



**Site Plan: Winchester Phase 3, 820120150 (including a Final Water Quality Plan and Final Forest Conservation Plan)**

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**Completed: 03/22/13**

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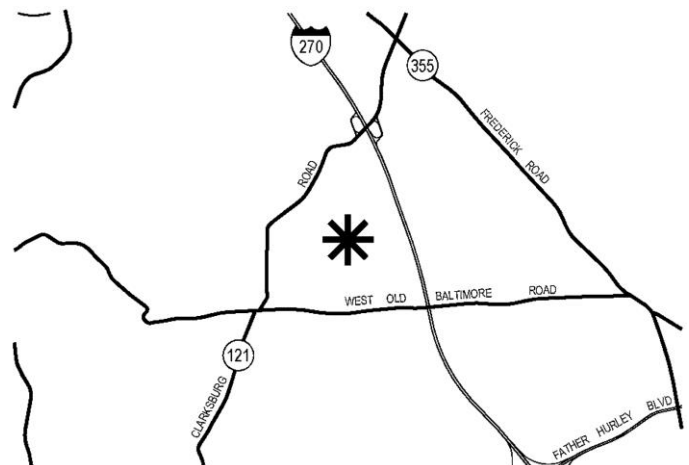
**Description**

**Site Plan 820120150 Winchester Phase 3 (includes a Final Water Quality Plan and a Final Forest Conservation Plan)**

185 residential dwelling units (including 10 MPDUs) consisting of 128 one-family detached and 57 one-family attached units using 56 TDRs, southwest quadrant of the intersection of Clarksburg Road and Interstate 270, 36.96 acres, RMX-1/TDR Zone, Clarksburg Master Plan.

*Staff recommendation: Approval with conditions*

- Applicant: Winchester Homes, Inc
- Submitted date: April 18, 2012



**Summary**

- The Site Plan is part of a larger 535-acre tract, commonly referred to as Cabin Branch, and the subject of various approvals.
- Certain development standards (i.e. density, MPDUs, TDRs, and green area) are assessed as part of a cumulative total for the entire Cabin Branch tract.
- Although there are 5% MPDUs in Phase 3 of Winchester, there are 12.5% MPDUs in the 3 Phases of the Winchester development combined. Phase 1 included a higher percentage of MPDUs.
- The site plan will acquire 56 TDRs based on the number of units proposed and the number of TDRs allocated among different properties.
- Consistent with conditions 1 and 14(c) of the Infrastructure Site Plan (82005015B), the Water Quality Plan and Forest Conservation Plan for the overall Cabin Branch Development are being amended through this Site Plan.

## TABLE OF CONTENTS

Recommendation and Conditions	3
Site Description	7
Vicinity	7
Site Analysis	8
Project Description	9
Regulatory History	9
Proposal	14
Community Outreach	15
Findings	16
<b>APPENDICES</b>	<b>35</b>

## ILLUSTRATIONS & TABLES

<i>Vicinity Map</i>	7
<i>Aerial Photograph</i>	8
<i>Cabin Branch Neighborhood Concept Diagram and Land Use Plan</i>	9
<i>Certified Land Use Plan of DPA G-806</i>	10
<i>Regulatory approvals exhibit</i>	13
<i>Illustrative Rendering of the Cabin Branch Neighborhood</i>	14
<i>Winchester Phase III Land Use Plan</i>	15
<i>MPDU exhibit for the Winchester Development</i>	17
<i>Site Plan Data Table</i>	20
<i>Illustrative rendering looking south along Woodcock Way</i>	22
<i>Illustrative cross-section</i>	23
<i>Illustrative rendering looking south into the stream valley buffer</i>	24
<i>Recreation Calculations Tables</i>	25
<i>High Visibility Lots</i>	27
<i>Cabin Branch (overall) Stormwater Management Pond Status Update</i>	32

## RECOMMENDATION AND CONDITIONS

Staff recommends approval of Site Plan No. 820120150, Winchester Phase 3, for 185 residential dwelling units (including 10 MPDUs) consisting of 128 one-family detached units and 57 one-family attached units, using 56 TDRs on 36.96 gross acres. All site development elements shown on the site and landscape plans stamped “Received” by the M-NCPPC on February 20, 2013, are required except as modified by the following conditions.

### Conformance with Previous Approvals

1. Development Plan Conformance

The development must comply with i) the binding elements, general notes, and the development program as shown on the Certified Land Use Plan of Development Plan Amendment (“DPA”) G-806, dated September 9, 2003; and ii) the conditions and binding elements adopted in Opinion 15-326, Zoning Ordinance Amendment approved by the District Council, September 9, 2003.

2. Preliminary Plan Conformance

The development must comply with the conditions of approval for Preliminary Plan 12003110B as set forth in MCPB Resolution No. 08-117 [Appendix A], unless amended.

3. Infrastructure Site Plan Conformance

The development must comply with the conditions of approval of Infrastructure Site Plan No. 820050150 as set forth in MCPB Resolution No. 07-131, and as amended by:

- a) Site Plan No. 82005015A as set forth in MCPB Resolution No. 08-68,
- b) Site Plan No. 82005015B as set forth in MCPB Resolution No. 11-124 [Appendix A], and
- c) Administrative Site Plan Amendment No. 82005015C approved on November 27, 2012.

4. Cabin Branch Design Guidelines for Site Plan Review

- a) The development must comply with the Cabin Branch Design Guidelines for Site Plan Review (“Design Guidelines”) as stated in the letter dated February 1, 2013 from the Town Architect [Appendix B].
- b) The Applicant must submit to the M-NCPPC Staff with building permit applications for each phase of the development program, an approval from the Town Architect stating that the approved buildings within that phase are in conformance with specifications of the Design Guidelines.

### Density & Housing

5. Density

The development is limited to 185 residential dwelling units consisting of 128 one-family detached units and 57 one-family attached units on the Subject Property.

6. Transfer of Development Rights (“TDRs”)

- a) The applicant must purchase 56 TDRs for the proposed development.
- b) The serial number for each TDR acquired must be shown on its respective record plat.

7. Moderately Priced Dwelling Units (“MPDUs”)

- a) The development must include 10 MPDUs on-site in accordance with the letter from the Department of Housing and Community Affairs (“DHCA”) to the Applicant dated December 20, 2012 [Appendix B].
- b) The MPDU agreement to build between the Applicant and DHCA must be executed prior to the release of the first building permit.

## **Environment**

### **8. Forest Conservation**

- a) Record plat of subdivision shall reflect a Category I conservation easement over all areas of stream buffers and forest conservation.
- b) All off-site reforestation must occur within the Clarksburg Special Protection Area unless otherwise specifically approved by the Planning Board.
- c) The implementation of the project's forest conservation mitigation requirements, which includes forest retention, onsite and offsite afforestation, reforestation and landscape credit, may be phased. The phasing of the total forest conservation mitigation must be proportionate to either the area proposed for disturbance relative to the total project size or the amount of density for each stage relative to the total project density, whichever is greater. The phasing triggers, forest conservation mitigation type, amount of mitigation, and disturbance areas are to be defined on the Final Forest Conservation Plan and revised as needed with subsequent Site Plans. Conservation easements may be recorded using a metes and bounds description and sketch if preceding recordation of plats, provided the recording information for the conservation easement is referenced and the easement line is shown on subsequent record plats.

### **9. Stormwater Management/Final Water Quality Plan**

- a) The development is subject to Final Water Quality approval conditions dated November 16, 2012, unless amended and approved by the Montgomery County Department of Permitting Services (“MCDPS”) – Water Resources Section provided that the amendments do not conflict with other conditions of the Site Plan or the final Forest Conservation Plan approved with the Infrastructure Site Plan.
- b) Reforestation of the stream buffer must begin during the first planting season after the issuance of the first grading permit by the MCDPS and pursuant to the phasing set forth in the Final Forest Conservation Plan.

## **Open Space and Recreation**

### **10. Common Open Space Covenant**

Record plat of subdivision must reference the Common Open Space Covenant recorded at Liber 28045 Folio 578 (“Covenant”). Prior to issuance of the 138<sup>th</sup> building permit, the Applicant must provide verification to Staff that the Applicant has incorporated the Covenant by reference into its recorded Homeowners Association (“HOA”) Documents.

### **11. Recreation Facilities and Amenities**

The Applicant must provide the following recreation facilities within the Subject Property as shown on the certified Site Plan: one tot lot, an open play area (minimum 5,000 SF), seven seating areas, pedestrian system, bike system, natural trails and natural areas.

12. Maintenance of Public Amenities

The Applicant, its successors, assignees, and/or the successor HOA shall be responsible for maintaining community-wide amenity features, such as, HOA tot lot and play equipment, HOA open spaces, retaining walls, streetscape elements and natural features.

**Site Plan**

13. Compatibility/Architecture

The front facades of the one-family attached MPDUs must be designed and finished with architectural elements comparable to those found on other similar attached market rate units within the development.

14. High Visibility Lots

Provide treatment for the following high visibility lots consistent with the Design Guidelines:

- a) Block AA: Lots 1, 7, 21, 24, 25, 31.
- b) Block AB: Lots 1, 7, 28, 34.
- c) Block AC: Lots 1, 6, 15, 16, 25, 52, 61, 64, 77.
- d) Block Z: Lots 1, 8, 9, 14, 15, 22, 27, 34.

15. Landscaping

- a) Provide an architectural fence and/or a landscape buffer on the side of the following lots consistent with the Design Guidelines:
  - i. Block AA: Lots 1, 7, 8, 20, 21, 24, 25.
  - ii. Block AB: Lots 1, 7, 28, 34, 8, 17, 18, 27.
  - iii. Block AC: Lots 1, 6, 15, 16, 25, 52, 61, 64, 65, 68, 77.
  - iv. Block Z: Lots 14, 15, 27.
- b) Reinforce the landscape buffer areas along MD 121 with additional plant material, such as evergreen shrubs.
- c) Provide a detailed planting plan for the entrance areas where the monumental signs are located.

16. Surety

Prior to issuance of the first building permit within each relevant phase of development, the Applicant must provide a performance bond(s) or other form of surety in accordance with Section 59-D-3.5(d) of the Montgomery County Zoning Ordinance with the following provisions:

- a) The Applicant must provide a cost estimate of the materials and facilities, which, upon staff approval, will establish the initial surety amount.
- b) The amount of the bond or surety shall include plant material, on-site lighting, recreational facilities, site furniture, entrance piers, retaining walls, and private roads within the relevant phase of the development.
- c) Prior to issuance of the first building permit, the Applicant must enter into a Site Plan Surety & Maintenance Agreement with the Planning Board in a form approved by the Office of General Counsel that outlines the responsibilities of the Applicant and incorporates the cost estimate.
- d) Bond/surety shall be tied to the development program, and completion of plantings and installation of particular materials and facilities covered by the surety for each phase of

development will be followed by inspection and reduction of the surety.

17. Development Program

The Applicant must construct the proposed development in accordance with a development program that will be reviewed and approved by Staff prior to the approval of the Certified Site Plan. The development program for Winchester Phase 3 must include the following items in its phasing schedule:

- a) Clearing and grading must correspond to the construction phasing to minimize soil erosion and must not occur prior to staff approval of a revised Final Forest Conservation Plan and the Certified Site Plan, except as specified in the conditions of approval for the Infrastructure Site Plan.
- b) The development program must provide phasing of dedications, stormwater management, sediment and erosion control, afforestation, trip mitigation, and other features.
- c) Streetscape
  - i. Provide each section of the development with necessary roads.
  - ii. Street lamps and sidewalks for public streets, private streets and alleys must be installed within six months after street construction is completed.
  - iii. Street tree planting must be completed no later than six months after completion of the residential units adjacent or adjoining the subject streets.
- d) Amenities
  - i. Onsite amenities including, but not limited to, sidewalks, pathways, benches, trash receptacles, and bicycle facilities must be installed prior to release of any building occupancy permit.
  - ii. The open play area (Parcel A) in Block AB and the tot lot in Block AC must be completed prior to issuance of the 138<sup>th</sup> building permit. Landscaping and lighting associated with these facilities must be installed no later than six months after the completion of the facilities.
  - iii. The green spaces (Parcels A, B, and C) in Block AC must progress with construction of the adjacent residential units. Landscaping and lighting associated with these facilities must be installed no later than six months after the completion of the facilities.
  - iv. The 8-foot wide asphalt bike path on the east side of MD 121 along the property's frontage must be completed prior to issuance of the 130<sup>th</sup> building permit.
  - v. The nature trail through the stream valley area must be completed prior to issuance of the 130<sup>th</sup> building permit.
- e) Landscaping associated with each unit shall be completed as construction of each unit is completed.

18. Certified Site Plan

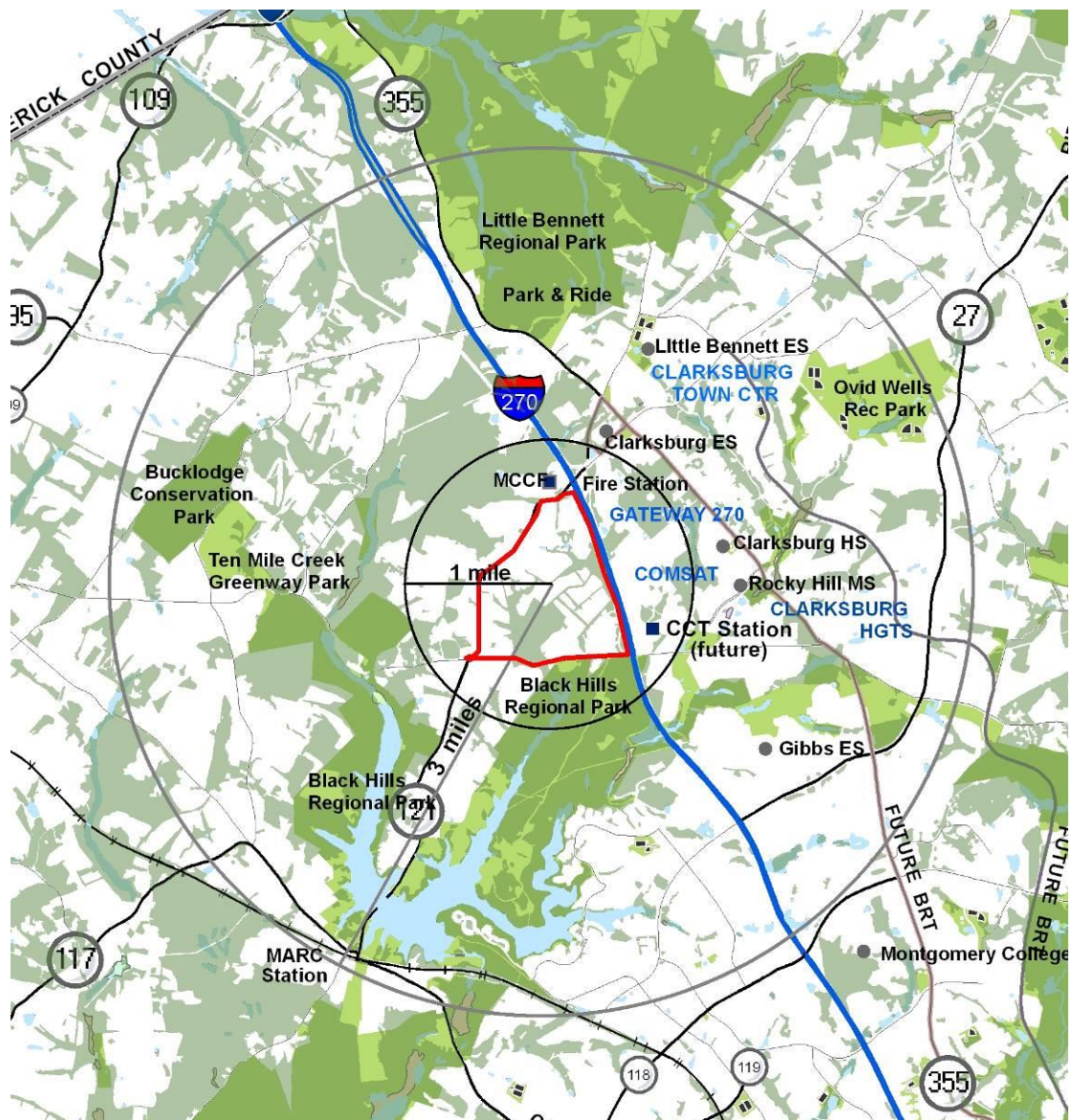
Prior to approval of the Certified Site Plan the following revisions must be made and/or information provided subject to Staff review and approval:

- a) Include the final forest conservation approval, stormwater management concept approval, development program, inspection schedule, and site plan resolution on the approval or cover sheet.
- b) Add a note to the site plan stating that the M-NCPPC staff must inspect all forest conservation and tree-save areas and protection devices prior to clearing and grading.
- c) Modify the data table to reflect development standards approved and binding in the Planning Board Resolution.

## SITE DESCRIPTION

### Vicinity

The subject property is located within the 535-acre tract commonly referred to as Cabin Branch. The larger tract is located at the confluence of richly contrasting elements that form the ecology and economy of Montgomery County: the I-270 Technology Corridor, the Agricultural Reserve, Black Hills and Little Bennett Regional Parks and existing and proposed transitways. To the south lies large-lot suburban residential development (RE-1/TDR, R-200/TDR), and further south is Gaithersburg and the Shady Grove Life Sciences Center (LSC). The Clarksburg Town Center (RMX-2) lies to the northeast, surrounded by residential zoning. Cabin Branch lies almost equidistant from the two regional parks. To the west of the site, Ten Mile Creek flows south into Little Seneca Lake, which is surrounded by Black Hill Regional Park. The site is located within the Clarksburg Special Protection Area and the Little Seneca Creek watershed.

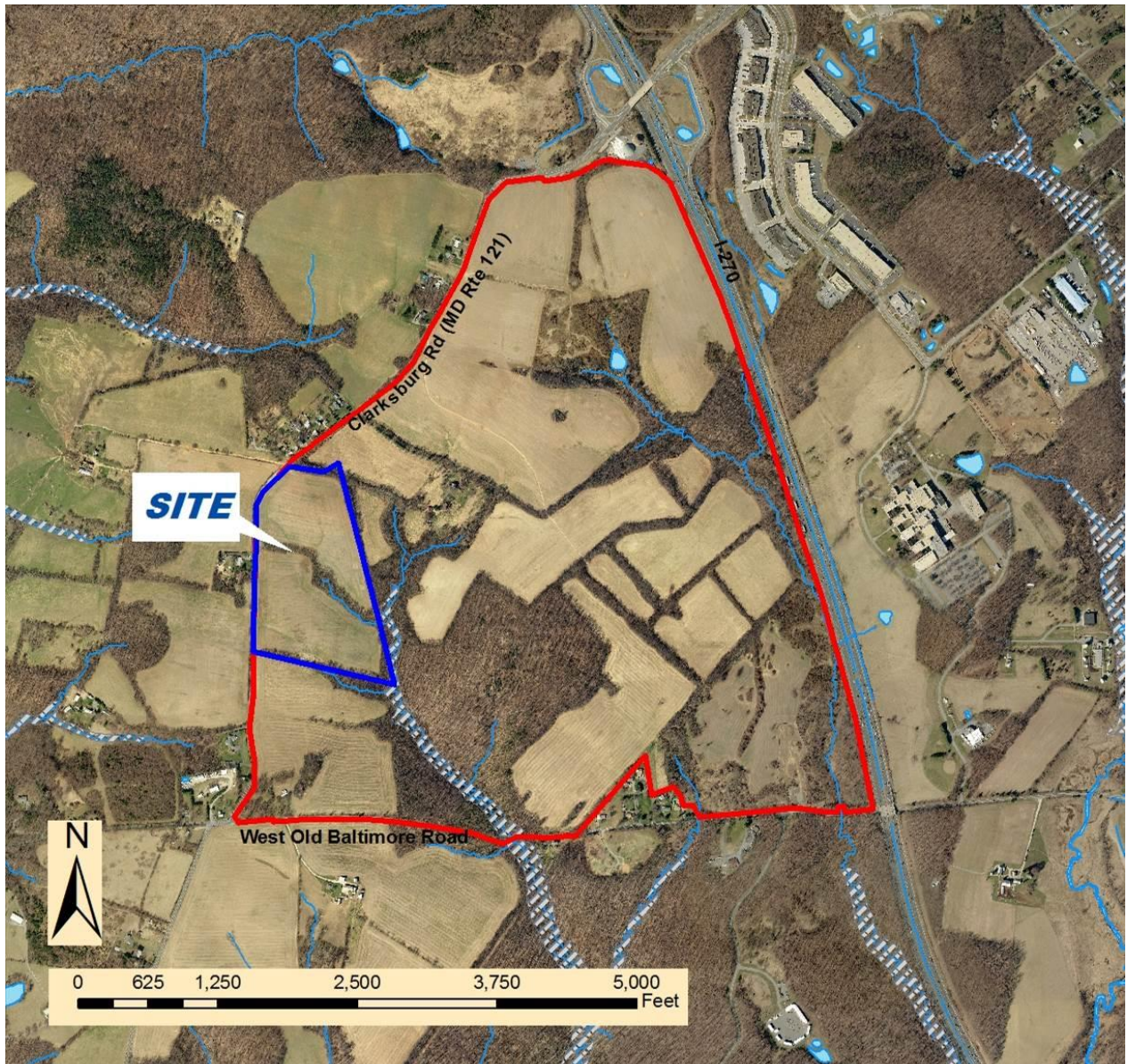


Vicinity Map

## Site Analysis

The overall Cabin Branch development consists of approximately 535 acres of existing farmland and forested stream buffers. Most of the site is active farmland separated in blocks by forested buffers and hedgerows to accommodate runoff and best management practices for cultivation. Much of the forest is encompassed within the two stream valley buffers on the site.

