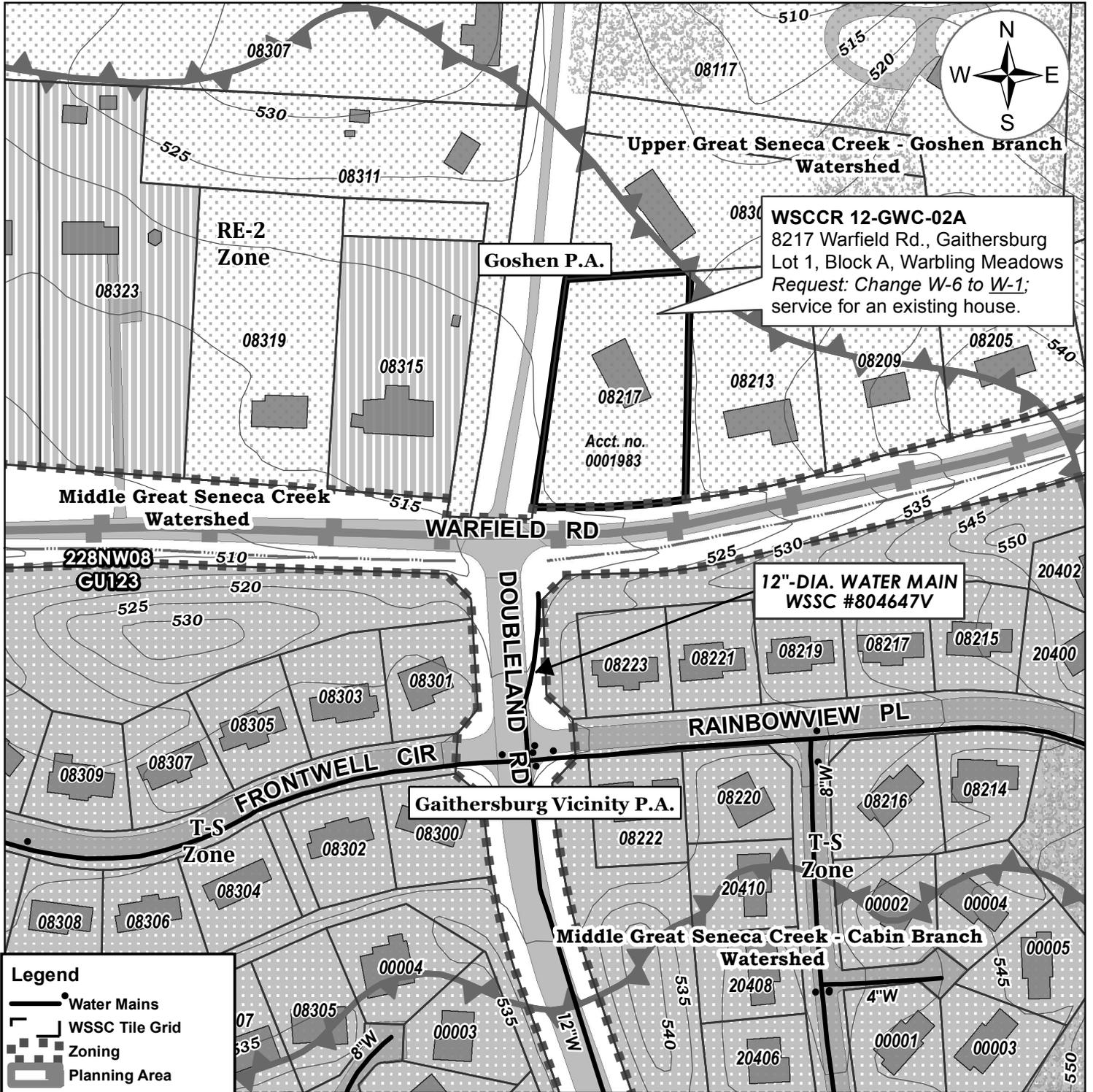
WSSC-Water: Water pressure zone: 660A. A non-abutting connection was approved by WSSC on November 23, 2004 to provide service to 8217 Warfield Road. This connect is to the existing 12-inch on Rainbow View Place (contract no. 80-4674V). Local service is adequate. Program-sized water main extensions (16 inches in diameter or greater) are not required to serve the property.