The Winchester Phase 3 development, comprising approximately 36.96 acres, is located on the west side of the larger tract and is bordered by MD 121 to the west, the future elementary school site to the north, two tributaries of the Little Seneca Creek watershed to the east, and future residential development to the south.



*Aerial Photo*

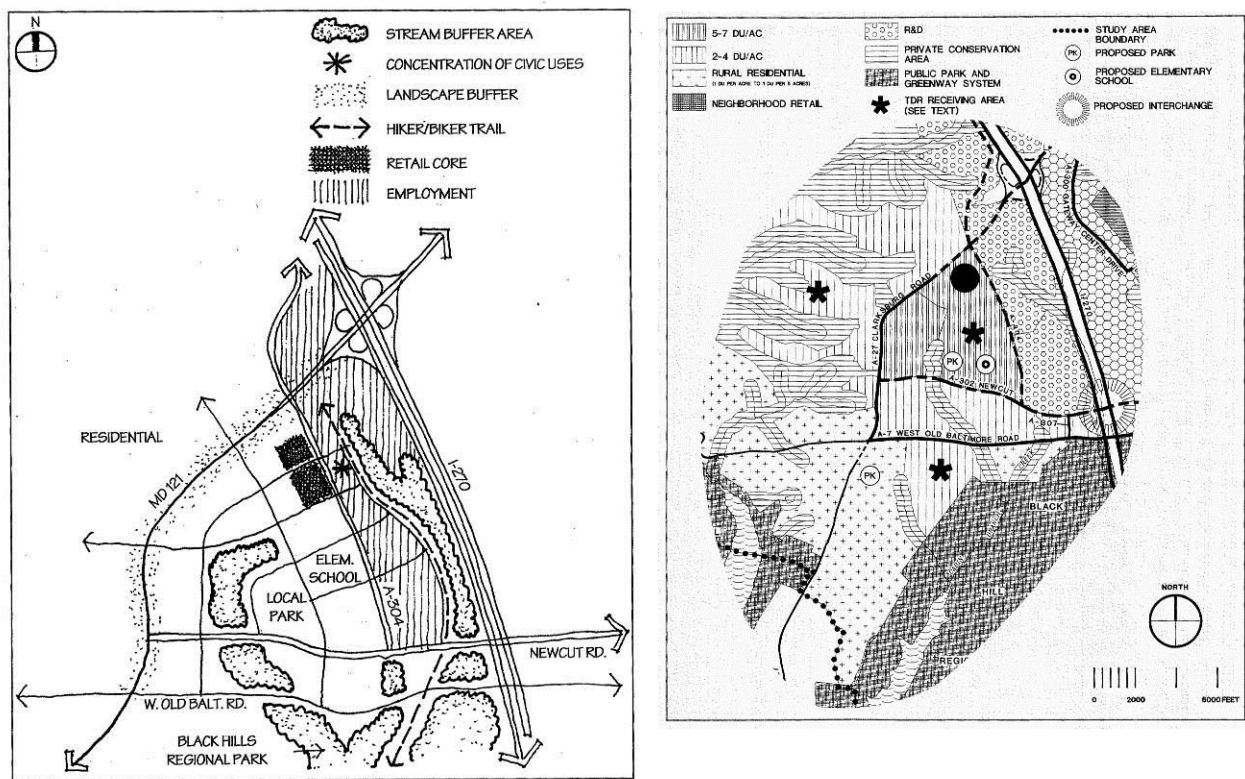


## PROJECT DESCRIPTION

### Regulatory History

The Cabin Branch community is a 535-acre triangular tract of land, located on the west side of I-270, bordered by MD 121, I-270 and West Old Baltimore Road. It is part of the larger Cabin Branch Neighborhood identified in the 1994 Clarksburg Master Plan which includes properties south of West Old Baltimore Road. The Clarksburg Master Plan calls for the Cabin Branch Neighborhood to be a mixed-use, planned community. The Plan recommends MXPD and RMX/TDR zoning to accommodate the mix of uses and proposed densities.

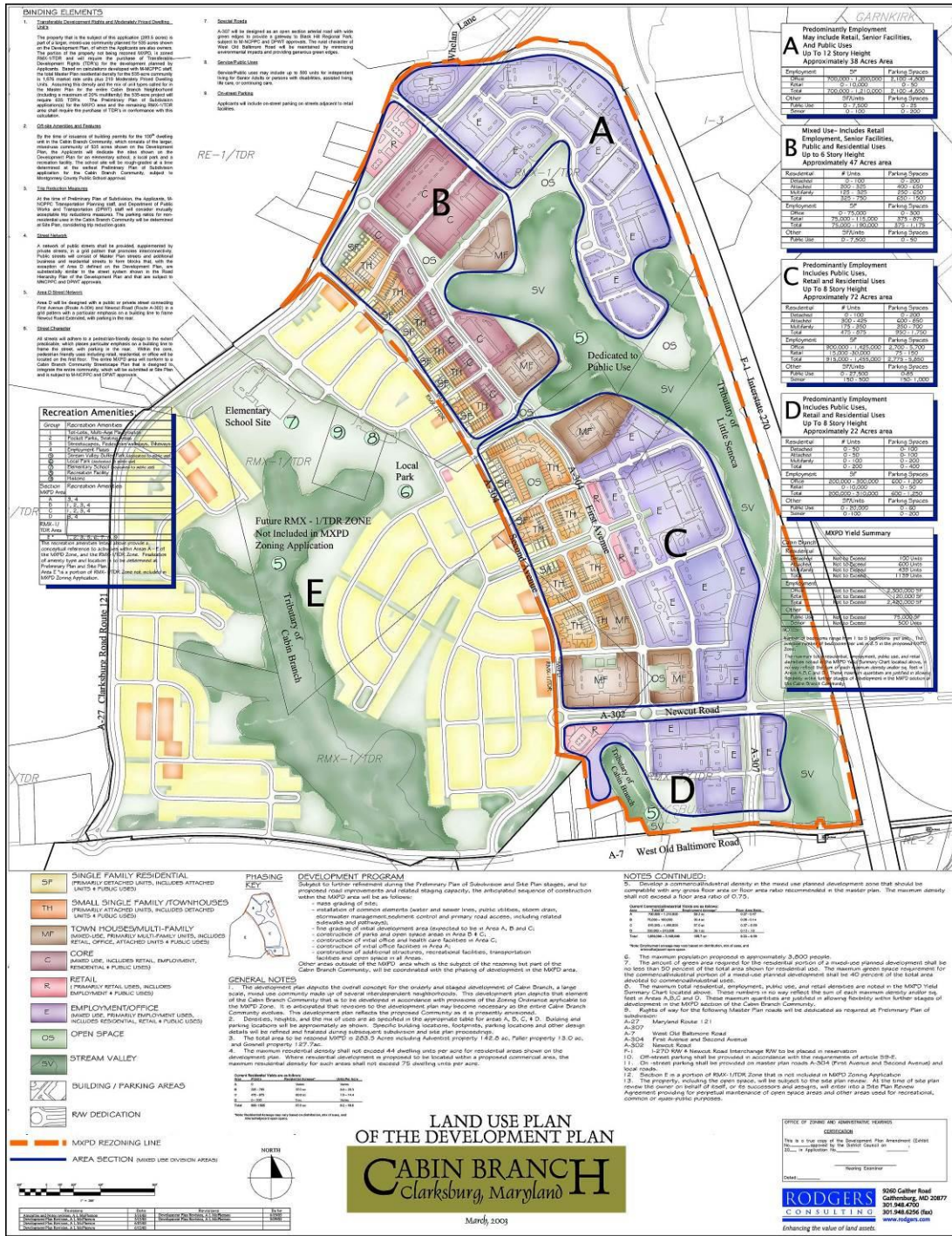
Although the Master Plan called for an integrated mix of uses including employment, all forms of housing, recreation and open space facilities, retail space, park areas and a site for an elementary school, it did not prescribe how the various property owners might jointly accomplish the goals. In 2002, the four major property owners of the 535-acre tract joined together to create an integrated vision for this major portion of the Clarksburg Neighborhood where the greatest mix of uses would occur. In effect, they ignored the property lines in order to establish a cohesive plan that would achieve all of the Master Plan objectives.



*Cabin Branch Neighborhood Concept Diagram and Land Use Plan  
(Figures 26 and 27 from the 1994 Clarksburg Master Plan)*

Those owners then presented the overall concept plan to the Montgomery County Planning Board in the form of a Pre-Preliminary Application, which the Planning Board unanimously endorsed. Following the Pre-Preliminary Application, the owners then filed a rezoning application (Local Map Amendment No. G-806) to reclassify 283.5 acres of the tract to the MXPD zone in order to accommodate the Master Plan

land uses and densities, leaving the remainder (approximately 257 acres) in the RMX/TDR zone, again pursuant to the Master Plan.



As part of the MXPD rezoning, the Planning Board supported and the Montgomery County Council approved a Development Plan for the tract that identified the various land uses, densities, overall plan orientation, general roadway configuration, and the location of the prescribed parks and public school site. That Development Plan approval included nine binding elements that defined the location of

TDRs and MPDUs, off-site amenity features, trip reduction measures and roadway issues among others. At the request of WSSC in 2005, the property owners prepared a Facility Plan for WSSC for Stages 3 and 4 which refined the framework for WSSC CIP improvements for the Clarksburg area west of I-270.

With the general vision of the Master Plan in mind, and the approved Development Plan in hand, the property owners of the Cabin Branch community then applied and obtained approval of a Preliminary Plan of Subdivision, Preliminary Plan No. 12003110 and 12003110B. Some of the original property owners conveyed their interests to Winchester Homes, Adventist HealthCare and other members of Cabin Branch Management who proceeded to implement the project. The Preliminary Plan, and an amendment to it, approved 1,886 dwelling units (in a mix of single-family detached, single family attached and multi-family configurations), 500 senior housing units, 2,420,000 square feet of commercial space, and the various open space and public school sites. The Preliminary Plan approval provided additional definition with respect to the location and configuration of on and off-site roadway improvements, development staging and other features. The Preliminary Plan approval also called for the submission and approval of an Infrastructure/Roads Site Plan to further define the location, configuration and timing of these improvements.

Table of Approved Plans and Projects

Case No.	Opinion	Type	Use Approved	Status
<b>G-806</b>	9/9/2003	Local Map Amendment	Rezoned 283.5 acres to MXPB on the eastern portion of the tract. Development Plan for 535 acres to allow 1,886 dwelling units, 2,420,000 SF commercial, 500 senior housing units.	approved
<b>120031100</b> <b>12003110A</b>	6/22/2004	Preliminary Plan & Amendment	1,600 DU, 1,538,000 SF commercial, 500 senior units, transportation improvements, LATR review, road construction phasing.	approved
<b>12003110B</b>	10/6/2008	Preliminary Plan Amendment	1,886 DU, 2,420,000 SF commercial, 500 senior units.	approved
<b>820050150</b> <b>82005015A</b> <b>82005015B</b> <b>82005015C</b>	9/19/2007 6/9/2008 3/17/2012 11/27/2012	Infrastructure Site Plan	1,886 DU, 236 MPDUs, 635 TDRs, 28.32 acres green space, public water and sewer (W-3), Master Plan Unit Mix, 2,436,000 SF retail and employment.	approved
<b>820060290</b> <b>82006029A</b>	10/20/2008 07/11/2012	Winchester I Site Plan	440 DU, 70 MPDUs, 132 TDRs, 66.39 acres green space.	approved
<b>820060240</b>	9/29/2010	Gosnell Site Plan	Hotel, banks (employment) 87,500 SF and 8,600 auto-related uses, parking waiver.	approved
<b>820110080</b>	07/11/2012	Winchester II Site Plan	341 DU, 41 MPDUs, 102 TDRs, 8.4 acres green space.	approved
<b>MR08001</b>	4/3/2008	Mand. Ref	WSSC elevated water storage tank	transmittal
<b>16-35</b> <b>17-04</b>	4/1/2009 4/1/2011	Subd. Regl Subd. Regl	Extension of validity period Extension of validity period	approved

In 2007, the Planning Board approved the Cabin Branch Infrastructure/Roads Site Plan (Site Plan No. 820050150) and, in 2008, approved a Minor Amendment to that Site Plan relating to West Old Baltimore Road improvements. The Infrastructure Site Plan provided detailed definition for the location and cross section of roads within Cabin Branch and features of the parks, open space, as well as the public school

site. That approval also included approval of a final Water Quality Plan for the project (No. 820050150).

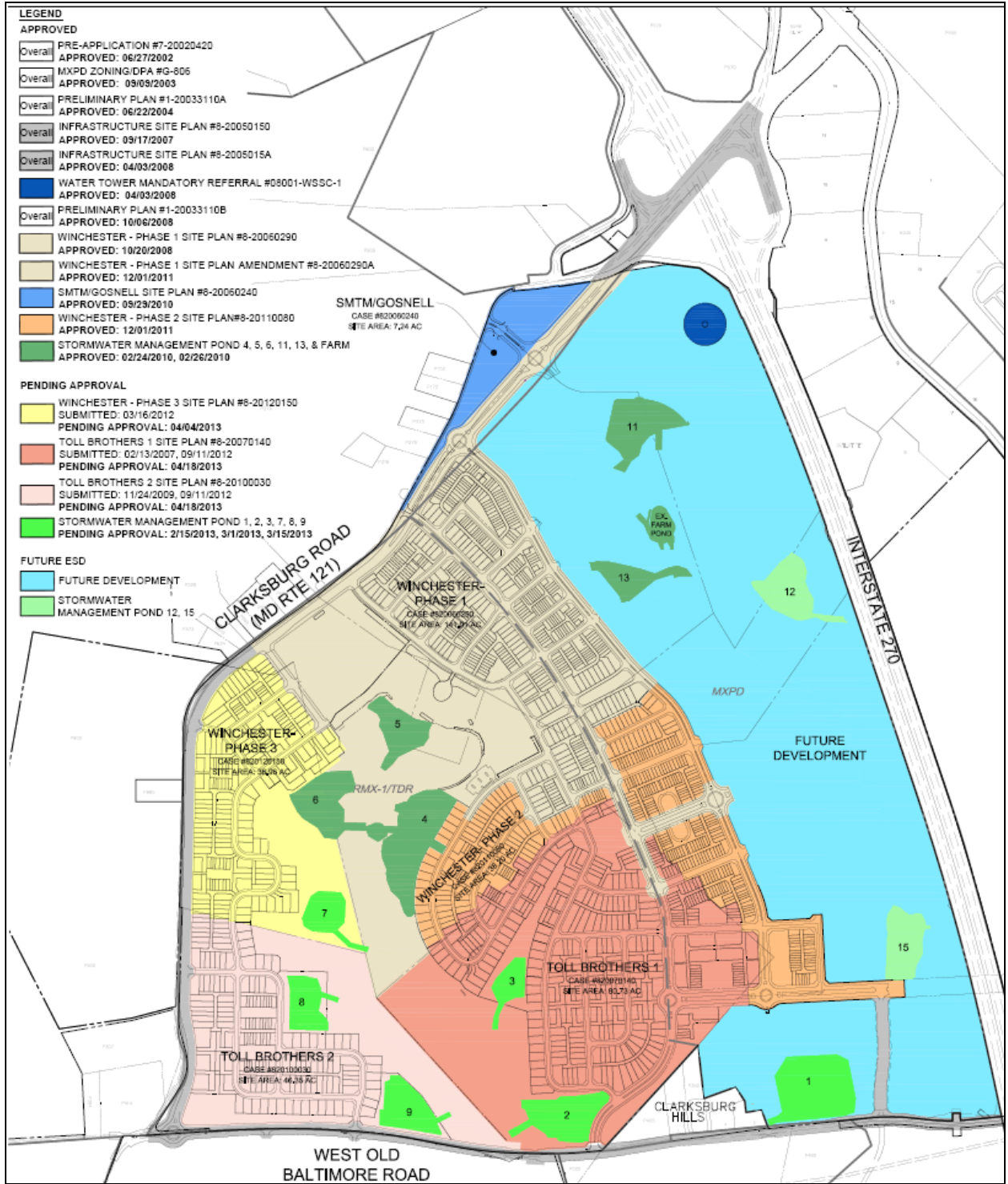
Since obtaining approval of the Infrastructure/Roads Site Plan, various property owners that comprise the Cabin Branch community, have proceeded with more detailed site plans for development of the various blocks and areas. Winchester Homes obtained the first approval, Site Plan No. 820060290, in 2008. Given its status as the initial detailed Site Plan, that Site Plan included approval of various overarching features for the whole project including the approval of Design Guidelines, design and construction details for the dedicated public park, grading and configuration of the proposed elementary school site, allocation of TDRs and MPDUs, infrastructure forest conservation, stormwater management. It updated the Final Water Quality Plan to reflect the more detailed aspects.

Since that Site Plan was approved, a Site Plan for part of the employment area along MD 121 (the Gosnell Site Plan) also has been approved. Most recently in 2012, an amendment to the Winchester Phase I Site Plan and Winchester Phase II Site Plan were approved for a mix of residential uses. Site Plans for Toll Brothers and Concordia are pending. A Development Plan Amendment (DPA 13-02) has been recently filed to amend the mix of retail and office space in the MXPD portion of the Cabin Branch development.

The project obtained approval for construction of a trunk line sewer, through Black Hills Park and into the property, which has since been constructed. The developers of the project also worked with the Washington Suburban Sanitary Commission under mandatory referral to obtain approval for the water tower to be built on the property that will service both this project and the rest of Clarksburg.

Table of Pending Plans

Case No.	Filed	Type	Pending Plans	Status
<b>820060180</b>	10/1/2005	Resd. Site Plan	<b>Concordia Phase 1</b> Residential Site Plan: 128 DU, 15 MPDUs, 22.13 acres of green space, 12,180 SF of employment	Proposed
<b>820060300</b>	2/1/2006	Retail Site Plan	<b>Concordia Phase 2</b> Retail: 87,878 sf commercial/retail and 4,420 SF employment	Proposed
<b>820060350</b>	3/1/2006	Site Plan	Phase I <b>Adventist</b> Medical Campus Site Plan: 234,000 sf of medical office space	To be revised per DPA 13-02
<b>820070140</b>	2/13/2007	Resd. Site Plan	<b>Toll Brothers</b> Phase 1: 434 DU including 64 MPDUs, 162 TDRs, 29.17 acres of green space.	Pending approval
<b>820100030</b>	12/23/2010	Resd. Site Plan	<b>Toll Brothers</b> Phase 2: 168 DU including 64 MPDUs, 63 TDRs, 22.93 acres of green space.	Pending approval
<b>DPA 13-02</b>	3/7/2013	Development Plan Amendment	Increase the amount of retail space from 120,000 SF to 484,000 SF and to decrease the amount of office space from 2,300,00 SF to 1,935,000 SF.	Under review



Regulatory approvals exhibit

## Proposal

The Site Plan proposes 185 residential dwelling units (including 10 MPDUs) consisting of 128 one-family detached units and 57 one-family attached units arranged in a neo-traditional, grid pattern on the western end of the Cabin Branch tract. The location of the units avoids environmentally sensitive features to the east associated with the tributaries in the Little Seneca Creek watershed and follows the new alignment of MD 121 to the west.



*Illustrative Rendering of the Cabin Branch Tract*

Main access to the site is provided off MD 121 via two public streets that connect to the main north-south community connector on the western portion of Cabin Branch, referred to as Woodcock Way. A

series of interconnected local streets and alleys provide access for a majority of rear-loaded units. The open space system is clustered in three different areas generally oriented east-west, which serve as visual linkages to the natural areas in the stream valley.

The Site Plan, collectively with the approved Site Plans for Winchester I and II (82006029A and 820110080), is providing 12.5% MPDUs of the total number of units (121 of 968). The 10 MPDUs provided with this Site Plan represent 5.4% of the 185 units proposed because the Winchester I approval provided a greater percentage of MPDUs than the number required for the individual site plan.