WSSC - Sewer: *(DEP note: Not requested; the property is designated as S-1.)*

ADS:ads/

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Water Service Area Categories Map: WSSCR 12-GWC-02A (Ramana Venigalla)

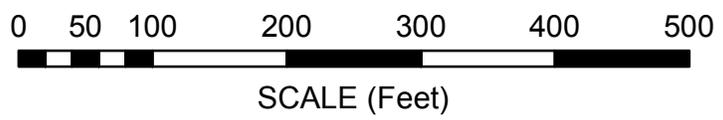


Legend

- Water Mains
- WSSC Tile Grid
- Zoning
- Planning Area
- Topography (5 ft. c.i.)
- Existing Parkland
- Woodlands

Water Categories

- W-1
- W-3
- W-4
- W-5
- W-6



Montgomery County, Maryland
Draft 2012 Comprehensive Water Supply
and Sewerage Systems Plan



DEP
Water and Wastewater
Policy Group

WSSCR 12-TRV-01A: Dorothy Haines (w/ Patuxent River Development):

DEP Staff Recommendation: Approve S-1. Administrative policy V.F.1.a.: Consistent with Existing Plans.

<p>Property Information and Location Property Development</p> <ul style="list-style-type: none"> • 14130 Travilah Rd., Rockville • Parcel P921, Wet Beginning (acct. no. 00392855) • Map tile: WSSC – 219NW10; MD – FR33 • North of Travilah Rd. and just south of Platinum Dr. • R-200/TDR Zone; 0.54 ac. • Travilah Planning Area Potomac Subregion Master Plan (2002) • Muddy Branch Watershed (MDE Use I) • <u>Existing use</u>: single-family house (built 1947) • <u>Proposed use</u>: replacement for the existing house 	<p>Applicant's Request: Service Area Categories & Justification</p> <hr/> <p>Existing – Requested – Service Area Categories</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">W-1</td> <td style="width: 50%;">W-1 (no change)</td> </tr> <tr> <td>S-6</td> <td>S-1</td> </tr> </table> <hr/> <p>Applicant's Explanation</p> <p>(Summarized by DEP staff for both 12-TRV-01A & -02A): Sewer service is consistent with Water and Sewer Plan service policies. Public sewer service is provided to many of the surrounding properties; these two properties are the "hole in the doughnut." Service is available from a nearby sewer main; the house on 14130 Travilah Rd. is already served by this main. The properties have been under common ownership, and used as a single residence site since before the sewer main was installed. An accelerated category change process owing to a service error should apply to both parcels. <i>(The applicant's full letter is attached.)</i></p> <p><i>DEP note: WSSC has confirmed that this property is already served by the public sewerage system. DEP advised WSSC Permit Services on Aug. 14, 2012, to consider this property (14130 only) as category S-1 pending approval of a formal sewer category change.</i></p>	W-1	W-1 (no change)	S-6	S-1
W-1	W-1 (no change)				
S-6	S-1				

DEP Staff Report: The applicant has requested a sewer category change from S-6 to S-1. This change will correct an error as the existing single-family house on the property has received WSSC sewer service since about 1975 from an 8"-dia. main near the east side of the property. The applicant plans to build a replacement house on the property.

The R-200/TDR-zoned site consists of 0.54 acres. The approval of sewer service is consistent with Water and Sewer Plan service policies and master plan recommendations. The base zoning of R-200 is appropriate for public sewer service. Therefore, the approval of public sewer service does not need to require the use of the TDR development option.

WSSC confirmed that this property already received public sewer service. DEP advised WSSC Permit Services to consider this property (14130 only) as category S-1 on August 14, 2012, to allow the permit process for the proposed replacement house to proceed. The adjacent property at 14128 Travilah Rd. (WSSCR 12-TRV-02A), although under common ownership with this parcel, is not currently served by the WSSC sewerage system.

Agency Review Comments

DPS – Well & Septic: We have no records for this property. It is in a restricted soil area. We support the availability of public sewer.

M-NCPPC – Planning Dept.: Request is consistent with the Potomac Subregion Master Plan (P.23) and is within recommended sewer service envelope. Staff recommends approval of these requests.

M-NCPPC – Parks Planning: No park impacts.

WSSC-Water: Not requested; already designated as W-1.

WSSC - Sewer: Muddy Branch. An existing 8-inch sewer appears to abut the subject property (contract no. 71-4715A). An "on-site" ejector pump system may be required to serve the subject property. Depending on exact location of the existing sewer right-of-way with respect to the applicant's property, a private easement may be required for the sewer house connection from the owner of the lot that the existing sewer traverses. Flow from

the proposed development: 300 GPD. Program-sized sewer mains are not required to serve the property. Interceptor capacity is adequate. Treatment capacity is adequate.

ADS:ads/

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Soukup, Alan

From: Soukup, Alan
Sent: Tuesday, August 14, 2012 9:12 AM
To: 'Tapia, Luis'
Cc: Sine, Lisa; PatuxentRiverDC@gmail.com; Lake, Dave
Subject: RE: 14130 Travilah Road - Sewer Service Confirmation

8/14/12

Thank you Luis –

The developer for this site is trying to pull permits for a replacement house on this property. However, there may have been some confusion about the existing S-6 service area category that has hung up his process. Please consider the existing sewer category for this property as S-1, and allow Mr. Wainger (Patuxent River Development) to proceed with his permitting request.

Note that the adjacent property at 14128 Travilah Road is also in S-6 and will be proceeding through the usual category change process.

Thanks - Alan
Alan Soukup, Sr. Environmental Planner
Water and Wastewater Policy Group
Department of Environmental Protection
255 Rockville Pike, Suite 120
Rockville, Maryland 20850-4166
240-777-7716; fax: 240-777-7715
alan.soukup@montgomerycountymd.gov
www.montgomerycountymd.gov/waterworks

From: Tapia, Luis [mailto:ITapia@wsscwater.com]
Sent: Tuesday, August 14, 2012 9:01 AM
To: Soukup, Alan
Cc: Sine, Lisa; PatuxentRiverDC@gmail.com
Subject: RE: 14130 Travilah Road - Sewer Service Confirmation

Good morning Alan, the property in question has a flat rate sewer account with WSSC (Acct# 2359180) and it got connected to our sewer system on March 1, 1990. If you have any further questions, please feel free to contact me.

Luis Tapia
Unit Coordinator
Permit Services
Washington Suburban Sanitary Commission
Office 301-206-8621
Mobile 240-463-8761
Fax 301-206-8624

Established in 1918, today WSSC is among the largest water and wastewater utilities in the nation, with a network of nearly 5,600 miles of fresh water pipeline and more than 5,400 miles of sewer pipeline. Serving 1.8 million residents in Prince George's and Montgomery counties, WSSC drinking water has always met or exceeded federal standards.

Please consider the environment before printing this email.

"Our greatest glory is not in never falling, but in rising every time we fall."

From: Soukup, Alan [mailto:Alan.Soukup@montgomerycountymd.gov]
Sent: Tuesday, August 14, 2012 8:47 AM

To: Tapia, Luis
Cc: Sine, Lisa; PatuxentRiverDC@gmail.com
Subject: 14130 Travilah Road - Sewer Service Confirmation

8/14/12

Good morning Luis –

I need to confirm a sewer service account for the property at 14130 Travilah Rd., Rockville. Permit no. 407136, issued in Sept. 1975, shows that a sewer connection was approved. This is a case where the sewer category we show in our Water and Sewer Plan for the property is S-6. Before I correct the category to S-1, I'd like to have verification of an existing sewer account from your office.

Please let me know if you have any questions concerning this request.

Thanks for your help with this - Alan
Alan Soukup, Sr. Environmental Planner
Water and Wastewater Policy Group
Department of Environmental Protection
255 Rockville Pike, Suite 120
Rockville, Maryland 20850-4166
240-777-7716; fax: 240-777-7715
alan.soukup@montgomerycountymd.gov
www.montgomerycountymd.gov/waterworks

WSSCC 12-TRV-02A: Dorothy Haines (w/ Patuxent River Development)

DEP Staff Recommendation: Administrative policy V.F.1.a.: Consistent with Existing Plans.