*Winchester Phase III Land Use Plan*

## COMMUNITY OUTREACH

The applicant has met all proper signage, noticing, and submission meeting requirements. Staff has not received correspondence on this application.

## FINDINGS

1. *The site plan conforms to all non-illustrative elements of a development plan or diagrammatic plan, and all binding elements of a schematic development plan, certified by the Hearing Examiner under Section 59-D-1.64, or is consistent with an approved project plan for the optional method of development, if required, unless the Planning Board expressly modifies any element of the project plan.*

The entire Cabin Branch development is comprised of approximately 535 acres, including the Subject Property. Zoning Application G-806 reclassified the eastern half, approximately 283.5 acres of the Cabin Branch tract, from the RE-1/TDR, RMX-1/TDR and I-3 Zones to the MXPDP Zone. G-806 did not include the Subject Property, which maintained the existing RMX-1/TDR Zone. However, because the entire Cabin Branch tract was comprehensively planned as a single community, the Development Plan, including the Land Use Plan and other graphical exhibits, showed the entire Cabin Branch tract including the Subject Property. Therefore, the Site Plan conforms to all non-illustrative elements and binding elements of the Zoning Application G-806 approved by the District Council on September 9, 2003 (Resolution No. 15-326) to the extent that it applies to the Subject Property and, therefore, this Site Plan. The discussion below indicates how this Site Plan conforms to binding elements 1 and 4, which apply to the entire tract. Binding elements 2, 3, 5, 6, 7, 8, and 9 are not applicable to this Site Plan.

1. Transferable Development Rights and Moderately Priced Dwelling Units

The property that is the subject of this application (283.5 acres) is part of a larger, mixed-use community planned for 535 acres shown on the Development Plan, of which the Applicants are also owners. The portion of the property not being rezoned MXPDP, is zoned RMX-1/TDR and will require the purchase of Transferable—Development Rights (TDR's) for the development planned by Applicants. Based on calculations developed with M-MCPPC staff, the total Master Plan residential density for the 535-acre community is 1,676 market rate units plus 210 Moderately Priced Dwelling Units. Assuming this density and the mix of unit types called for in the Master Plan for the entire Cabin Branch Neighborhood (including a maximum of 20% multifamily) the 535-acre project will require 635 TDR's. The Preliminary Plan of Subdivision application(s) for the MXPDP area and the remaining RMX-1/TDR area shall require the purchase of TDR's in conformance with this calculation.

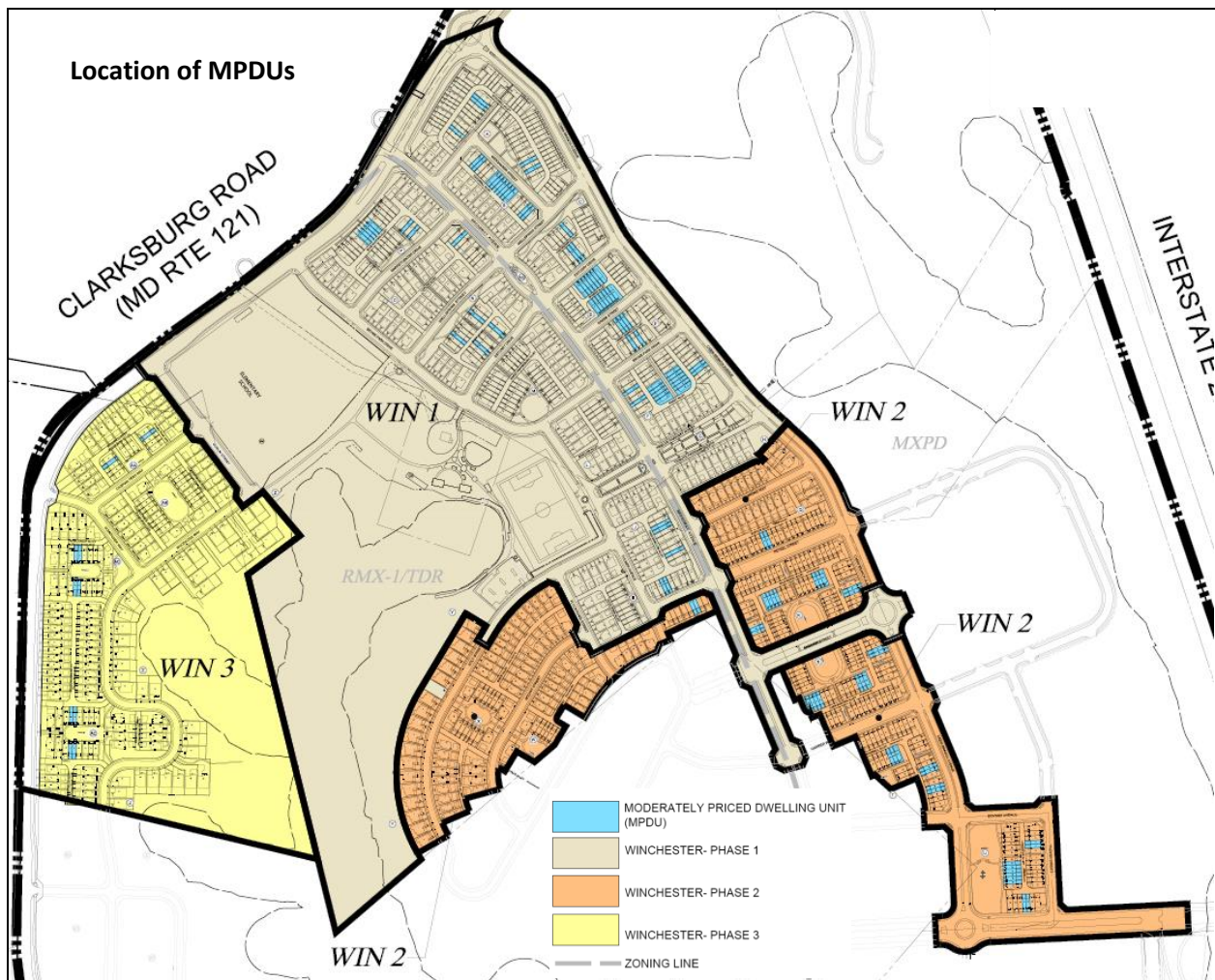
Binding element 1 of the Development Plan G-806 refers to the total number of TDRs and MPDUs required for the entire 535-acre Cabin Branch Community. Although the number of TDRs and MPDUs are not evenly distributed among the Cabin Branch Phases, the entire 535-acre Cabin Branch Community, including this Site Plan will provide a portion towards the total required TDRs and MPDUs.

The 635 TDRs initially required for the overall site, assumed a maximum density, mix and number of



MPDUs for the RMX-1/TDR portion of the property and the total number of units. Because the TDRs are proportional to the number of MPDUs provided, they have been recalculated to account for an increase in MPDUs with Preliminary Plan 12003110B. Thus, the Cabin Branch was approved for an overall 609 TDRs, 236 MPDUs, 1886 residential units, and 500 senior units.

The Winchester portion of Cabin Branch is divided into three site plans representing three different phases. Collectively, the three site plans will provide 12.5% MPDUs of the total number of units (121 out of 966 total units). The subject Site Plan, which is the last phase of the Winchester development, includes 5% MPDUs on-site (10 out of 185 units) because Phase I included a higher percentage of MPDUs. This will hasten the availability and occupancy of affordable units. DHCA supports the location, distribution and phasing of MPDUs [Appendix B] as shown on the exhibit below.



Winchester Development	D.U. approved/proposed	MPDUs required (12.5%)	MPDUs provided
Phase I	440	55	70
Phase II	341	43	41
Phase III	185	23	10
<b>Total</b>	966	121	121

The number of TDRs provided is 56, which conforms to the calculations approved with the Development Plan and Preliminary Plan [Appendix C]. The calculations allocated the total number of TDRs for the entire Cabin Branch development (609) amongst the different property owners based on the number of units provided on each property. Hence, the Site Plan proposes 185 units which is 14.67% of the total number of units for the Winchester (including Concordia), Gosnell and Adventist properties (1261 total units). When this percentage is applied to the total TDR requirement for this group of properties (377 TDRs), it results in 56 TDRs (14.67% x 377 = 55.30) required for the Site Plan. The table below tracks the cumulative number of TDRs approved for the entire Cabin Branch tract against the cap established by the DPA and later revised by Preliminary Plan 12003110B.

TDRS		PROPOSED MXPD ZONE	PROPOSED RMX1/TDR ZONE	TOTAL
SITE PLANS	SMTM (GOSNELL) (#820060240) <i>Approved 9/29/10</i>	0	0	0
	WINCHESTER PHASE 1 (#82006029A) <i>Approved 07/11/12</i>	0	132	132
	WINCHESTER PHASE 2 (#820110080) <i>Approved 07/11/12</i>	0	102	102
	WINCHESTER PHASE 3 (#820120150)	0	56	56
	TOLL BROTHERS PHASE 1 (#820070140) <i>Pending Approval</i>	0	162	162
	TOLL BROTHERS PHASE 2 (#820100030) <i>Pending Approval</i>	0	63	63
	CABIN BRANCH COMMONS- (CONCORDIA RESIDENTIAL) (#820060180) <i>Proposed</i>	0	0	0
	CABIN BRANCH COMMONS -(CONCORDIA RETAIL) (#820060300) <i>Proposed</i>	0	0	0
	ADVENTIST PHASE 1 (#820060350) <i>Proposed</i>	0	0	0
	ADVENTIST ( <i>Future</i> )	0	0	TBD
<b>PARTIAL SUBTOTAL</b>	<b>0</b>	<b>515</b>	<b>515</b>	
PRELIMINARY PLAN	PRELIMINARY PLAN (#12003110B)	N/A	N/A	609

#### 4. Street Network

A network of public streets shall be provided, supplemented by private streets, in a grid pattern that promotes interconnectivity. Public streets will consist of Master Plan streets and additional business and residential streets to form blocks that, with the exception of Area D defined on the Development Plan, are substantially similar to the street system shown in the Road Hierarchy Plan of the Development Plan and that are subject to MNCPPC and DPWT approvals.

The Applicant has provided a network of public streets in a grid pattern that defines scaled blocks typical of neo-traditional type of development. The street network is patterned to accommodate the following: negotiate significant grades, accommodate underground infrastructure, and create a cohesive relationship with public and private uses proposed in the Cabin Branch neighborhood. The public streets proposed are consistent with the Master Plan and hierarchy defined in the Development Plan.

2. The Site Plan meets all of the requirements of the zone in which it is located, and where applicable conforms to an urban renewal plan approved under Chapter 56.

The Site Plan meets all the requirements of the RMX-1/TDR Zone under the standard method of development. According to Sec. 59-C-10.2.1, standard method projects in the RMX-1/TDR Zones “must occur in accordance with the development methods, standards and special regulations of the R-200/TDR Zone, as contained in 59-C-1.331, 59-C-1.332 and 59-C-1.39.” The Site Plan uses the development standards under the latter section (59-C-1.39, Special regulations for optional method development using TDRs), which enable densities consistent with the Master Plan recommendations for this site. The Master Plan recommends a range of 5 to 7 dwelling units per acre (p.65), and the Site Plan proposes 5 dwelling units per acre. The Site Plan establishes the minimum setbacks, building restriction lines, and maximum building heights as permitted by the Zone.

This Site Plan is part of a larger tract of land, Cabin Branch, subject of the Zoning Application G-806 and Preliminary Plan No. 12003110B, which established limits on certain development standards for the entire tract. These include density, MPDUs, TDRs, retail, employment, and green area. As a result, the Site Plan meets these development standards as part of a cumulative total for the entire tract. The tables below tract the cumulative total acreages, number of units, MPDUs and green area approved by the various site plans within the overall Cabin Branch development against the cap established by Preliminary Plan No. 12003110B.

SITE AREA- ACRES (+/-)		PROPOSED MXPD ZONE	PROPOSED RMX1/TDR ZONE	TOTAL
SITE PLANS	SMTM (GOSNELL) (#820060240) <i>Approved 9/29/10</i>	7.24	0	7.24
	WATER TOWER MANDATORY REFERRAL (#08001-WSSC-1) <i>Approved 4/3/08</i>	1.487	0	1.487
	WINCHESTER PHASE 1 (#82006029A) <i>Approved 07/11/12</i>	56.92	84.99	141.91
	WINCHESTER PHASE 2 (#820110080) <i>Approved 07/11/12</i>	25.1	13.1	38.2
	WINCHESTER PHASE 3 (#820120150)	0	36.96	36.96
	TOLL BROTHERS PHASE 1 (#820070140) <i>Pending Approval</i>	12.88	67.85	80.73
	TOLL BROTHERS PHASE 2 (#820100030) <i>Pending Approval</i>	0	46.35	46.35
	CABIN BRANCH COMMONS- (CONCORDIA RESIDENTIAL) (#820060180) <i>Proposed</i>	29.49	0	29.49
	CABIN BRANCH COMMONS -(CONCORDIA RETAIL) (#820060300) <i>Proposed</i>	12.06	0	12.06
	ADVENTIST PHASE 1 (#820060350) <i>Proposed</i>	34.77	0	34.77
	ADVENTIST ( <i>Future</i> )	TBD	0	TBD
	ADVENTIST SENIOR UNITS ( <i>Future</i> )	TBD	0	TBD
<b>PARTIAL SUBTOTAL*</b>		<b>179.95</b>	<b>249.25</b>	<b>429.197</b>
INFRASTRUCTURE SITE PL	INFRASTRUCTURE SITE PLAN (#82005015A) APPROVED 9/17/2007	<b>283.50</b>	<b>251.54</b>	<b>535.04</b>
PRELIMINARY PLAN	PRELIMINARY PLAN (#12003110B)	<b>283.50</b>	<b>251.54</b>	<b>535.04</b>

\*Final acreage in the MXPD zone to be reconciled with Future Site Plans. Final acreage in the RMX1/TDR zone is within right-of-way provided for infrastructure roads MD 121 and West Old Baltimore Road by Cabin Branch Management, LLC.

RESIDENTIAL DENSITY- DWELLING UNITS		PROPOSED MXPD ZONE	PROPOSED RMX1/TDR ZONE	TOTAL	
SITE PLANS	SMTM (GOSNELL) (#820060240) <i>Approved 9/29/10</i>	0	0	0	
	WINCHESTER PHASE 1 (#82006029A) <i>Approved 07/11/12</i>	232	208	440	
	WINCHESTER PHASE 2 (#820110080) <i>Approved 07/11/12</i>	234	107	341	
	WINCHESTER PHASE 3 (#820120150)	0	185	185	
	TOLL BROTHERS PHASE 1 (#820070140) <i>Pending Approval</i>	189	247	436	
	TOLL BROTHERS PHASE 2 (#820100030) <i>Pending Approval</i>	0	168	168	
	CABIN BRANCH COMMONS- (CONCORDIA RESIDENTIAL) (#820060180) <i>Proposed</i>	128	0	128	
	CABIN BRANCH COMMONS -(CONCORDIA RETAIL) (#820060300) <i>Proposed</i>	0	0	0	
	ADVENTIST PHASE 1 (#820060350) <i>Proposed</i>	0	0	0	
	ADVENTIST ( <i>Future</i> )	TBD	0	TBD	
	<b>PARTIAL SUBTOTAL</b>		<b>783</b>	<b>915</b>	<b>1698</b>
	PRELIMINARY PLAN	PRELIMINARY PLAN (#12003110B)	<b>1026(1)</b>	<b>860(1)</b>	<b>1886</b>

**MPDU UNITS**

		PROPOSED MXPD ZONE	PROPOSED RMX1/TDR ZONE	TOTAL
<b>SITE PLANS</b>	SMTM (GOSNELL) (#820060240) <i>Approved 9/29/10</i>	0	0	0
	WINCHESTER PHASE 1 (#82006029A) <i>Approved 07/11/12</i>	53	17	70
	WINCHESTER PHASE 2 (#820110080) <i>Approved 07/11/12</i>	39	2	41
	<b>WINCHESTER PHASE 3 (#820120150)</b>	<b>0</b>	<b>10</b>	<b>10</b>
	TOLL BROTHERS PHASE 1 (#820070140) <i>Pending Approval</i>	66	0	66
	TOLL BROTHERS PHASE 2 (#820100030) <i>Pending Approval</i>	0	10	10
	CABIN BRANCH COMMONS- (CONCORDIA RESIDENTIAL) (#820060180) <i>Proposed</i>	15	0	15
	CABIN BRANCH COMMONS -(CONCORDIA RETAIL) (#820060300) <i>Proposed</i>	0	0	0
	ADVENTIST PHASE 1 (#820060350) <i>Proposed</i>	0	0	0
	ADVENTIST ( <i>Future</i> )	TBD	0	TBD
<b>PARTIAL SUBTOTAL</b>		<b>173</b>	<b>39</b>	<b>212</b>
<b>PRELIMINARY PLAN</b>	PRELIMINARY PLAN (#12003110B) (236 UNITS= 12.5% * 1886 UNITS)	<b>N/A</b>	<b>N/A</b>	<b>236</b>

**GREEN AREA- ACRES (2)**

		PROPOSED MXPD ZONE	PROPOSED RMX1/TDR ZONE	TOTAL
<b>SITE PLANS</b>	SMTM (GOSNELL) (#820060240) <i>Approved 9/29/10</i>	2.49	0	2.49
	WINCHESTER PHASE 1 (#82006029A) <i>Approved 07/11/12</i>	12.3	54.09	66.39
	WINCHESTER PHASE 2 (#820110080) <i>Approved 07/11/12</i>	5.5	2.9	8.4
	<b>WINCHESTER PHASE 3 (#820120150)</b>	<b>0</b>	<b>14.98</b>	<b>14.98</b>
	TOLL BROTHERS PHASE 1 (#820070140) <i>Pending Approval</i>	2.42	28.87	31.29
	TOLL BROTHERS PHASE 2 (#820100030) <i>Pending Approval</i>	0	23.71	23.71
	CABIN BRANCH COMMONS- (CONCORDIA RESIDENTIAL) (#820060180) <i>Proposed</i>	22.13	0	22.13
	CABIN BRANCH COMMONS -(CONCORDIA RETAIL) (#820060300) <i>Proposed</i>	2.07	0	2.07
	ADVENTIST PHASE 1 (#820060350) <i>Proposed</i>	23.8	0	23.8
	ADVENTIST ( <i>Future</i> )	TBD	0	TBD
ADVENTIST SENIOR UNITS ( <i>Future</i> )	TBD	0	TBD	
<b>PARTIAL SUBTOTAL</b>		<b>TBD</b>	<b>TBD</b>	<b>TBD</b>
<b>PRELIMINARY PLAN</b>	PRELIMINARY PLAN (#12003110B)	<b>283.50</b>	<b>251.54</b>	<b>535.04</b>

The Site Plan meets the compatibility requirements of Sec 59-C-7.15(b), which states that “No building can be constructed to a height greater than its distance from such adjoining land [one-family detached zone]”. The Subject Property adjoins RE-1/TDR-2 zoned land on the west side across from Clarksburg Road (MD 121). Because the zoning line follows the old alignment of MD 121, the building setback shown from the RE-1/TDR-2 land is at least 100 feet, which validates the maximum building height proposed at 50 feet.

The proposed residential uses are allowed in the RMX-1/TDR Zone and the Site Plan meets the purpose of the zone by contributing residential uses to the overall mixed use community of the Cabin Branch Project. As demonstrated in the Data Table below, the project meets all of the applicable requirements of the RMX-1/TDR Zone under the standard method of development.

*Data Table for the RMX-1/TDR Zone, standard method of development*

Development Standard	Permitted/Required	Proposed for Approval
<b>Site Area (acres) [59-C-1.321]</b>		
Gross Tract Area (GTA)	535.04*	36.96 (1,609,977 SF)
Dedication	n/a	
Public Roads		3.42
Private Roads		1.4
Public HOA areas		<u>14.98</u>
Total		19.8
Net Area for Residential Uses	n/a	17.16

<b>Density</b>		
Unit Mix		
One-family detached		128 (69%)
One-family attached		<u>57 (31%)</u>
Total	1886*	185 (100%) †
Number of MPDUs	12.5%	
One-family detached		0
One-family attached		<u>10</u>
Total	236* (= 12.5% of 1886 du)	10 (= 5.4% of 185 du) †
Dwelling Units/Acre	7 ‡	5.0
TDRs		
- Total TDRs for Cabin Branch	609 †	
- Sub-total TDRs for Gosnell, Adventist, Winchester (1261 units)	377	
- Winchester Phase 3 (= 14.67% of 1261 units)	56	56 (= 14.67% x 377) †
<b>Min. Green Area [59-C-1.395]</b>		
(% of GTA)	35% (12.94 ac.)	40.5% (14.98 ac.) †
<b>Min. Building Setbacks (ft) [59-C-1.394(b)]</b>		
One-family detached	n/a	
- Front		10
- Rear		0
- Side (street side)		10
- Side (interior lot)		3
- Side (alley)		3
- R/W truncation		0
One-family attached	n/a	
- Front		10
- Rear		0
- Side (street side)		10
- Side (interior lot)		3
- Side (alley)		3
- R/W truncation		0
Accessory Buildings	n/a	
- Front		40
- Rear		5
- Side		3
<b>Max. Building Height (ft)</b>		
One-family detached	n/a	50 (4 stories)
One-family attached	n/a	50 (4 stories)
Accessory building		25
<b>Min. Lot Area (SF)</b>		
One-family detached	n/a	1,200
One-family attached	n/a	600
<b>Min. Lot Width at Street Front (ft)</b>		
One-family detached	20	20
One-family attached		20

<b>Off-Street Vehicle Parking (number of spaces) (59-E)</b>		
Size	8.5 x 18	8.5 x 18
One-family detached (128 units)	256 (2 sp/unit)	328
One-family attached (57 units)	<u>114</u> (2 sp/unit)	<u>208</u>
Total spaces	370	536
<b>Bicycle Parking (number of spaces)</b>		
Racks	(5%/sp provided)	12

\* As approved by Preliminary Plan No. 12003110B for the overall Cabin Branch development.

† Partial calculation for this portion of the Winchester – Phase 3 Site Plan. See overall tracking tables above for cumulative totals for overall Cabin Branch development.

‡ Although Section 59-C-10.2.1.1.2 allows a maximum density of 11 dwelling units per acre with the use of TDRs, the total number is limited at 7 du/ac per the Master Plan recommendations for the subject property (p.65).

¥ See Appendix C for full TDR calculations.

3. *The locations of buildings and structures, open spaces, landscaping, recreation facilities, and pedestrian and vehicular circulation systems are adequate, safe, and efficient.*

a) Locations of buildings and structures

The locations of the proposed buildings and structures are adequate, safe, and efficient. The Site Plan consists of 185 dwelling units (including 10 MPDUs) with 128 one-family detached units and 57 one-family attached units.

The units are efficiently located between the stream valley buffer to the east and MD 121 to the west. They follow the neo-traditional pattern of development with units oriented towards the public and private streets and rear-loaded from the alleys. The attached units front onto open spaces clustered in three different areas and visually connected to the stream valley. The location of the units adequately avoids environmentally sensitive areas, and efficiently follows the proposed street layout.



*Illustrative rendering looking south along Woodcock Way from the intersection with Dowitcher Way*

The development form established with the Road Hierarchy Plan, approved as part of the Preliminary Plan, and engineered through the Infrastructure Site Plan, clearly defines the block pattern, and forms the basis of the neighborhood texture, broadly grained in the retail and commercial areas, and varied, yet finely grained for the residential lots that largely comprise this site plan. The Site Plan layout is generally consistent with the Infrastructure Site Plan.

A variety of unit types including attached, detached, front-, rear- and side-loaded, add variety and address the unique conditions of the site's layout. The Site Plan exceeds the parking requirement of 374 spaces (2 per unit) by providing 542 spaces located on individual lots in garages and driveways. Additionally, the Site Plan shows public roads with a pavement width of 26 feet which will accommodate on-street, parallel parking on one side, subject to coordination with MCDPS and Montgomery County Fire and Rescue Services.



*Illustrative cross-section*

The Site Plan includes a series of retaining walls along the western edge to accommodate for a severe grade drop with minimal disturbance on environmentally sensitive resources. The retaining walls proposed are tiered in certain areas to limit their individual heights. The total cumulative height of the tiered system can be a maximum of 30 feet at specific locations. The use of retaining walls onsite is necessary to accommodate the densities envisioned by the Master Plan with minimal impact on environmentally sensitive areas. The Site Plan has reduced the proposed retaining walls, as directed by Preliminary Plan No. 12003110B, by approximately 900 linear feet.

The Site Plan includes one monumental sign at each entrance to the development off MD121. The two signs are similar in character, size and materials. These signs adequately identify the community and efficiently contribute to the sense of arrival.

b) Open Spaces

The open spaces provided are adequate, safe, and efficient. The Site Plan preserves the stream valley area and associated environmental features as open space and amenity area, and provides readily accessible smaller open spaces and active recreation areas within the residential clusters. All open spaces are well connected through the proposed trail and sidewalk systems. Additionally, open spaces were strategically placed as a visual terminus for streets and visual connections to the adjacent stream valley area.

The RMX-1/TDR Zone does not have an open space requirement; instead it has a minimum green area requirement of 35 percent of the tract area. The Site Plan meets the green area requirement by providing a total of 40.5 percent (or 14.98 acres) of green space. All green areas, both active and passive, will be accessible to all residents of the development. The diversity of open spaces proposed is adequately dispersed throughout the development to provide safe and convenient access to all residents.



*Illustrative rendering looking south into the stream valley buffer  
from near the Dowitcher and MD 121 intersection*

c) Landscaping and Lighting

As conditioned, the landscaping is adequate, safe, and efficient. The landscape plan achieves several objectives. It provides canopy coverage and shade for the roads and open spaces. A variety of shade trees line all the public streets. The tot lot and open play areas are enclosed by a hierarchy of plant material that adds interest and delineates the spaces. On individual lots, foundation plantings including herbaceous plants, evergreen and deciduous shrubs, and ornamental trees provide scale to the units. As conditioned, the landscaping provides an adequate buffer and screening from MD 121 through a mix of plant material.

The lighting consists of pole mounted light fixtures with a maximum height of 13 feet located on all public roads. The lighting is residential in character and affirms the pedestrian scale. It will create enough visibility to provide safety but not so much as to cause glare on the adjacent roads or properties. The lighting is adequate, safe and efficient.

d) Recreation Facilities

The recreation facilities provided are adequate, safe and efficient. The facilities provided on-site include a tot lot, open play area (minimum 5,000 SF), sitting areas, bike system, pedestrian system, nature trails, and natural areas. Facilities outside the boundaries of this site plan, but within the overall Cabin Branch boundary and intended to serve the entire community include:

- A community center with a swimming pool and wading pool;
- A local park with a soccer field (regulation), tot lot, play lot, 4 sitting areas, 2 picnic



- areas, and an open play area; and
- A School site with a multi-age playground, junior softball field, and junior baseball field.

As demonstrated in the tables below, this development meets the recreation requirements for the various age groups through a combination of on-site and off-site facilities, which satisfy the 1992 M-NCPPC Recreation Guidelines. These facilities adequately and efficiently meet the recreation requirements of this development, while providing safe and accessible opportunities for recreation for the various age groups.

Demand		D1	D2	D3	D4	D5
Housing Type	Number of Units	Tots 0 to 4	Children 5 to 11	Teens 12 to 17	Adults 18 to 64	Seniors 65+
SFD III (<7,000)	128	17.92	24.32	29.44	162.56	16.64
TH	57	9.69	12.54	10.26	73.53	3.99
		27.61	36.86	39.70	236.09	20.63

On-Site Supply		D1	D2	D3	D4	D5
Recreation Facility	Quantity Provided	Tots 0 to 4	Children 5 to 11	Teens 12 to 17	Adults 18 to 64	Seniors 65+
Tot Lot	1	9.00	2.00	0.00	4.00	1.00
Picnic/Sitting	7	7.00	7.00	10.50	35.00	14.00
Open Play Area II	1	3.00	4.00	4.00	10.00	1.00
Bike System	1	1.38	3.69	5.96	35.41	2.06
Pedestrian System	1	2.76	7.37	7.94	106.24	9.28
Nature Trails	1	1.38	3.69	5.96	35.41	3.09
Natural Areas	1	0.00	1.84	3.97	23.61	1.03
total:		24.52	29.59	38.32	249.68	31.47

Off-Site Supply		D1	D2	D3	D4	D5
Recreation Facility	Quantity Provided	Tots 0 to 4	Children 5 to 11	Teens 12 to 17	Adults 18 to 64	Seniors 65+
Multi-Age Playground	1	3.15	3.85	1.05	2.45	0.35
Softball - Junior	1	0.70	5.25	5.25	10.50	0.70
Baseball - Junior	1	0.70	5.25	5.25	10.50	0.70
total:		4.55	14.35	11.55	23.45	1.75

Adequacy of Facilities		D1	D2	D3	D4	D5
Gross Total Supply		29.07	43.94	49.87	273.13	33.22
35% of Total Supply		10.17	15.37	17.45	95.59	11.62

Max Off-Site Supply	4.55	14.35	11.55	23.45	1.75
Total Supply	29.07	43.94	49.87	273.13	33.22
90% Demand	24.85	33.18	35.73	212.49	18.57
Adequate?	yes	yes	yes	yes	yes

*Recreation Calculations*

e) Pedestrian and Vehicular Circulation Systems

The pedestrian and vehicular circulation systems are safe, adequate, and efficient. Access to the Subject Property is provided at two locations off Clarksburg Road (MD 121): one immediately south of the future school site and the other where MD 121 curves in the northeast direction. These connect to the main public street (Woodcock Way) running in a general north-south direction on the western side of the Cabin Branch tract and connecting to another residential development to the south. These will be publically dedicated roads connected to an internal network of private alleys. The vehicular circulation efficiently directs traffic into and through the site with minimal impacts to sensitive environmental features and pedestrian circulation.

The pedestrian circulation system adequately and efficiently integrates this site into the surrounding area. The Site Plan efficiently accommodates pedestrian circulation to the School site and recreation areas within the larger Cabin Branch tract via sidewalks and paths. In addition, a 4-foot wide natural surface trail is provided across the stream valley and other environmentally sensitive areas towards the commercial and employment areas on the east side of the Cabin Branch tract. Dedication of land for a future 8-foot wide bike path will be provided along the Subject Property’s frontage. Within the site, 5-foot wide sidewalks on both sides of all public streets facilitate pedestrian circulation and access to the various units, open spaces and amenities proposed.

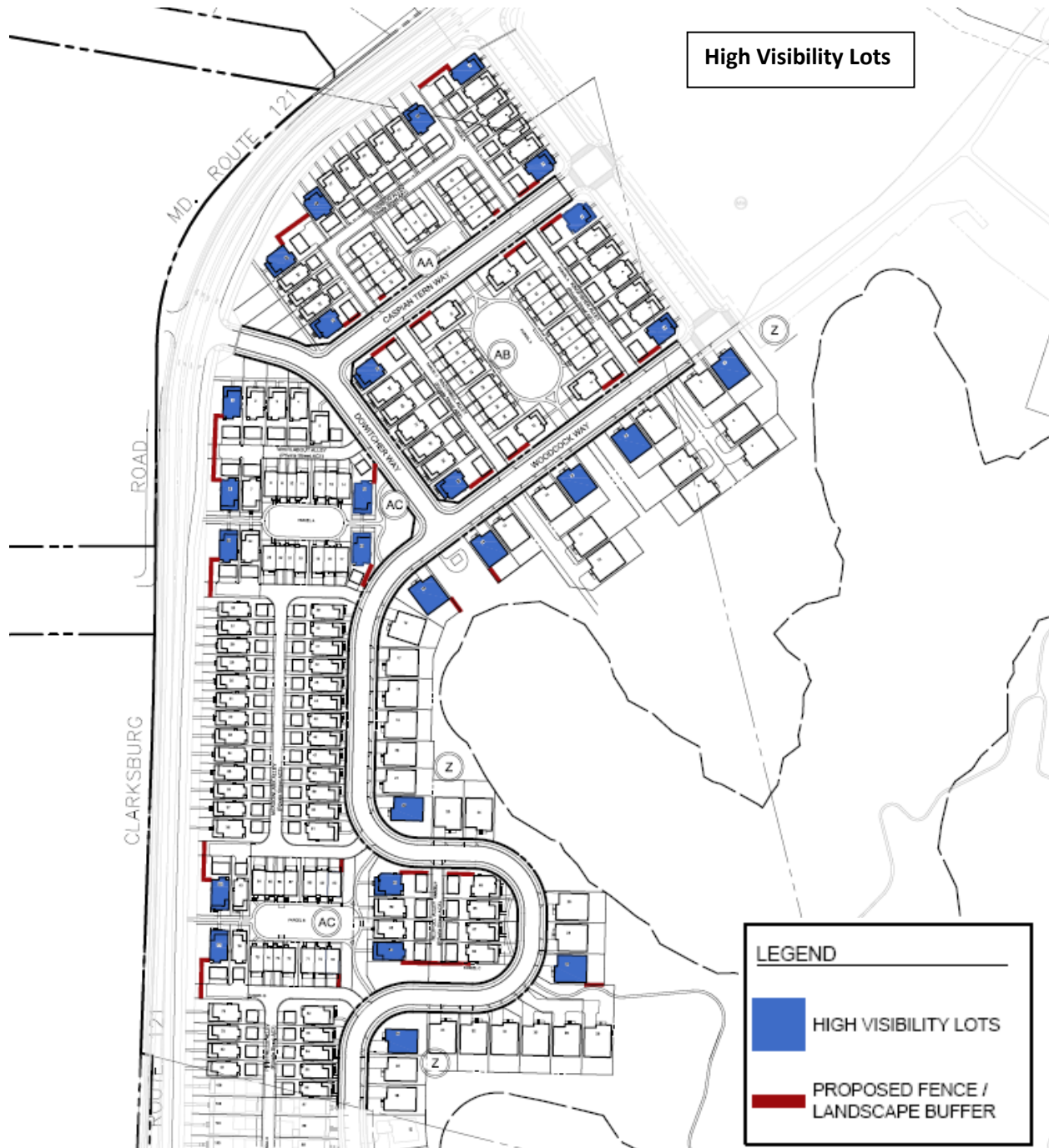
4. *Each structure and use is compatible with other uses and other site plans and with existing and proposed adjacent development.*

The structures and uses in this Site Plan are compatible with other uses and site plans, and with existing adjacent development. The residential uses proposed with a density of 5 dwelling units per acre and a majority of one-family detached units creates a compatible transition between the highest densities and most intense uses of the Cabin Branch tract located along the I-270 corridor, and the lower densities across MD 121. This distribution of densities is consistent with the Master Plan recommendations and preliminary plan approval. A compatible transition to the rural/open space character of MD 121 is achieved with a landscaped, transitional setback, with units fronting and generally exceeding 40 feet from the proposed, completed eastern lane of MD 121.

Compatibility within the Cabin Branch tract is reinforced through the use of the Design Guidelines, which ensure the cohesive development of the Cabin Branch community through the design and placement of new buildings, streets and public spaces. High visibility lots, identified and coordinated with the Town Architect, will have special architectural treatment and materials. The fronts of the MPDUs will be designed and finished with architectural elements comparable to those found on other similar attached units within the site.

As discussed above, The Site Plan meets the compatibility requirements of Section 59-C-7.15(b)

by providing a building setback from MD 121 that is greater than the building height proposed at a maximum of 50 feet.



5. *The Site Plan meets all applicable requirements of Chapter 22A regarding forest conservation, Chapter 19 regarding water resource protection, as conditioned for the special protection area ("SPA") Water Quality Plan, and any other applicable law.*

As part of the requirements of the SPA Law, a SPA Water Quality Plan should be reviewed in conjunction with a Preliminary Plan of subdivision or Site Plan. Under the provision of the law, the MCDPS and the Planning Board have different responsibilities in the review of a water quality plan.

In conjunction with planning staff, MCDPS has reviewed and approved the technical elements of the water quantity and quality control facilities including engineering and design. The Planning Board's responsibility is to determine if SPA forest conservation planting requirements, environmental buffer protection, and site imperviousness limits have been addressed or satisfied. Planning staff finds that the proposed plan meets all requirements of Chapter 22A regarding forest conservation and Chapter 19 regarding water resource protection and any other applicable law.

**Forest Conservation (applicable to entire Cabin Branch Development, including Winchester Phase III)**

Final Forest Conservation Plan

Consistent with conditions 1 and 14(c) of the Infrastructure Site Plan (82005015B), the Final Forest Conservation Plan (FCP) for the overall Cabin Branch Development is being amended through this Site Plan. The Infrastructure Site Plan is amended with each individual site plan as stated in conditions 1 and 14-c).

The entire 535-acre Cabin Branch Development has an FCP which was approved with the Infrastructure Site Plan. The FCP was designed to allow for the grading and installation of roads, utilities, and public amenities such as school and park sites. The intent of having one FCP was to ensure that as this multi-year project developed, portions would not be left uncovered by an individual FCP and the whole project would remain in compliance with the Montgomery County Forest Conservation Law.

The FCP includes six worksheets separated by zones or land use: MXP- Employment, RMX-1/TDR, MXP-Residential, Water Tower Storage Facility, Linthicum West, and "offsite Area A". Each individual site plan application is submitted with final grading and design, the FCP and the worksheets associated with that particular site plan will be updated to reflect final design and grading details. The FCP indicates that the individual applicants for each site plan area must meet the forest conservation worksheet requirements through a combination of on-site forest retention, on-site planting of unforested stream buffers, landscape credit, and off-site planting within the Clarksburg SPA.

Under the M-NCPPC implementation of the SPA regulations, the Environmental Guidelines require accelerated reforestation of the SPA stream buffers and that any unforested portions of the stream buffer be afforested above and beyond the standard forest conservation requirements. Since the Cabin Branch Development includes land both in and out of the SPA and the tributaries drain to a common water body, Staff recommends the treatment of the planting requirements as if the entire development is located within the Clarksburg SPA. Therefore, conditions 1 and 14 of the Infrastructure Site Plan (82005015B) require the Applicant to plant the stream buffers in accordance with the FCP including the Planting Phasing Plan. The Applicant must provide a five-year maintenance period for all planting areas credited toward meeting the

forest conservation plan worksheet requirements.

The Phasing Plan required and was designed to establish easements and forest planting for the entire Cabin Branch project, while taking into consideration that it will be a multi-year phased development with multiple site plans for individual portions of the development. The Phasing Plan considered how each individual site plan area would address forest conservation in terms of the size (proportion) of the site plan project and the percentage of total units to the entire development.

Amendments to the FCP have been approved with the site plans approved for Gosnell (820060240), Winchester Phase I (820060290 and 82006029A), Winchester Phase II (820110080), and amendments to the Infrastructure Site Plan (82005015A, B and C).

#### Winchester III Site Plan and Stormwater Management Pond Improvements

The table below provides a snapshot of the status of the overall forest conservation numbers today as compared to the approved FFCP in 2007. As final plans and final designs are approved, all categories of forest conservation are improving.

Table 1: Updated Forest Conservation Plan Numbers

	<b>2007 FFCP</b>	<b>Feb. 2013 FFCP</b>	<b>Difference</b>
Retained Forest	65.03 Ac	65.09 Ac.	+0.06 Ac.
Forest Planting	36.77 Ac.	39.75 Ac.	+2.98 Ac.
Total Easement Area	101.8 Ac.	104.84 Ac.	+3.04 Ac.

This Site Plan and the Stormwater Management Pond Improvements outside the boundaries of this Site Plan (but part of the Cabin Branch Development), require revisions to 22 sheets (1-4, 16, 20, 21, 34-39, 46, 48, 49, 54, 56, 58, 62, 63, and 63A) of the approved Final Forest Conservation Plan. These pages are attached to this Staff Report.

The design changes to the SWM outfalls for safe conveyance were required at the time of final design by MCDPS and did not generate a requirement to amend or revise any previous Water Quality Plan approvals. Therefore only an action by the Planning Board on the FCP for the expanded SWM outfalls is required.

#### **Environmental Guidelines for the Protection of Streams, Buffers, Wetlands, Floodplains, and Seeps (applicable to entire Cabin Branch Development, including Winchester Phase III)**

The NRI/FSDs for the various properties, which make up the Cabin Branch Development, are included in the FCP and were used to identify the environmental buffers, including wetlands, wetland buffers, floodplains, streams and stream buffers and can be expanded to include steep slopes. As part of the Environmental Guidelines, the unforested stream buffer within the SPA must be reforested. The Applicant will place forest conservation easements on the environmental buffers, and all forest planting and retention areas.