<p>Property Information and Location Property Development</p> <ul style="list-style-type: none"> • 14128 Travilah Rd., Rockville • Parcel P970, Wet Beginning (acct. no. 00392866) • Map tile: WSSC – 219NW10; MD – FR33 • North of Travilah Rd. and just south of Platinum Dr. • R-200/TDR Zone; 0.52 ac. • Travilah Planning Area Potomac Subregion Master Plan (2002) • Muddy Branch Watershed (MDE Use I) • <u>Existing use:</u> garage/outbuilding for 14130 Travilah Rd. • <u>Proposed use:</u> one new single-family house 	<p>Applicant's Request: Service Area Categories & Justification</p> <hr/> <p>Existing – Requested – Service Area Categories</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">W-1</td> <td style="width: 50%;">W-1 (no change)</td> </tr> <tr> <td>S-6</td> <td>S-1</td> </tr> </table> <hr/> <p>Applicant's Explanation</p> <p>(Summarized by DEP staff for both 12-TRV-01A & -02A): Sewer service is consistent with Water and Sewer Plan service policies. Public sewer service is provided to many of the surrounding properties; these two properties are the "hole in the doughnut." Service is available from a nearby sewer main; the house on 14130 Travilah Rd. is already served by this main. The properties have been under common ownership, and used as a single residence site since before the sewer main was installed. An accelerated category change process owing to a service error should apply to both parcels. <i>(The applicant's full letter is attached.)</i></p>	W-1	W-1 (no change)	S-6	S-1
W-1	W-1 (no change)				
S-6	S-1				

DEP Staff Report: The applicant has requested a sewer category change from S-6 to S-1. The applicant plans to build a single-family house on the property, replacing the existing outbuildings for the lot 14130 Travilah Rd. (WSSCC 12-TRV-01A).

The R-200/TDR-zoned site consists of 0.52 acres. The approval of sewer service is consistent with Water and Sewer Plan service policies and master plan recommendations. The base zoning of R-200 is appropriate for public sewer service. Therefore, the approval of public sewer service does not need to require the use of the TDR development option. Sewer service can be provided from an existing 8"-dia. sewer main (contract no. 71-4715A) located just east of the property. A non-abutting sewer service connection and an on-site ejector pump may be required for service.

Agency Review Comments

DPS – Well & Septic: We have no records for this property but it is located in a restricted soil area. We support the availability of public sewer.

M-NCPPC – Planning Dept.: Request is consistent with the Potomac Subregion Master Plan (P.23) and is within recommended sewer service envelope. Staff recommends approval of these requests [12-TRV-01A & -02A].

M-NCPPC – Parks Planning: No park impacts.

WSSC-Water: Not requested; already designated as W-1.