#### Stream Buffer Encroachments (applicable to entire Cabin Branch Development, including Winchester Phase III)

The Infrastructure Site Plan approval for the Cabin Branch property required that permanent SWM facilities not encroach within the stream valley buffer, particularly the forested area, *without Planning Board approval*. For reasons discussed below, the Winchester Phase III site plan requires certain stormwater management (SWM) related encroachments into the stream buffers to meet stringent Maryland Department of the Environment (MDE) design criteria for the safe conveyance of discharge which were adopted since the prior approval of the Infrastructure Site Plan. The Applicant wishes to bring the remaining SWM ponds (1, 2, 3, 7, 8, 9, 13) up to final design standards to meet current state and county requirements for safe conveyance. The location and current status of each individual pond is depicted on page 32. Staff notes that similar changes were addressed by the Planning Board at the time of the Winchester Phase I Site Plan amendment (82006029A), Winchester Phase II Site Plan amendment (820110080), and the Infrastructure Site Plan amendment (82005015B) on December 1, 2011. The encroachments to the stream buffer required for this Application are similar to those required for the prior amendments. There are no environmental buffer encroachments within the Winchester Phase III site plan area not related to the safe conveyance of discharge from the stormwater management (SWM) outfalls.

Stormwater facilities for the Cabin Branch development include the construction of several dry ponds with redundant sand filters. The sand filters provide quality treatment. The dry ponds provide quantity control for larger storms to prevent erosion and reduce the flow rate from the proposed development to mimic pre-developed conditions. The sand filters are necessary to ensure that the discharge of treated runoff from the SWM ponds into the stream valley buffer does not create an erosive condition and that stable and safe conveyance is provided. The existing slope and stream condition, the distance from the stream to the pond riser, the flow rate, and velocity at the outfall, the impact on the existing forest and the location of existing trees are all factors that are considered when designing for safe and stable conveyance.

Where overland stable and safe conveyance cannot be achieved from the SWM pond across the existing surface to the stream bank, conveyance of runoff directly to the stream invert must be provided. Per the State of Maryland's MDE manual, "Flared pipe sections that discharge at or near the stream invert or into a step pool arrangement should be used at the spillway outlet. The channel immediately below the pond outfall shall be modified to prevent erosion and conform to natural dimensions in the shortest possible distance, typically by the use of large rip rap placed over filter cloth." In summary, the recommended methods outlined by MDE to provide stable and safe conveyance are to provide a pipe outfall to a step pool which extends to the stream invert, or to extend the pipe outfall directly to the stream invert and provide a flared rip rap section to provide non-erosive outfall velocities.

The MDE recommended options were considered for the pond outfalls. The option to use a step pool arrangement was determined to be undesirable for all ponds due to the wider disturbance footprint and greater impact to existing forest. The use of pipes that discharge to large rip rap over filter cloth at or near the stream invert was determined to be the best option for this site. This option provides adequate outfall protection and minimizes environmental impact. Once the outfall pipe is buried the grade will be returned to nearly the same condition. The only possibility of future disturbance along the outfall would be in the unlikely event of a pipe failure. A pipe outfall to a rip rap outlet is the best option for the pond outfalls to minimize impact on the surrounding forest and to reduce runoff velocity to non-erosive velocity, and approved by

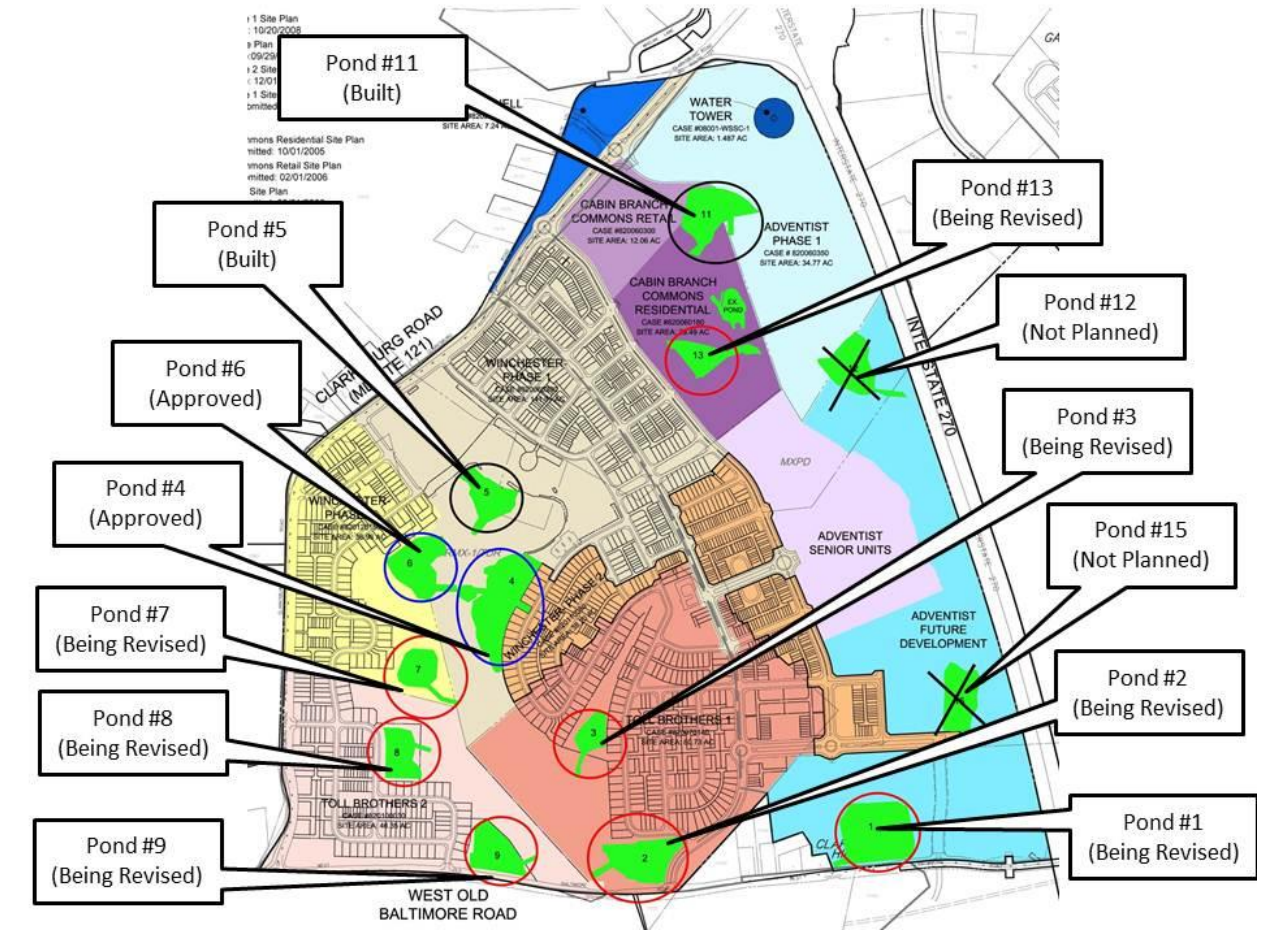
MCDPS.

The expanded outfalls change the overall impacts to both forested and unforested Stream Valley Buffer (SVB) and by approving the Winchester III site plan the increased impacts to the SVB for the purposes of safe conveyance of stormwater will be approved as recommended by Staff. The table below indicates the exact numerical changes by pond number.

<b>Pond</b>	<b>2007 Approval</b>	<b>2013 Final Plan</b>
1	4,348 SF (0.10 Acre): Unforested SVB	8,274 SF (0.19 Acre): Unforested SVB
2	3,447 SF (0.08 Acre): Forested SVB	10,217 SF (0.19 Acre): Forested SVB
3	No impact to the SVB.	5,607 SF (0.13 Acre): Forested SVB
7	9 SF (0.00 Acre): Forested SVB 8 SF (0.00 Acre): Unforested SVB	3,727 SF (0.10 Acre): Forested SVB 803 SF (0.02 Acre): Unforested SVB
8	3,150 SF (0.07 Acre): Unforested SVB	4,600 SF (0.11 Acre) : Forested SVB 8,607 SF (0.20): Unforested SVB
9	2,811 SF (0.06 Acre) : Forested SVB	12,111 SF (0.28 Acre): Forested SVB
13	2,896 SF (0.07 Acre): Forested SVB 2,282 SF (0.05 Acre): Unforested SVB	8,309 SF (0.19 Acre): Forested SVB 2,635 SF (0.06 Acre): Unforested SVB

<b>Total 2007:</b>	<b>Total 2013:</b>
9,788 SF Unforested	20,319 SF unforested
9,163 SF Forested	44,571 SF Forested
<u>18,951</u> SF SVB Impact	<u>64,890</u> SF SVB Impact

Staff has reviewed all the new forest and SVB impacts, caused by the outfall expansions to accommodate final design and safe conveyance, and recommends the changes to the FCP.



*Cabin Branch (overall), Stormwater Management Pond Status Update*

**Related Solely to the Winchester Phase III Final Water Quality Plan**

In acting on a final water quality plan, the Planning Board has lead agency responsibility for:

- (i) Conformity with all policies in the Planning Board's Environmental Guidelines which apply to special protection areas;
- (ii) Conformity with any policy or requirement for special protection areas, including limits on impervious area, in a land use plan, watershed plan, or the Comprehensive Water Supply and Sewer System Plan; and
- (iii) Any other element of the plan in which the Planning Board has primary lead agency design, review, and approval responsibility.

**Environmental Guidelines and Protection of Seeps, Springs and Wetlands**

One of the performance goals for the final Water Quality Plan for this site is to protect springs, seeps, and wetlands. The M-NCPPC's responsibility is to protect environmental elements through the delineation of stream and wetland buffers. Conservation easements are recommended over all streams and wetlands identified on the appropriate approved NRI/FSD.



This Site Plan is in compliance with the Environmental Guidelines and has no forested environmental buffer impacts beyond what is required for the pond outfalls and safe conveyance of discharge. All areas of environmental buffers that are not required for the pond outfalls and safe conveyance of discharge or other utility easements will be placed into Category I conservation easements and forested.

#### Site Imperviousness

There are no impervious limitations within this portion of the Clarksburg SPA; however, the Special Protection Area regulations allow the M-NCPPC to review imperviousness and to work with the Applicant to reduce imperviousness. As part of the Preliminary Water Quality Plan for the Cabin Branch Development a goal of less than 45% imperviousness was established.

This Site Plan indicates an impervious level of approximately 42% with approximately 15.5 acres of impervious surface and is therefore consistent with the approved preliminary/final water quality plan estimates. The Cabin Branch Development is on course to remain below an aggregate level of 45% imperviousness.

#### County Department of Permitting Services (DPS) Special Protection Area Review Elements

In acting on a preliminary or final water quality plan the DPS Director has lead agency responsibility for:

- (i) Performance goals or criteria for the approved best management practices;
- (ii) Best management practices monitoring plan;
- (iii) Stormwater management concept plan;
- (iv) Erosion and sediment control concept plan; and
- (v) Any other element of the plan for which the Department has primary lead agency design, review, and approval responsibility.

#### Site Performance Goals

As part of the final water quality plan, several site performance goals have been achieved to date that were established for the Cabin Branch Development:

- 1) Protect the streams and aquatic habitat.
- 2) Maintain the natural onsite stream channels.
- 3) Minimize storm flow run off increases.
- 4) Identify and protect stream banks prone to erosion and slumping.
- 5) Minimize increases in ambient water temperatures.
- 6) Minimize sediment loading.
- 7) Maintain stream base flows.
- 8) Protect springs, seeps, and wetlands.
- 9) Minimize nutrient loadings.
- 10) Control insecticides, pesticides, and toxic substances.

#### Stormwater Management and Erosion and Sediment Control

To help meet these performance goals, the stormwater management plan requires water quality

control and quantity control to be provided through an extensive system of linked best management practices (BMPs). Two extended detention dry ponds will provide stormwater quantity control. These facilities are designed with a maximum retention time of 12 hours for the one-year storm. Stormwater quality control is provided via a treatment train consisting of recharge structures, surface sand filters in series, structural water quality inlets and vegetated buffer filtering. Since open section roads will not be feasible for the majority of the site, additional water quality volume treatment will be provided in surface sand filters. This will be accomplished by sizing these structures to treat the entire drainage area regardless of the treatment being provided for the upland areas. Areas intended for vehicular use will be pretreated prior to entering any water quality filtering structures. Recharge is to be provided below the outlet pipe of all proposed (non-structural) water quality structures where groundwater or bedrock is not encountered. Redundant sediment control facilities are required during construction of the site. This means upland sediment traps will drain to secondary traps downgrade.

MCDPS conditionally approved the elements of the final water quality plan under their purview on November 16, 2012.

Staff recommends the Planning Board finds that the SPA Final Water Quality Plan for Winchester Phase III conforms to the Environmental Guidelines, adequately protects the sensitive features on the Property, and maintains impervious levels consistent with the original approvals.

## **APPENDICES**

- A. Previous approvals
- B. Reviewing Agency Approvals
- C. TDR calculations
- D. Revised FCP Sheets

## Appendix A



# MONTGOMERY COUNTY PLANNING BOARD

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

OCT 6 2008

**MCPB No. 08-117**  
**Preliminary Plan No. 12003110B**  
**Cabin Branch Amendment B**  
**Date of Hearing: April 3, 2008**

## MONTGOMERY COUNTY PLANNING BOARD

### RESOLUTION<sup>1</sup>

WHEREAS, pursuant to Montgomery County Code Chapter 50, the Montgomery County Planning Board ("Planning Board" or "Board") is vested with the authority to review preliminary plan applications; and

WHEREAS, on July 2, 2004, Cabin Branch, LLC, ("Applicant"), filed an application to amend a previously approved preliminary plan of subdivision that was approved for 1,600 residential dwelling units, 1,538,000 square feet of commercial space and 500 dwelling units for senior housing to allow an additional 286 residential dwelling units and an additional 882,000 square feet of commercial space for a total of 1,886 residential dwelling units, 2,420,000 square feet of commercial space and 500 dwelling units for senior housing on 540 acres of land located on property generally bordered by MD Route 121 to the west and north, Interstate 270 to the east and West Old Baltimore Road to the south ("Property" or "Subject Property"), in the Clarksburg Planning Area ("Master Plan"); and

WHEREAS, Applicant's preliminary plan application was designated Preliminary Plan No. 12003110B, Cabin Branch Amendment B ("Preliminary Plan" or "Application"); and

WHEREAS, Planning Board staff ("Staff") issued a memorandum ("Staff Report"), to the Planning Board, dated March 21, 2008, setting forth its analysis, and recommendation for approval of the Application, subject to certain conditions; and

*DBC 9/19/08*  
Approved for legal sufficiency  
M-NCPPC Office of General Counsel

<sup>1</sup> This Resolution constitutes the written opinion of the Board in this matter and satisfies any requirement under the Montgomery County Code for a written opinion.

WHEREAS, on April 3, 2008, following review and analysis of the Application by Planning Board staff ("Staff") and the staffs of other governmental agencies, the Planning Board held a public hearing ("Hearing") on the Application; and

WHEREAS, at the Hearing, the Planning Board heard testimony and received evidence submitted for the record on the Application; and

WHEREAS, at the Hearing, the Planning Board approved the Application subject to certain conditions, on motion of Commissioner Bryant; seconded by Commissioner Robinson; with a vote of 3-0, Commissioners Bryant, Hanson, and Robinson voting in favor.

NOW, THEREFORE, BE IT RESOLVED THAT, pursuant to the relevant provisions of Montgomery County Code Chapter 50, the Planning Board approves Preliminary Plan Amendment No. 12003110B, to allow 286 additional residential dwelling units and 886,000 square feet of additional commercial space on the Property, subject to the following conditions which supersede, in their entirety, any and all previously approved conditions of approval:

- 1) Applicant is bound by all binding elements for Local Map Amendment G-806.
- 2) Total development under this Application is limited to the following uses and density:
  - 1,886 residential dwelling units
  - 2,420,000 square feet of commercial space
  - 500 dwelling units of senior housing
- 3) The Applicant shall satisfy the following transportation improvements:

To satisfy Policy Area Transportation Review for the approved development under the original approval, the Applicant must:

- a. Construct, in accordance with the staging sequence referenced below, Newcut Road as a four-lane divided arterial roadway between West Old Baltimore Road and the eastern business district roadway parallel to I-270.
- b. Upgrade, in accordance with the staging sequence referenced below, West Old Baltimore Road to a two-lane arterial roadway standard between Broadway Avenue and Clarksburg Road (MD 121), as outlined in the Department of Public Works and Transportation's (now, Department of Transportation or "DOT") March 10, 2008, letter to M-NCPPC.

- c. Construct, in accordance with the staging sequence referenced below, two parallel, two-lane business district roadways between Newcut Road and MD 121 in lieu of a four-lane divided arterial roadway.
- d. Upgrade, in accordance with the staging sequence referenced below, MD 121 to an arterial roadway standard between West Old Baltimore Road and I-270 and upgrade the interchange ramps of MD 121 and I-270 that provides for six-lanes of traffic (both ways) on the MD 121 bridge over I-270.

To satisfy Local Area Transportation Review (LATR) for the total build out of development, the Applicant must also provide the following improvements:

- e. Construct, in accordance with the staging sequence referenced below, the following improvement at the MD 121/I-270 northbound on/off ramp:
  - Add a northbound left-turn lane to provide for dual left turn lanes.
  - Add a separate westbound left-turn lane.
  - Signalize the intersection.
  - Widen the Clarksburg Road bridge (MD 121) over I-270 to accommodate one additional through lane in each direction and a media island subject to SHA's requirements.
  - Add a westbound through lane on MD 121. This third westbound through lane would be dropped at the I-270 southbound loop ramp.
  - Add eastbound right-turn lane for I-270 northbound ramp.
  - Provide two lanes on the I-270 northbound ramp.
  - Provide non-automobile transportation amenities which include 2 LED traffic signals, 2 bus shelters, 1 super bus shelter, (defined as a larger than standard bus shelter with heating and lighting), and 3 bike lockers subject to approval by DPWT. If any of the non-auto amenities described here are not acceptable to DPWT, the Applicant must provide other improvements (at the discretion of M-NCPPC-Transportation Planning staff) equal to mitigating the same level of traffic to pass LATR.

- f. Construct, in accordance with the staging sequence referenced below, the following improvements at the MD 121/I-270 southbound on/off ramp:
- Add a westbound through lane.
  - Signalize the intersection.
  - Add an eastbound lane to southbound on-ramp I-270.
- g. Construct, in accordance with the staging sequence referenced below, the following improvements along the MD 121 frontage:
- Six-lane roadway section from the I-270 southbound on/off ramp intersection to the first site entrance (Street "A"/Whelan Lane). The entrance would include a two-lane roundabout with right-turn bypass lanes to add and drop the third lane for Clarksburg Road.
  - Four-lane roadway between Street "A"/Whelan Lane and First Avenue.
  - Two-lane section from First Avenue to West Old Baltimore Road and roundabout at West Old Baltimore Road at this intersection.

The preceding roadway improvements (3a through 3g) must be constructed in accordance with the sequence described in the Cabin Branch Roadway Improvement Phasing Table and associated Diagram dated March 20, 2008 (see Attachment to this Resolution). Construction of all roadway improvements tied to each phase must be complete and open to traffic prior to the issuance of any building permit for the next phase of development.

- h. Construct the following improvements at the MD 121/Gateway Center Drive intersection:
- Reconfigure the existing intersection to provide two lanes for through movement to, and from, the east.

This improvement must be complete and open to traffic prior to the issuance of building permits for the 1400<sup>th</sup> residential unit (not including the 500 senior housing units) and for more than 1,500,000 square feet of commercial space.

i. Construct the following improvements at the Stringtown Road Extended/  
Gateway Center Drive intersection:

- Widen eastbound Stringtown Road Extended to provide dual left-turn lanes.
- Convert a southbound Gateway Center Drive through/right lane in to a through lane and construct a free right turn lane with a channelized median.

These improvements must be complete and open to traffic prior to the issuance of building permits for the 1400<sup>th</sup> residential unit (not including the 500 senior housing units) and for more than 1,500,000 square feet of commercial space.

j. Construct or participate on a pro rata share in the following improvements at the MD 121/Frederick Road (MD 355) intersection:

- Re-stripe northbound MD 355 to convert from a through-right and a right-turn lane to a through-left and a right-turn lane.
- Modify the traffic signal to meet the requirements of SHA traffic operation with new lane configuration.

These improvements must be complete and open to traffic prior to the issuance of building permits for the 1400<sup>th</sup> residential unit (not including the 500 senior housing units) and for more than 1,500,000 square feet of commercial space.

k. Construct or participate on a pro rata share in the following improvements at the MD 355/West Old Baltimore Road intersection:

- Widen eastbound approach of West Old Baltimore Road to provide for a separate right-turn lane
- Widen the northbound approach of MD 355 to provide for a separate left-turn lane and a three-lane section on MD 355 between West Old Baltimore Road and Brink Road.
- Widen southbound approach of MD 355 to provide separate right-turn lane at West Old Baltimore Road.



These improvements must be complete and open to traffic prior to the issuance of building permits for the 1400th residential unit (not including the 500 senior housing units) and for more than 1,500,000 square feet of commercial space.