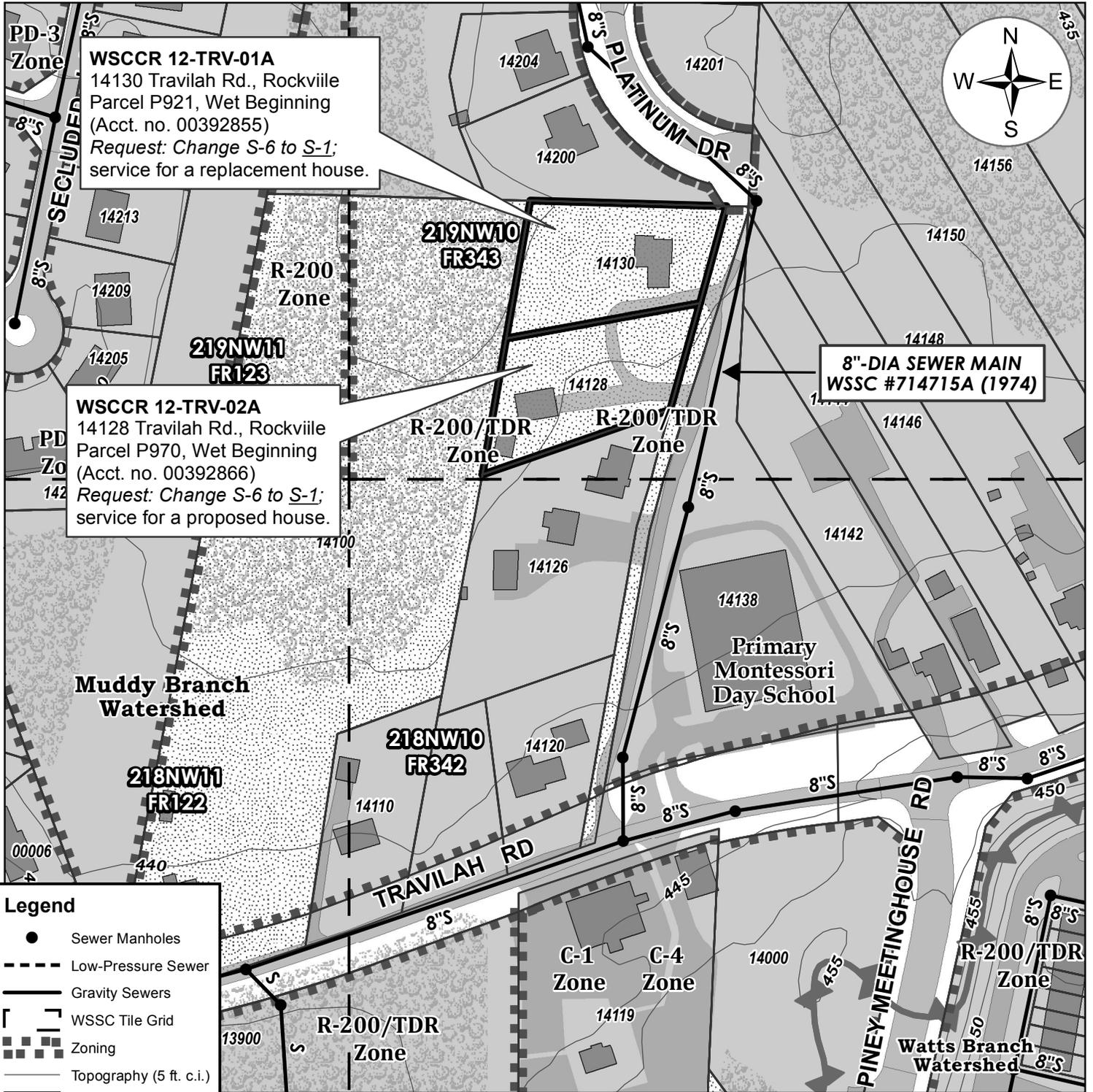
WSSC - Sewer: Basin: Muddy Branch. An existing 8-inch sewer appears to abut the subject property (contract no. 71-4715A). An "on-site" ejector pump system may be required to serve the subject property. Depending on exact location of the existing sewer right-of-way with respect to the applicant's property, a private easement may be required for the sewer house connection from the owner of the lot that the existing sewer traverses. Flow from the proposed development: 300 GPD. Program-sized sewer mains are not required to serve the property. Interceptor capacity is adequate. Treatment capacity is adequate.

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Sewer Service Area Categories Map

WSSCRs 12-TRV-01A & -02A (Dorothy Haines w/Patuxent River Devel.)



WSSCR 12-TRV-01A
 14130 Travilah Rd., Rockville
 Parcel P921, Wet Beginning
 (Acct. no. 00392855)
Request: Change S-6 to S-1;
 service for a replacement house.

WSSCR 12-TRV-02A
 14128 Travilah Rd., Rockville
 Parcel P970, Wet Beginning
 (Acct. no. 00392866)
Request: Change S-6 to S-1;
 service for a proposed house.

8"-DIA SEWER MAIN
WSSC #714715A (1974)

Legend

- Sewer Manholes
- Low-Pressure Sewer
- Gravity Sewers
- [] WSSC Tile Grid
- [] Zoning
- Topography (5 ft. c.i.)
- [] Existing Parkland
- [] Woodlands

Sewer Categories

- [] S-1
- [] S-3
- [] S-4
- [] S-5
- [] S-6



SCALE (Feet)

Montgomery County, Maryland
Draft 2012 Comprehensive Water Supply
and Sewerage Systems Plan



DEP
Water and Wastewater
Policy Group