- I. Construct or participate on a pro rata share in the following improvement to MD 355 at Brink Road.
  - Widen MD 355 south of Brink Road to a four-lane divided section to join the existing four-lane section at Willstone Manor Lane.

This improvement shall be complete and open to traffic before the issuance of 1400<sup>th</sup> residential building permit and for more than 570,000 square feet of commercial space.

- m. Prior to the issuance of 1,256 residential building permits (not including the 500 units of senior housing), widen the MD 121 northbound off-ramp to 2 lanes. Should the construction of a grade separated interchange at Newcut Road/I-270 be funded in the Maryland Consolidated Transportation Program by the time that the Applicant has obtained bids for the widening of the northbound off-ramp, the Applicant shall then transfer to SHA a sum equal to the actual bid cost of construction for the northbound off-ramp improvement for use in construction of the Newcut Road/I-270 interchange and such contribution shall be considered as having met the Applicant's obligation for such improvement.
  - n. If any of the road improvements identified in the above paragraphs either are now, or become obligations of other projects, applicants of other projects may participate in the joint funding of such improvements. The basis of participation on a pro rata share is the sum of total peak hour trips generated by the subject development over the sum of total peak hour trips generated by all developments required by the Planning Board to participate in the construction of the particular improvement.
- 4) Prior to certification of the initial site plan, the Applicant, M-NCPPC Transportation Planning staff, and DPWT staff shall consider mutually acceptable trip reduction measures. The parking ratios for non-residential uses in the Cabin Branch Community will also be determined at the time of Site Plan review considering the trip reduction goals.
  - 5) All road rights-of-way shown on the approved preliminary plan must be dedicated, by the Applicant, to the full width shown in the Adopted June 1994, Clarksburg Master Plan unless otherwise designated on the preliminary plan.

- 6) All road right-of ways shown on the approved preliminary plan must be constructed, by the Applicant, to the full width mandated by the Clarksburg Master Plan, and to the design standards imposed by all applicable road codes unless modified by DOT or the Montgomery County Department of Permitting Services ("DPS").
- 7) The Applicant must comply with the conditions of approval for the preliminary forest conservation plan including: reforestation of the stream buffers starting in the first growing season after DPS issuance of the initial sediment control permit; and a 5-year maintenance period for all planted areas. Final forest conservation plan(s) to be approved at the time of site plan(s). The Applicant must satisfy all conditions prior to recording of plat(s) or DPS issuance of sediment and erosion control permits.
- 8) Record plat to reflect a Category I easement over all areas of forest conservation and stream valley buffers.
- 9) Record plat to reflect common ingress/egress and utility easements over all shared roadways and driveways.
- 10) Record plat to reflect to the Board of Education, dedication of an elementary school site as shown on the approved preliminary plan or as modified by Infrastructure Plan or Site Plans. Applicant to grade the site to elevations that are acceptable to MCPS and construct any retaining walls as are necessary to support the program requirements of an elementary school facility. The bounds of the school parcel shall exclude any retaining walls.
- 11) Applicant to convey to M-NCPPC, in fee simple, the agreed area of contiguous land that is located between the proposed elementary school site and proposed Fulmer Avenue (Street H), Bryne Park Drive and Stilt Street (Street J) and continuing south along the Little Seneca Tributary to West Old Baltimore Road. The northern portion of the conveyed land must include at least 10 acres of contiguous land that is suitable for active recreation uses divided only by the historic home (including circular driveway) which is to be dedicated to the HOA or other party acceptable to M-NCPPC staff. Parkland must be conveyed prior to recordation of plat for that particular land area and conveyed free of trash and unnatural debris. Park boundaries must be staked and signed to distinguish from private properties.
- 12) At the time of individual site plan review, the Applicant must work with M-NCPPC staff to finalize and clearly delineate the exact park dedication boundaries that are acceptable to Parks Department staff. Park boundaries

shall be easy to identify, manage, sign and shall be clearly distinguishable from HOA property and private property.

- 13) No retaining walls or stormwater management ponds or facilities to be located on dedicated parkland.
- 14) Within the conveyed local park acreage, Applicant to provide, at Applicant's expense, the following active recreational facilities and amenities:
  - At least one (1) adult sized soccer field,
  - one (1) multi-age playground acceptable to M-NCPPC staff,
  - an open grass play area as prescribed below
  - a picnic area with two (2) shelters,
  - eight (8) foot minimum width hard surface trails within the park to serve the various facilities, except ten (10) feet wide where needed for maintenance access,
  - one drinking fountain,
  - park signage,
  - information kiosks,
  - a portable restroom pad and enclosure as determined by staff,
  - appropriate fencing for safety purposes along any retaining wall or steep slopes (as acceptable to M-NCPPC staff),
  - park landscaping,
  - Local park parking for at least 120 cars, including at least 60 spaces on the conveyed parkland. Parallel parking spaces along the park side of the adjacent roads should be appropriately striped and marked to delineate the individual parking spaces available for park users.

Park conveyance and facility layout to be substantially as set forth on the approved Infrastructure Plan, with final details of park design, engineering, grading and layout to be determined in coordination with, and acceptable to, M-NCPPC park staff prior to individual certified site plan approval. Facilities to be constructed to park standards and specifications after procurement by Applicant of appropriate park permit. Copies of applicable standards and specifications will be provided to Applicant by time of certified site plan approval.

- 15) The open grass play area adjacent to the historic house to include some relatively flat area(s) that is suitable for informal ball-type play. The final grading plan must incorporate this flat play area and be acceptable to M-NCPPC Parks Department staff.

- 16) Applicant to construct hard surface and natural surface trails on conveyed parkland and throughout the community to connect open spaces, elementary school and parkland together in an accessible, pedestrian friendly manner. Applicant to work with M-NCPPC staff prior to certified site plan approval to establish exact locations of needed trails in order to provide recreational opportunities to the communities and businesses within the subdivision. The trails within parkland must be constructed to park standards and specifications.
- 17) Compliance with the DPS conditions of approval of the Preliminary Water Quality Plan and stormwater management concept letter dated, May 13, 2004.
- 18) Compliance with conditions of approval of DOT letter dated, May 14, 2004 and March 9, 2008 unless otherwise amended by DOT.
- 19) Access and improvement along Clarksburg Road (MD 121) and I-270 as required by the State Highway Administration ("SHA").
- 20) Clearing and grading on-site must be in accordance with the Infrastructure Site Plan; no recordation of plats prior to approval of certified site plan.
- 21) Final approval of the number and location of buildings, dwelling units, on-site parking, site circulation, sidewalks, and bikepaths will be determined at site plan.
- 22) No encroachment into stream buffers for stormwater management or sediment control facilities, except for necessary outfalls and temporary sediment control facilities in unforested buffers, without prior approval by the Planning Board.
- 23) Applicant to work with M-NCPPC staff before individual site plan approvals to reduce onsite cut and fill from that shown on the preliminary plan, and minimize the height of retaining walls wherever possible.
- 24) Maintenance of common open space facilities, including retaining walls and historic structure to be addressed prior to approval of any and all subsequent site plan approvals.
- 25) A landscape and lighting plan must be submitted as part all future site plan applications for review and approval by M-NCPPC staff.
- 26) Staging sequence of development shall be revised as follows:

The Preliminary Plan will remain valid for one hundred and twenty one (121) months from the date of mailing of the Planning Board Resolution for this Planning Board action. Record plats must be recorded based on the following staging sequence:

- Stage I (expires 31 months from the date of mailing of the Planning Board Resolution): 420 dwelling units, 125 senior housing units and 380,000 square feet commercial.
- Stage II (expires 61 months from the date of mailing of the Planning Board Resolution): 404 dwelling units, 250 senior housing units and 380,000 square feet commercial.
- Stage III (expires 91 months from the date of mailing of the Planning Board Resolution): 388 dwelling units, 125 senior housing units and 380,000 square feet commercial.
- Stage IV (expires 121 months from the date of mailing of the Planning Board Resolution): All remaining development.

Prior to the expiration period, the final record plat for all remaining lots within each phase must be recorded, or a request for an extension must be filed.

- 27) The Adequate Public Facility review for the Preliminary Plan will remain valid for one hundred and twenty one (121) months from the date of mailing of the Planning Board Resolution.
- 28) TDRs must be recorded in accordance with Section 59-C-10.3.132 and 59C-10.3.133 of the Montgomery County Zoning Ordinance.
- 29) Other necessary easements must be shown on the record plats.

BE IT FURTHER RESOLVED, that, having given full consideration to the recommendations and findings of Staff, which the Board hereby adopts and incorporates by reference, and upon consideration of the entire record, the Montgomery County Planning Board FINDS, with the conditions of approval, that:

1. *The Preliminary Plan substantially conforms to the Master Plan.*

The subject 540-acre property is located within the Cabin Branch Neighborhood of the 1994 Clarksburg Master Plan Area. The Master Plan states that the opportunity to provide a transit-oriented residential neighborhood is one of the most important public policy objectives. In summary, the Master Plan objectives are as follows:

- Provide a mix of uses including employment.
- Encourage an employment pattern that is supportive of I-270 as a high-technology corridor.
- Create a transit-oriented land use pattern.
- Maximize access to the proposed open space system.
- Provide a suitable transition to the rural/open space character south of West Old Baltimore Road towards Boyds.
- Provide an interconnected roadway system.
- Create a strong neighborhood focal point by concentrating public and retail uses in the same general area.
- Place special emphasis on protection of the west fork of Cabin Branch because of its high water quality and tree cover.

The Cabin Branch Neighborhood is the only portion of the western side of I-270 that is proposed for significant residential development. Most of the development in the Cabin Branch Neighborhood is recommended to occur on the Subject Property. The Master Plan states the recommended mix of uses for this neighborhood as follows:

Residential	1,950 dwelling units plus MPDU units
Employment	2.4 million square feet
Public Uses	Places of worship, childcare, community building, elementary school, and park

This Application envisions a comprehensively planned, mixed-use, transit-oriented and pedestrian-friendly community consistent with the goals of the Clarksburg Master Plan. The Board notes that further refinement of the site design along MD 121 and West Old Baltimore Road should occur at time of individual site plan review to insure compatibility of the proposed project with the surrounding Ten Mile Creek and Boyds communities.

The Planning Board finds that the proposed conceptual development as shown on the Preliminary Plan drawing is in conformance with the goals and objectives of the Clarksburg Master Plan.

- 2. Public facilities will be adequate to support and service the area of the proposed subdivision.*

The proposed lots generate 30 or more vehicle trips during the morning or evening peak-hours. Therefore, the Application has been reviewed pursuant to the Local Area Transportation Review ("LATR") guidelines establish in the Annual Growth Policy. A complete, updated, traffic study for this amended plan was reviewed by M-NCPPC, Transportation Planning staff, DOT, and SHA. The developer(s) of the project are required to construct and/or participate in numerous local and regional projects to meet the requirements of the LATR review. The transportation projects discussed in the Staff Report and required by the conditions of approval combine to meet the LATR requirements and are staged in a controlled sequence. The transportation projects also specify certain sidewalks, bikepaths, and shared use paths that will meet the pedestrian circulation requirements for the project. The Planning Board finds that the transportation projects will satisfy the LATR requirements; both vehicular and pedestrian access and circulation requirements are met through the conditions of approval.

Other public facilities and services are available and will be adequate to serve the proposed units. Public sewer and water service are available to the Property as testified to by MCDEP staff at the Hearing. The Application has been reviewed by the Montgomery County Fire and Rescue Service who has determined that the Property has appropriate access for fire and rescue vehicles. The Applicant is required to dedicate a school site to the Montgomery County Public Schools to address the future school needs of the Application. Other public facilities and services such as police stations, firehouses and health services are currently operating within the standards set by the Growth Policy resolution currently in effect. All other local utilities such as, electrical and telecommunications services are also available to serve the Property.

- 3. The size, width, shape, and orientation of the proposed lots are appropriate for the location of the subdivision.*

Access and public facilities will be adequate to support the proposed lots and uses. The proposed lot size, width, shape and orientation are appropriate for the location of the subdivision. The lots were reviewed for compliance with the dimensional requirements for the RMX-1/TDR and MXPB zones as specified in the Zoning Ordinance. The lots as proposed will meet all the dimensional requirements for area, frontage, width, and setbacks in that zone. The Application has been reviewed by other applicable county agencies, all of whom have recommended approval of the Plan.

4. *The Application satisfies all the applicable requirements of the Forest Conservation Law, Montgomery County Code, Chapter 22A.*

The Planning Board had previously approved a preliminary forest conservation plan that considered the total development of the entire site. A final forest conservation plan was approved with the Infrastructure Plan. The forest conservation plan proposes removal of 58.97 acres of forest and retention of 71.58 acres. The developers will be required to plant 58.32 acres of forest to meet the requirements of the Montgomery County Forest Conservation Law under Chapter 22A of the Montgomery County Code. Since this is an optional method of development, the developers will be required to meet all forest conservation requirements on the Subject Property as shown on the final forest conservation plan.

Under the M-NCPPC's implementation of the Special Protection Area ("SPA") regulations, the Environmental Guidelines require accelerated reforestation of stream buffers within SPAs. Approximately 243 acres of the 540-acre site are within the Clarksburg SPA. Those portions of the site that drain to Cabin Branch, a Use I-P waterway, are not in the SPA except for two pods that were included because of the potential for groundwater contamination. The Cabin Branch tributary and the tributary immediately abutting and parallel to I-270, both drain to Little Seneca Lake. Since the property includes land both in and out of the SPA and the tributaries drain to a common water body, the Planning Board required that the planting requirements be treated as if the entire site were located within the Clarksburg SPA. Therefore, the Planning Board requires that the Applicant plant the stream buffers after DPS approval of the first sediment control/grading permit and that the Applicant provide a five-year maintenance period for all planting areas credited toward the forest conservation plan.

The Planning Board finds that the Application complies with the requirement of Chapter 22A.

5. *The Application meets all applicable stormwater management requirements and will provide adequate control of stormwater runoff from the site. This finding is based on the determination by the DPS that the Stormwater Management Concept Plan and SPA Water Quality Plan meet DPS's standards.*

A water quality plan is required for this development as part of the SPA regulations. Under the SPA law, DPS and the Planning Board have different responsibilities in the review of the water quality plan. DPS has reviewed and conditionally approved the elements of the final water quality plan under its purview. The Planning Board is responsible for determining if the site



imperviousness, environmental guidelines for SPAs, and forest conservation requirements have been satisfied. The Board finds that as conditioned the preliminary water quality plan meets the applicable requirements and should be approved.

6. *Other issues.*

The Planning Board heard testimony from three interested speakers at the Hearing. The first was Jim Clifford, Esq., representing the interests of the Miller family who reside on the south side of West Old Baltimore Road, and immediately adjacent to the Subject Property. Mr. Clifford spoke to the potential need for the Miller family home and property to be acquired for the future improvements to West Old Baltimore Road. He testified that the Miller family understood that their property was not needed for improvements to West Old Baltimore Road and had recently made \$80,000 in improvements to the home. More recently, the Millers learned that, due to wetland permitting issues for the nearby stream, the road will need to be expanded onto the Miller property and the house will need to be demolished. While not adamantly opposed to the development, Mr. Clifford asked on behalf of the Miller family that the Planning Board provide some assurance as to when the house and property would need to be acquired so that the Miller family could do some estate planning for the aged matriarch of the family.

The Planning Board also heard testimony from Greg Leck of DOT, who suggested that the improvements to West Old Baltimore Road were developer dependent. The developers and the Miller family would have to negotiate a purchase price for the required property. If such a settlement could not be achieved, only then would the developer be able to approach the County for a request to condemn the needed property. In response to this concern the Applicant's counsel indicated that the Applicant would be in contact with Mr. Clifford to start the negotiation process. The condemnation of the Millers home is beyond the scope of this proceeding.

The Planning Board also heard testimony from a Jim Cook, a resident on West Old Baltimore Road, who had a number of concerns with the Preliminary Plan. The first concern was with the phasing of the road improvements. Mr. Cook generally supported the phasing schedule that was tied to issuance of building permits, but expressed his belief that the improvements to West Old Baltimore Road and MD 355 were required too late in the development process. Mr. Cook was concerned that the intersection was already failing according to the LATR guidelines and that the improvement to this intersection should be accelerated in the phasing schedule since the development will add even more traffic prior to improvements to the intersection.

The Applicant's counsel argued that the Applicant's obligations under the current Plan include more stringent conditions of approval for this intersection, above those recommended in the original approval for the Application (12003110A). He pointed out that these include additional improvements to the intersection and a requirement that they be completed by issuance of the 1400<sup>th</sup> building permit which was not specified in the original condition language. In response to query by the Board, Staff concurred with the Applicant's representative that the staging for traffic improvements for this intersection and all other roadways included in the Application will satisfy the LATR requirements in a timely manner. Based on this discussion and the details of the LATR review, the Board finds that the proposed staging for traffic improvements is appropriate.

Mr. Cook was also concerned about the park trail connections from the development to the Black Hill Regional Park. He suggested that the specifics of the connections should be fully developed within the context of the Preliminary Plan, not at site plan as the conditions of approval stipulate. The Board elected to retain the language of the conditions as proposed.

Mr. Cook generally supported the condition of approval that requires developer funds to be diverted to the I-270/Newcut Road interchange should this project be included in the Capital Improvements Program in a timely manner, but worried that the funds might be diverted to the MD 121 interchange instead. Staff responded that the proposed language will ensure the funds are applied correctly and the Board elected to retain the proposed condition of approval.

Mr. Cook also expressed concern that the future Homeowners Association for Cabin Branch may be unfairly saddled with cumbersome maintenance costs for the retaining walls planned within the Cabin Branch community. Staff stated that they shared these concerns and will continue to work to reduce the heights of retaining walls as part of the individual site plan reviews. The Planning Board agreed that site plan is the appropriate time to further address this concern.

Mr. Cook finally expressed concern about the inclusion of "two-over-two" units as single family, attached units in the unit count mix for the overall development. His concern was that by defining these units as single family attached, it would allow additional multi-family units to be built. This concern was echoed by Kathy Hulley, President of the Clarksburg Civic Association. Staff, however, testified that the Zoning Ordinance allows two-over-two units to be classified as single family attached if there is appropriate usable open "yard" space for each unit, which must be the case in this instance. The Board was satisfied that application of the Zoning Ordinance standards as part of the site

plan review will prevent the unit mix of multi-family and single family attached from being skewed.

Ms. Hulley also agreed with Mr. Cook's concern about future HOA retaining wall maintenance costs and additionally expressed her own concerns about the look of the shopping center and the commercial center planned as part of the Application. It may be appropriate to address these issues as part of site plan review, but not in the context of a preliminary plan review. Ms. Hulley also took issue with the potential design of the water tower planned for the Cabin Branch community, a mandatory referral issue.

Finally, Ms. Hulley questioned the viability of the Limited Liability Corporation, Cabin Branch, LLC, the lead developer responsible for the infrastructure required for the Property, and who, if anyone, would be responsible should it fail as an entity. Her fear was that the HOA would ultimately become responsible for completion of the infrastructure.

In response to Planning Board query about this concern and the Board's ability to address it as part of a plan review, Legal staff advised that the Board's responsibility was to ensure that infrastructure be in place prior to, or commensurate with, development which the phasing schedule conditions require. The Applicant's counsel opined that while this concern may not be within the purview of the Planning Board, the Board's conditions of approval run with the land, not with individual developers. In the event of an unlikely failure of the LLC, or any of the individual developers, anyone who wished to develop on the Cabin Branch property would be subject to the same conditions of approval. The Applicant's counsel further argued that the LLC contains prominent members of the development community and are well capitalized. Based on this discussion, the Board is satisfied that while there is no guarantee of the LLC's survival, the conditions of approval of this Application will remain effective.

BE IT FURTHER RESOLVED, that the date of this Resolution is OCT - 6 2008 (which is the date that this Resolution is mailed to all parties of record); and

BE IT FURTHER RESOLVED, that any party authorized by law to take an administrative appeal must initiate such an appeal within thirty days of the date of this Resolution, consistent with the procedural rules for the judicial review of administrative agency decisions in Circuit Court (Rule 7-203, Maryland Rules).

\* \* \* \* \*

**CERTIFICATION**

This is to certify that the foregoing is a true and correct copy of a Resolution adopted by the Montgomery County Planning Board of the Maryland-National Capital Park and Planning Commission on motion of Commissioner Robinson, seconded by Commissioner Cryor, with Commissioners Hanson, Robinson, and Cryor, present and voting in favor of the motion, and Commissioners Alfandre and Presley abstaining, at its regular meeting held on Thursday September 25, 2008, in Silver Spring, Maryland.

A handwritten signature in cursive script, appearing to read "Royce Hanson", written over a horizontal line.

Royce Hanson, Chairman  
Montgomery County Planning Board

**Cabin Branch On-Site Road Improvement Phasing Schedule  
 3/20/08**

<b>Approved Phasing 12003110A</b>	<b>Proposed Phasing 12003110B</b>	<b>Improvement(s)</b>	<b>Approved Development 12003110A</b>	<b>Proposed Development 12003110B</b>
1.1		2nd Avenue (A-304 West) - from MD 121 to Street Q. 2-lane business district road	210 units 190,000 s.f.	
1.2		MD 121 – from Street Z to the I-270 interchange, 2-lane to 4-lane to 6-lane	210 units 125 Senior units 190,000 s.f.	
1.3		MD 121/I270 interehange and bridge improvements	210 units 125 Senior units 190,000 s.f.	
1.4	2.1	2 <sup>nd</sup> Ave (A-304 West) - Street Q to W. Old Balt. Rd., 2-lane business district road Newcut Rd. (A-302) – from 2 <sup>nd</sup> Ave to 1 <sup>st</sup> Ave, 4-lane divided road	194 units 125 Senior units 190,000 s.f.	57 units 101,250 s.f.
1.5	2.2	1 <sup>st</sup> Ave (A-304 East) – from MD 121 So Street I, 2-lane business district road	194 units 190,000 s.f.	57 units 101,250 s.f.
1.6	2.3	1 <sup>st</sup> Ave (A-304 East) – from Street I to Newcut Rd. (A-302), 2-lane business district road	194 units 125 Senior units 190,000 s.f.	57 units 101,250 s.f.
1.7	2.4	MD 121 – from W. Old Balt. Rd. to Street Z, 2-lane arterial	194 units 190,000 s.f.	57 units 101,250 s.f.
1.8	2.5	W. Old Balt. Rd. (A-7) – MD 121 to Newcut Rd., upgrade to 2-lane arterial	194 units 208,000 s.f.	57 units 101,250 s.f.
	2.6	Non-automobile transportation amenities		58 units 101,250 s.f.

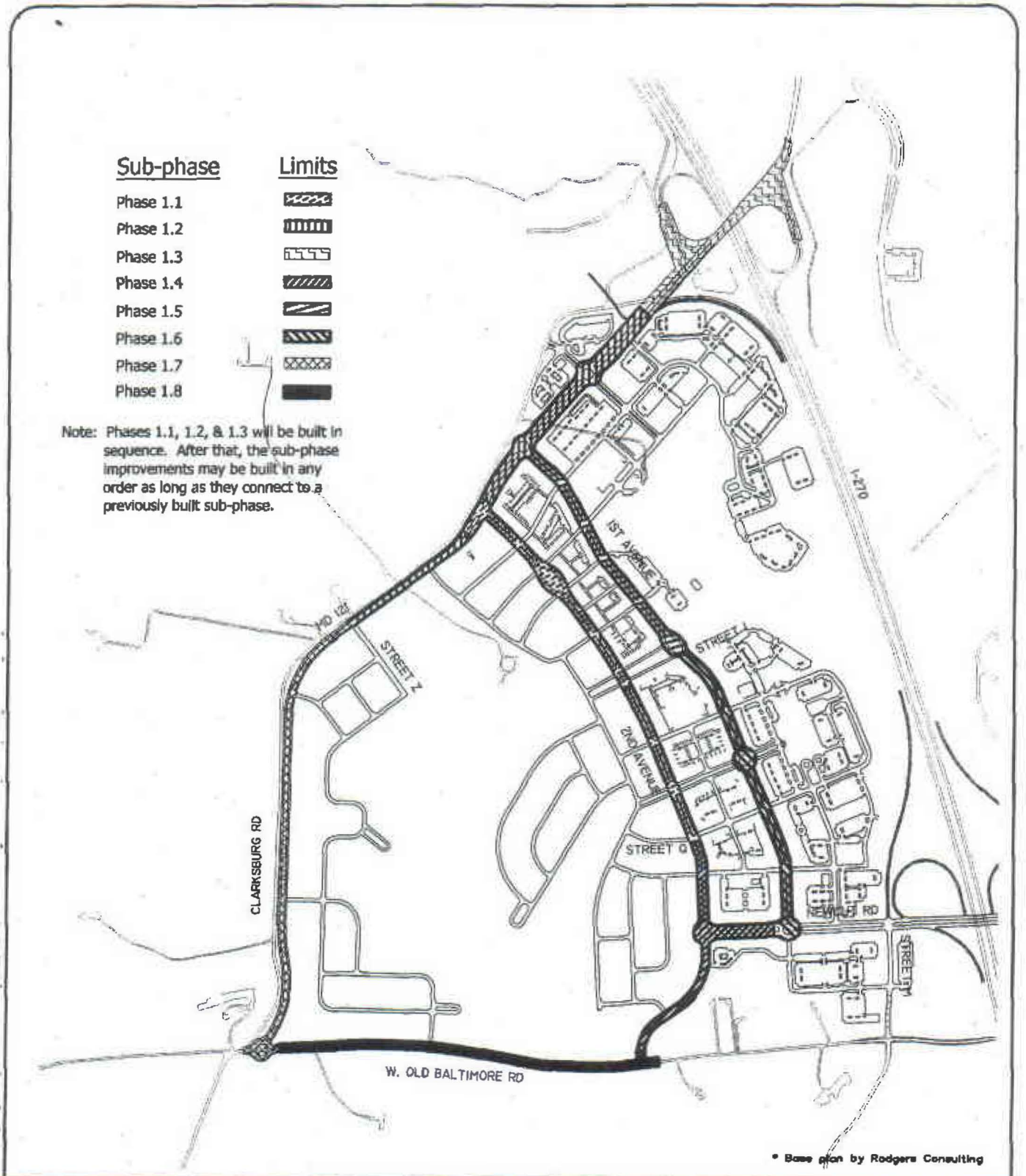


Figure 1  
Phase 1 Policy Area Improvement Sub-phasing



SEP 19 2007



**MONTGOMERY COUNTY PLANNING BOARD**  
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

**MCPB No. 07-131**

**Site Plan No. 820050150**

**Project Name: Cabin Branch Infrastructure and Roads Only Site Plan**

**Date of Hearing: June 14, 2007**

**MONTGOMERY COUNTY PLANNING BOARD**

**RESOLUTION**

WHEREAS, pursuant to Montgomery County Code Division 59-D-3, the Montgomery County Planning Board ("Planning Board") is vested with the authority to review site plan applications; and

WHEREAS, on November 4, 2004, FFTM1, Limited Partnership, Winchester Homes, Inc., King Farm Partnership, Concordia Group and Adventist Healthcare, Inc. ("Applicant"), filed an application for approval of a final water quality plan for the infrastructure components of site plan No. 820050150 ("Final Water Quality Plan") and an Infrastructure and Roads Only Site Plan to accommodate 1,886 residential dwelling units, 500 senior units and 2,436,000 square feet of retail and employment, including 635 Transfer Development Rights (TDRs), and 236 Moderately Priced Dwelling Units (MPDUs) ("Site Plan" or "Plan") on 535.04 acres of RMX-1/MXPD-zoned land, located in the northwestern quadrant of the intersection of Interstate 270 and West Old Baltimore Road ("Property" or "Subject Property"); and

WHEREAS, Applicant's Site Plan application was designated Site Plan No. 820050150, Cabin Branch Infrastructure and Roads Only Site Plan (the "Application"); and

WHEREAS, Planning Board staff ("Staff") issued a memorandum to the Planning Board, dated June 1, 2007, setting forth its analysis of, and recommendation for approval of the Application subject to certain conditions ("Staff Report"); and

WHEREAS, following review and analysis of the Application by Staff and the staffs of other governmental agencies, on June 14, 2007, the Planning Board held a public hearing on the Application (the "Hearing"); and

APPROVED AS TO LEGAL SUFFICIENCY  
*DVD 8/21/07*  
MONTGOMERY COUNTY LEGAL DEPARTMENT

WHEREAS, at the Hearing, the Planning Board heard testimony and received evidence submitted for the record on the Application; and

WHEREAS, on June 14, 2007 the Planning Board approved the Final Water Quality Plan and the Infrastructure and Roads Only Site Plan subject to conditions on the motion of Commissioner Perdue; seconded by Commissioner Robinson; with a vote of 4-0, Commissioners Hanson, Wellington, Perdue and Robinson voting in favor of the motion.

NOW, THEREFORE, BE IT RESOLVED THAT, pursuant to the relevant provisions of Montgomery County Code Chapter 19, the Montgomery County Planning Board approved Final Water Quality Plan No. 820050150 for the infrastructure components of Site Plan No. 820050150 subject to the following conditions:

1. Reforestation of the stream buffer is to begin in the first planting season after the issuance of the first grading permit by the Montgomery County Department of Permitting Services (DPS).
2. A five-year maintenance period shall be required for all planted areas credited toward meeting the requirements of the forest conservation plan.
3. No encroachment into stream buffers for stormwater management facilities or sediment control facilities is allowed without permission of the Planning Board, except for necessary outfalls and temporary sediment control facilities in non-forested portions of the stream buffers. If at later stages of stormwater review and design it is determined that the stormwater management facility is not properly sized and must be enlarged to accommodate the proposed drainage areas, the applicant will have to find additional space outside the stream buffer. This may require the reconfiguration of layouts and loss of developable area.
4. Conformance to the conditions as stated in the DPS letter dated February 22, 2007 approving the elements of the SPA water quality plan under its purview.
5. Amendments to the forest conservation plan must be submitted and approved by the Planning Board with all future site plans, mandatory referrals, and special exceptions prior to any clearing and grading.
6. All on site environmental buffers/stream buffers must be planted prior to any off-site forest planting or before off-site forest conservation credits can be applied to meet the overall planting requirements of this forest conservation plan.
7. A Final Water Quality Plan for each detailed site plan must be submitted, which may amend the Final Water Quality Plan approval for the Infrastructure Plan.



This Final Water Quality Plan does not approve the elements in the detailed site plans.

BE IT FURTHER RESOLVED that all design components as described in the letter from the Montgomery County Department of Permitting Services dated February 22, 2007, including the Stormwater Management Concept shall be required except as modified by the above conditions of approval; and

BE IT FURTHER RESOLVED that, pursuant to the relevant provisions of Montgomery County Code Chapter 59, the Montgomery County Planning Board APPROVES the Infrastructure and Roads Only Site Plan No. 820050150 to accommodate 1,886 residential dwelling units, 500 senior units and 2,436,000 square feet of retail and employment, including 635 Transfer Development Rights (TDRs), and 236 Moderately Priced Dwelling Units (MPDUs), on 535.04 acres subject to the following conditions:

1. Development Plan Conformance  
The proposed development shall comply with the binding elements listed in Local Map Amendment G-806 and the associated Development Plan.
2. Preliminary Plan  
The proposed development shall comply with the conditions of approval for Preliminary Plan 12003110A (formerly 1-03110A) as listed in the Planning Board opinion dated June 22, 2004.
3. Site Design
  - a. Each detailed site plan application shall be reviewed and evaluated for the specific uses proposed to create the proper design character appropriate for the type of development. Within the basic framework established by the major roads approved by this Infrastructure Plan and required by the Preliminary Plan Adequate Public Facilities approval, (Maryland Route 121, Cabin Branch Parkway, Broadway Street, West Old Baltimore Road between Maryland 121 and Broadway Street, and Little Seneca Parkway [aka Newcut Extended]), other streets within the grid system may be modified at the request of Staff or the Planning Board during the review of the detailed site plans to include location, urban design elements, such as street walls, street alignment, unifying architectural treatments, pedestrian friendly environments and landscape treatments.
  - b. The Applicant shall retain a town architect to oversee the design characteristics of Cabin Branch, including review of architectural treatments for individual residential units and commercial building design and layout. The architect shall be a registered architect with experience in town planning, and shall develop design guidelines to provide for thematic consistency of

architectural design for Cabin Branch. These will include but are not limited to architectural form, relationship to the street, pedestrian walkability and a focus on public space.

- c. Design guidelines shall be submitted and approved by the Planning Board with the first detailed site plan, and shall be binding upon the developer and builder.

4. Amendments

- a. Any major changes to the Infrastructure Plan, such as increased height of retaining walls, significant grading impacts, relocation of public roads and utilities or modifications to the streetscape elements, will require an amendment to the Plan and be reviewed by the Planning Board.
- b. Provide documentation of any minor changes to the Infrastructure Plan with each site plan application. An as-built Infrastructure Plan will need to be provided with the last site plan application to document all of the minor changes.

5. Streetscape

- a. The Applicant shall provide a consistent streetscape, including streetlights and street trees on the primary public roads, such as 1<sup>st</sup> and 2<sup>nd</sup> Avenue, MD 121 and Tribute Parkway. The street trees on these streets shall be spaced a minimum of 30 feet—on center and street lighting should be provided to accentuate the streetscape.
- b. The Applicant shall incorporate the Thematic Landscape and Lighting Plan into the future detailed site plans for street trees, spacing type of light fixtures, planting treatments within alleys, medians and streets.

6. Pedestrian Circulation

Provide an 8-foot wide asphalt bike path on the south and east side of MD 121, west side of 2<sup>nd</sup> Avenue (Broadway Street) and on the south/west side of Streets G and H, northeast side of Street Z, adjacent to the proposed school site, south side of Street P, east side of Street M and FF and the north side of West Old Baltimore Road, or as directed by staff in subsequent site plans.

7. Recreation Facilities

- a. Provide a Local Park site to include the facilities as described in condition 8 below.
- b. Remove the community facility (pool/clubhouse) from the future Park site and relocate the facility to a more centralized location convenient to the residents

and overall community. The location of the pool/clubhouse shall be identified with the first residential detailed site plan.

- d. Provide the community-wide open space and a trail system of the minimum recreational concept for the overall Cabin Branch development. The exact locations, dimensions and sizes of these facilities will be determined with the corresponding site plan.
- e. Each detailed site plan application shall update the overall recreational concept to provide for individual facilities and a cumulative reporting of the community-wide facilities within the Cabin Branch development.

8. M-NCPPC Park Facility

The applicant shall comply with the following conditions of approval from M-NCPPC-Park Planning and Research Analysis in the memorandum dated May 18, 2007:

- a. Applicant to dedicate to M-NCPPC the agreed upon area of contiguous land that is located between the proposed elementary school site and proposed Fulmer Avenue (Street H), Bryne Park Drive and Stilt Street (Street J) and continuing south along the Little Seneca Tributary to Old Baltimore Road. The northern portion of the dedicated land that is suitable for active recreation is to be at least 10 acres of contiguous usable land divided only by the historic home (including circular driveway) that is to be dedicated to the HOA or other party acceptable to M-NCPPC staff. Parkland to be conveyed by time of record plat and conveyed free of trash and unnatural debris and park boundaries staked and signed to distinguish from private properties.
- b. Within the dedicated local park acreage, Applicant to provide, at Applicants expense, the park's most needed active recreational facilities and amenities to include at least one (1) adult sized soccer field, multi-age playgrounds acceptable to M-NCPPC staff, a picnic area with 2 shelters, 8' minimum width hard surface trails within the park to serve the various facilities (10'-wide where needed for maintenance access), a drinking fountain, park signage and information kiosks, portable restroom pad and enclosure, appropriate fencing for safety purposes along the retaining wall (acceptable to M-NCPPC staff), park landscaping, and local park parking for at least 120 cars, including at least 60 spaces on the dedicated parkland. The area where the softball field was shown on the Preliminary Plan (area north of the historic house) must be graded and seeded to provide an open play field. The size and grading will be coordinated with the Parks Department. Parallel parking spaces along the park side of the adjacent roads should be appropriately striped and marked to delineate the individual parking spaces available for park users. Park dedication and facility layout to be substantially as set forth on the attached

Park Site Exhibit, with final details of park design, engineering, grading and layout to be determined in coordination with, and acceptable to, M-NCPPC park staff prior to certified site plan approval. Facilities to be constructed to park standards and specifications after procurement by Applicant of appropriate park permit. Copies of applicable standards and specifications will be provided to Applicant by time of certified site plan approval.

- c. No retaining walls or stormwater management ponds or facilities to be located on dedicated parkland.
  - d. Applicant to construct hard surface and natural surface trails on dedicated parkland and throughout the community to connect open spaces, the elementary school and parkland together in an accessible, pedestrian friendly manner. Applicant to work with M-NCPPC staff prior to certified site plan approval to establish exact locations of needed trails in order to provide recreational opportunities for the communities and businesses within the subdivision. Trails within parkland to be constructed to park standards and specifications.
9. Maintenance Responsibility  
The Applicant, its successors/assignees, and/or the successor HOA shall be responsible for maintaining community-wide amenity features such as HOA playgrounds, HOA open spaces, retaining walls, parking facilities, streetscape elements and natural features.
10. Transfer Development Rights (TDRs)  
Prior to recording of each plat, the applicant shall provide verification that the numbers of TDRs relevant to that plat have been acquired. Applicant shall maintain a continuing calculation with each Site Plan, reflecting the number and type of approved dwelling units and the proportional number of associated TDRs under the formula established in the Development Plan and Preliminary Plan.
11. Moderately Priced Dwelling Units (MPDUs)  
The applicant shall comply with the following conditions of approval from the Department of Housing and Community Affairs in the memorandum dated April 25, 2007:
- a. The proposed development shall provide (12.5 percent) MPDUs (of the total number of dwelling units) on-site.
  - b. The Applicant will be required to provide an overall map of the location and number of MPDUs in the Cabin Branch community and a cumulative reporting with each detailed site plan.

12. School Site

The Applicant shall comply with the conditions of approval from the Montgomery County Public Schools in the memorandum dated March 22, 2007.

13. Transportation

The applicant shall comply with the following conditions of approval from M-NCPPC-Transportation Planning in the memorandum dated May 31, 2007:

- a. The applicant must comply with the current and future State Highway Administration (SHA) and Department of Public Works and Transportation (DPWT) regulations and with the letters of support from SHA and DPWT attached hereto.
- b. The road improvements set forth in the Road Improvement Phasing Plan approved as part of the Phase I Preliminary Plan shall be open to traffic before building permits for the subsequent sub phase of development may be issued.
- c. The applicant must either obtain a waiver from DPWT to allow street trees in a panel less than six feet wide or make adjustments to their plan in order to provide for a minimum of six foot wide planting areas.
- d. The applicant must provide at least one handicapped-accessible crosswalk for pedestrians and bicyclists crossings between the adjacent land uses.
- e. The applicant must design all roundabout in accordance to FHWA/SHA guidelines.
- f. The applicant must provide minimum curb return radii of 30' on arterials, 25' on commercial/industrial, primary and secondary roads, 20' on tertiary roads and 15' on alleys, adjusted as necessary for local conditions such as trucks and school buses.
- g. The applicant must identify and obtain waivers from the Planning Board for horizontal curves that are less than minimum standard.
- h. Within 60 days of approval of the Infrastructure Site Plan, Applicant will prepare and submit a limited amendment to the Infrastructure Site Plan to provide for an Alternatives Analysis for that portion of West Old Baltimore Road between I-270 and Broadway Street, including a possible no-build option, for review and approval by the Planning Board, based on review by DPWT, M-NCPPC Staff and residents along West Old Baltimore Road. Based upon this analysis, Staff will provide a recommendation for approval by the Planning Board for the design parameters and construction of this portion

of West Old Baltimore Road. The alternatives analysis shall study the following: a) vertical and horizontal alignment/typical sections; b) extent of easements necessary outside the right-of-way; c) potential impacts to existing septic systems, wells and structures; d) clearing and grading impacts; e) park impacts; f) location of the bike path; g) auxiliary turn lanes and traffic controls; h) sight distances; and i) the no-build option.

- i. The applicant must provide a pedestrian connection between the intersection of Streets O and J to the intersection of Streets T and H.

14. Forest Conservation

The applicant shall comply with the following conditions of approval from M-NCPPC-Environmental Planning in the memorandum dated May 22, 2007 and with the conditions of approval as specified in the Final Water Quality approval:

- a. The proposed development shall comply with the conditions of the final forest conservation plan. The applicant shall satisfy all conditions prior to recording of plat(s) or Montgomery County Department of Permitting Services (MCDPS) issuance of sediment and erosion control permits. No clearing or grading is permitted with the infrastructure plan.
- b. Record plat of subdivision shall reflect a Category I conservation easement over all areas of stream buffers and forest conservation.

15. Historic Preservation

The proposed development is subject to the following conditions of approval from the Historic Preservation Commission dated December 22, 2006:

- a. Parking lots will not be constructed within the environmental setting of the historic resource.
- b. The circular drive around the historic house will be maintained in gravel.
- c. Any tree 6' in diameter (DBH) or larger proposed to be removed within the environmental setting of the historic site will require approval by the Historic Preservation Commission.
- d. The proposed changes within the 5-acre environmental setting (i.e. new construction, grading changes, tree removal, fence installation, retaining walls and alterations to the historic house) will require review and approval through the Historic Area Work Permit process (HAWP).
- e. The environmental setting of the historic resource remains the original boundaries of Parcel 747, which is 5.31 acres in size.

- f. The installation of activity lighting on the ball fields is prohibited.
  - g. The applicant will remove non-historic elements and rehabilitate the exterior of the house. The applicant will receive approval from the HPC for applicable projects.
16. Fire and Rescue  
The proposed development is subject to the conditions of approval from the Montgomery County Fire and Rescue Service dated March 7, 2007.
17. Stormwater Management  
The proposed development is subject to Stormwater Management Concept approval conditions dated May 13, 2004, unless amended by the Department of Permitting Services.
18. Common Open Space Covenant  
Record plat of subdivision shall reference the Common Open Space Covenant recorded at Liber 28045 Folio 578 ("Covenant"). Applicant shall provide verification to M-NCPPC staff during the detailed site plan process to insure that Applicant's recorded Homeowners Association Documents are incorporated by reference in the Covenant.
19. Development Program  
Applicant shall construct the proposed development in accordance with a Development Program. The Development Program shall be reviewed and approved by M-NCPPC staff prior to approval of the certified site plan. A development program for each detailed site plan shall include a phasing schedule to incorporate the following site plan elements: street tree planting, community-wide pedestrian pathways and recreation facilities, other pedestrian pathways and seating areas, clearing and grading, necessary roads and phasing of dedications, stormwater management, sediment/erosion control, recreation, forestation, community paths, trip mitigation or other features.

The Development Program for the Infrastructure Plan shall include a phasing schedule as follows:

- a. Phasing of MPDUs.
- b. Grading and timing for the construction of the Local Park.
- c. Prior to the release of the 650<sup>th</sup> residential building permit, the Applicant shall obtain a building permit for the community pool and center.

20. Clearing and Grading

The following may proceed upon approval of the Infrastructure Site Plan, Sediment and Erosion Control Plans and Forest Conservation Plan: a) clearing and mass grading for the roads being approved by this Infrastructure Plan and the local park and school site; b) installation of temporary sediment and erosion control devices; c) the installation of the trunkline sewer (DA 3326); and d) the installation of the water main along Maryland Route 121. No construction of roads, buildings or retaining walls may proceed until subsequent certified Site Plan approvals for each individual Site Plan. Notwithstanding the above, clearing and grading activities, with the exception of the water and sewer projects, may not be permitted beyond the limits of disturbance submitted as part of the current site plans for Nos. 820060180, 820060240, 820060290, 820060300, 820060350 and 820070140.

21. Certified Site Plan

Prior to certified site plan approval of Infrastructure and Roads Only Plans the following revisions shall be included and/or information provided, subject to staff review and approval:

- a. Development program and Site Plan Resolution.
- b. Undisturbed stream buffers.
- c. Limits of disturbance.
- d. Methods and locations of tree protection.
- e. Forest Conservation easement areas.
- f. MPDU, TDR, and recreation facility concept.
- g. Location of outfalls away from tree preservation areas.
- h. Environmental setting protecting the historic resource or site.

BE IT FURTHER RESOLVED that all site development elements as shown on Cabin Branch Infrastructure and Roads Only Site and Landscape Plan drawings stamped by the M-NCPPC on April 16, 2007, shall be required, except as modified by the above conditions of approval; and

BE IT FURTHER RESOLVED that, having given full consideration to the recommendations and findings of its Staff, which the Planning Board hereby adopts and incorporates by reference (except as modified herein), and upon consideration of the entire record, the Montgomery County Planning Board FINDS, with the conditions of approval, that:

1. *The Site Plan conforms to all non-illustrative elements of a development plan or diagrammatic plan, and all binding elements of a schematic development plan, certified by the Hearing Examiner under Section 59-D-1.64, or is consistent with an approved project plan for the optional method of development if required, unless the Planning Board expressly modifies any element of the project plan.*



If amended in accordance with recommended conditions, the proposed development is consistent with the approved Development Plan (G-806) in land use, density, location, and building height and development guidelines.

The nine binding elements from Development Plan G-806 are listed numerically and in italics, followed by the Planning Board finding:

a. *Transferable Development Rights and Moderately Priced Dwelling Units*

*The Property that is subject to this application (283.5 acres) is part of a larger, mixed-use community planned for 535 acres shown on the Development Plan, of which the Applicants are also owners. The portion of the property not being rezoned MXPB, is zoned RMX-1/TDR and will require the purchase of Transferable Density Rights (TDR's) for the development planned by Applicants. Based on calculations developed with M-NCPPC staff, the total Master Plan residential density for the 535-acre community is 1,676 market rate units plus 210 Moderately Priced Dwelling Units. Assuming this density and the mix of unit types called for in the Master Plan for the entire Cabin Branch Neighborhood (including a maximum of 20% multi-family) the 535-acre project will require 635 TDR's. The Preliminary Plan of Subdivision application(s) for the MXPB area and the remaining RMX-1/TDR area shall require the purchase of TDR's in conformance with this calculation.*

The 635 Transferable Development Rights will be provided for the portion of property zoned RMX-1/TDR. The number of MPDUs provided is in excess of the binding element by 26 for a maximum of 236 MPDUs.

b. *Off-Site Amenities and Features*

*By the time of issuance of building permits for the 100<sup>th</sup> dwelling unit in the Cabin Branch Community, which consists of the larger, mixed-use community of 535 acres shown on the Development Plan for an elementary school, a local park and a recreation facility. The school site will be rough-graded at a time determined at the earliest Preliminary Plan of subdivision application for the Cabin Branch Community, subject to Montgomery County Public School approval.*

This binding element does not apply to the Infrastructure Plan since development standards and actual units are not proposed at this time. The Applicant is permitted to grade in accordance with Condition No. 20 which is consistent with this binding element.

c. *Trip Reduction Measures*

*At the time of Preliminary Plan of Subdivision, the Applicant, M-NCPPC Transportation Planning staff, and Department of Public Works and Transportation (DPWT) staff will consider mutually acceptable trip reductions*

*measures. The parking ratios for non-residential uses in the Cabin Branch Community will be determined at Site Plan, considering trip reduction goals.*

Trip reduction goals were established during the preliminary plan approval and will be further analyzed at the first development site plan phase. The parking ratios for the non-residential uses will be determined during the first site plan for that type of development. Trip reduction goals will be considered during that review and will be consistent with the proposed uses.

d. Street Network

*A network of public streets shall be provided, supplemented by private streets, in a grid pattern that promotes interconnectivity. Public streets will consist of Master Plan streets and additional business and residential streets to form blocks that, with the exception of Area D defined on the Development Plan, are substantially similar to the street system shown in the Road Hierarchy Plan of the Development Plan and that are subject to M-NCPPC and DPWT approvals.*

The Applicant has provided a network of public streets in a grid pattern that is familiar to the neo-traditional type of development. The street network is patterned to develop a cohesive relationship with the variety of uses proposed in the Cabin Branch neighborhood. The public streets proposed are consistent with the Master Plan and hierarchy defined in the Development Plan.

e. Area D Street Network

*Area D will be designed with a public or private street connecting First Avenue (Route A-304) in a grid pattern with a particular emphasis on a building line to frame Newcut Road Extended, with parking in the rear.*

Area D, between future A-302 (Newcut Road), Second Avenue and West Old Baltimore Road will be reviewed in more detail when the site plan for this portion of the site is submitted. This area will be further analyzed as part of the limited amendment required by Condition No. 13(h) to address impacts to the adjacent properties along this section of West Old Baltimore Road.

f. Street Character

*All streets will adhere to a pedestrian-friendly design to the extent practical, which places particular emphasis on a building line to frame the street, with parking in the rear. Within the core, pedestrian friendly uses including retail or office will be located on the first floor. The entire MXPB area will conform to a Cabin Branch Community Streetscape Plan that is designed to integrate the entire community, which will be submitted at Site Plan and is subject to M-NCPPC and DPWT approvals.*

The public streets have been designed to foster a pedestrian friendly environment, where possible, and to promote active streets that interact with the streetscape plan.

*g. Special Roads*

*A-307 will be designed as an open section arterial road with wide green edges to provide a gateway to Black Hill Regional Park, subject to M-NCPPC and DPWT approvals. The rural character of West Old Baltimore Road will be maintained by minimizing environmental impacts and providing generous green edges.*

A-307 has been designed as an open-section 80-foot-wide arterial road with green edges that line up with the entrance to Black Hill Regional Park. West Old Baltimore Road was not reviewed with the Infrastructure Plan in terms of impact to adjacent properties, including Black Hill Regional Park, but will be reviewed as a limited amendment. The road is proposed as a two-lane arterial roadway with changes to vertical and horizontal alignment. The Applicant is required to submit a limited amendment and alternatives analysis in accordance with Condition No. 13(h) to address impacts to adjacent properties including alignment, necessary easements, well and septic, clearing and grading, park boundaries, sight distance and a no-build option.

*h. Service/Public Uses*

*Service/Public uses may include up to 500 units for independent living for Senior Adults or persons with disabilities, assisted living, life care or continuing care.*

This binding element does not apply to the Infrastructure Plan.

*i. On-street Parking*

*Applicants will include on-street parking on streets adjacent to retail facilities.*

On-street parking has been incorporated into many of the public streets and will be further analyzed with each development site plan application.

2. *The Site Plan meets all of the requirements of the MXPB and RMX-1/TDR zones and where applicable conforms to an urban renewal plan approved under Chapter 56.*

The Site Plan meets all of the applicable requirements of the MXPB and RMX-1/TDR Zones as demonstrated in the project Data Table shown below. No development information is required or being provided with the Infrastructure and Roads Only Site Plan for numbers and types of units, setbacks, building height, green area and number of parking spaces. The first development site plan will

establish the number and types of units, the minimum setbacks and building restriction lines, maximum building heights and coverage requirements in terms of lot area, open space and green space for the respective zones.

**Requirements of the MXPB/RMX-1/TDR zones**

The Staff Report contains a data table that lists the Zoning Ordinance required development standards and the developments standards proposed for approval. The Board finds, based on the aforementioned data table, and other evidence and testimony of record, that the Application meets all of the applicable requirements of the MXPB/RMX-1/TDR Zones. The following data table sets forth the development standards approved by the Planning Board and binding on the Applicant.

**Data Table**

Development Standards Approved by the  
 Planning Board and Binding on the Applicant

---

Total Tract Area:	535.04 Acres						
Zoning:	RMX-1/TDR (251.54 acres) MXPB (283.50 acres)						
Public Water System Category:	W-3						
Public Sewer System Category:	W-3						
Max. Density of Development:	1,886 residential dwelling units, 500 senior units and 2,436,000 square feet of non-residential <sup>1</sup>						
Unit Mix Required by the Clarksburg Master Plan:	<table border="0"> <tr> <td>One-family detached</td> <td>45-55%</td> </tr> <tr> <td>One-family attached</td> <td>35-45%</td> </tr> <tr> <td>Multi-family</td> <td>10-20%</td> </tr> </table>	One-family detached	45-55%	One-family attached	35-45%	Multi-family	10-20%
One-family detached	45-55%						
One-family attached	35-45%						
Multi-family	10-20%						

No development information is required or being provided with the Infrastructure and Roads Only Site Plan for numbers and types of units, setbacks, building height, green area and number of parking spaces. All of these elements of the site plan will be established and reviewed during each development site plan submittal.

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3. *The locations of the buildings and structures, the open spaces, landscaping, recreation facilities, and pedestrian and vehicular circulation systems are adequate, safe, and efficient.*

<sup>1</sup> The Development Plan (Local Map Amendment G-806) approved 1,676 market rate and 210 Moderately Priced Dwelling Units (total 1,886); however, the Preliminary Plan (12003110A) only approved 1,600 residential dwelling units, 1,538,000 square feet of non-residential and 500 elderly housing units. Phase II of the Preliminary Plan has been submitted for review to increase the total number of residential dwelling units to 1,886 and 2,436,000 square feet of non-residential. Phase II has not been approved.

a. Buildings and Structures

No buildings have been proposed with the Infrastructure and Roads Only Site Plan. Each development site plan will show the location of each building and structure. The historic building (#13/24) remains as a dominant structure in the center of the overall site that bifurcates the proposed park.

Retaining walls have been shown on the Infrastructure site plan and minimized to the extent possible to address grading concerns with the preliminary plan approval. A retaining wall exhibit was submitted and reviewed with the Infrastructure and Roads Only Site Plan. The retaining walls on the west side of the park property have decreased in height from 50 feet to three tiered, 30-foot-tall retaining walls at the highest point since the time of preliminary plan approval. The series of walls are expansive but have been minimized to the extent possible for safety and efficiency of the grading on the site. At the hearing, the Applicant agreed to further minimize the series of retaining walls in the park site area by grading and seeding the area north of the historic house to provide for an open play field.

b. Open Spaces

The plan proposes a significant amount of open space, which consists primarily of stream buffers, stormwater management facilities and the proposed park and school sites. The future site plans will have to provide the required green area consistent with the requirements of the RMX-1/TDR Zone and previous development plan and preliminary plan approvals. The future site plans will provide updated open space and green space calculations, which will consist of areas between the units and along the perimeter of the property, in addition to the green area network of stream valleys, stormwater management facility areas, and park and school site field areas.

c. Landscaping and Lighting

The proposed landscaping and lighting consists of a varying treatment within the public rights-of-way, as outlined in the Thematic Street and Park Character guidelines ("Thematic Plan") presented by the Applicant. All of the agencies have had an opportunity to review the placement, types and species and spacing of the street trees to avoid conflicts in the design phase and during construction. The Thematic Plan also identifies the type of plant material appropriate within the medians and roundabouts, as well as acceptable lighting and accent material for crosswalks and sidewalks.

However, the exact species and location of street trees will be identified with each development site plan, and will stress the character of the species and spacing associated with the particular use.

d. Recreation Facilities

The overall recreation facilities have been incorporated into the park and school site that include ball fields, playgrounds, picnic shelters and pathways. In addition to the programmed facilities, the development will provide for natural features such as the stream valleys with integrated trails. Recreation facilities are based upon a calculation of the number and type of unit provided within the development, as well as community facilities offered by the Applicant.

Each development site plan that includes residential development will need to be updated to show compliance with the M-NCPPC Recreation Guidelines and overall facilities guidelines for the Cabin Branch Development.

e. Vehicular and Pedestrian Circulation

Vehicular and pedestrian circulation is adequate, safe and efficient throughout the entire site.

The primary access points to the site are from multiple locations along MD 121 (Clarksburg Road), West Old Baltimore Road and future Little Seneca Parkway (A-302). The state is proposing intersection improvements at I-270 with Clarksburg Road and Little Seneca Parkway. Two roundabouts are proposed on Clarksburg Road at the first intersection (Street A) that provides primary access to the Gosnell tract to the north, and Adventist Healthcare and the retail section to the south. The second roundabout on Clarksburg Road is located at the intersection with 1<sup>st</sup> Avenue (Cabin Branch Avenue), which is the primary route to the retail center and a major spine within the community that connects to Little Seneca Parkway. Two internal roundabouts are proposed on Little Seneca Parkway at the intersections with 1<sup>st</sup> and 2<sup>nd</sup> Avenues.

Second Avenue is an arterial road and is the primary spine within the community that connects Clarksburg Road and West Old Baltimore Road. Two additional important access points to the site include Street G (Bryne Park Drive), which follows the eastern boundary of the school and park site and Street Z, which is the primary access to the school. Street Z also provides access to a future residential portion of the development that includes primarily one-family detached and attached housing.

The overall Cabin Branch neighborhood will contain an eight-foot-wide shared use path (Class I bikeway) on the external boundaries of the site, including the north side of West Old Baltimore Road, that connects and continues to the east side to connect with the bike paths for the Summerfield Crossing (8-03034) and Martens (8-02039) developments. The bike path on West Old Baltimore Road connects with the bike path on the east side of Clarksburg Road (MD 121). This path terminates at the future interchange for I-270. Internally, the 8-foot-wide bike path follows Street Z on the west side of the proposed school site, and bifurcates the school and park site to connect with the alignment on Street G. The path follows the west side of Street G and H and the north side of Street P to finally connect to the proposed bike path on Little Seneca Parkway.

Five-foot-wide internal sidewalks will also be provided for all of the public streets to facilitate pedestrian circulation throughout the development.

4. *Each structure and use is compatible with other uses and other site plans and with existing and proposed adjacent development.*

No structures or uses are proposed with this application, with the exception of retaining walls. However, the infrastructure and internal grid system establishes the pattern of uses based upon location, importance of road network, location of natural resources and proposed uses identified as part of the approved preliminary and site plans. Each structure and use for the subsequent development site plan applications will be evaluated for compatibility with the existing and proposed adjacent development.

5. *The Site Plan meets all applicable requirements of Chapter 22A regarding forest conservation, Chapter 19 regarding water resource protection, and any other applicable law.*

- a. **Forest Conservation**

The applicant, Cabin Branch LLC, has submitted a final forest conservation plan with the Infrastructure and Roads Only Site Plan. This plan will be the guide for all future development site plans, special exceptions, and mandatory referrals. The development shown on the forest conservation plan is conceptual in nature and is being refined with individual development site plans. Therefore, the applicant must amend the forest conservation plan with each future development site plan to properly depict the forest conservation plan including the final grades, infrastructure, lot layouts, and building locations.

The applicant is proposing to remove 64.77 acres of forest, retain 65.03 acres of forest and plant 73.21 acres of forest. The applicant will plant 36.77 acres of forest on site. Part of the property is developed using an optional method of development. Section 22A-12(f) of the forest conservation law requires properties developed under an optional method of development to meet certain forest retention requirements on site. The forest conservation plan indicates that the applicant will meet the conservation threshold onsite and that they will meet all planting requirements through a combination of onsite forest retention, onsite planting of unforested stream buffers, and landscape credit.

Under M-NCPPC's implementation of the Special Protection Area regulations, the Environmental Guidelines require accelerated reforestation of stream buffers within SPAs. Since the property includes land both in and out of the SPA and the tributaries drain to a common water body, the planting requirements will be treated as if the entire site were located within the Clarksburg SPA. Therefore, the Planning Board has required the forest conservation plan to include planting in the stream buffers after DPS approval of the first sediment control/grading permit and that the applicant provide a five-year maintenance period for all planting areas credited toward the forest conservation plan. In addition, the applicant is required to plant all onsite planting areas prior to being allowed to use offsite mitigation credits. Since the property is within the Clarksburg Special Protection Area, all off site reforestation areas should be directed to planting unforested areas within the SPA.

b. Tree Save

Environmental Planning staff previously requested the applicant to preserve a 68-inch diameter at breast height (dbh) sycamore tree that is located outside of the stream buffer and is in good condition. Staff first requested preservation prior to the rezoning case. The tree has a circumference of 213 inches, which is 85 percent of the County champion sycamore tree.

There is a condition of approval of the preliminary water quality plan requiring the applicant to *"minimize the amount of fill used throughout the site to reduce the loss of groundwater hydrology supporting the headwater wetlands, and to better preserve the hydrology necessary for existing vegetation in stream buffers. After minimization has been conducted, opportunities shall be examined at site plan to retain the 68-inch dbh specimen sycamore tree and reduce the need for extensive retaining walls"*. The applicant has worked to minimize amount of fill but has not adequately addressed this condition.



The applicant submitted "Sycamore Tree Removal Study" in June 2006 but has not updated that submission. The plan submitted in 2006 shows the tree in a stormwater management facility. The infrastructure site plan shows the tree in a median between a parking lot and a roadway. Therefore, a new study is required that reflects the layout on the infrastructure plan. This revised study should be reviewed concurrently with the appropriate development site plan.

c. Environmental Guidelines

The NRI/FSDs for the various properties included in this Site Plan identified the environmental buffers. Environmental buffers include wetlands and wetland buffers, floodplains, and streams and stream buffers. As part of the *Environmental Guidelines*, the stream buffer must be reforested. Where trees do not currently exist in the stream buffers, the applicant will plant new forests. The applicant will place forest conservation easements on the environmental buffers and all forest retention areas.

d. Stream Buffer Encroachments

The only encroachments into the environmental buffers associated with this plan are necessary stormwater management conveyances, some utilities, natural surface trails, widening of West Old Baltimore Road, and construction of A-302 (Little Seneca Parkway)/I-270 Interchange.

e. Protection of Seeps, Springs and Wetlands

One of the performance goals for this final water quality plan is to protect springs, seeps, and wetlands. The applicant has not provided DPS with sufficient information to determine what impacts deep cuts and fill areas will have on groundwater recharge and stream base nor does Environmental Planning believe sufficient information is submitted to protect springs, seeps and wetlands. Condition No. 2 of the May 13, 2004 DPS approval of the preliminary water quality plan requires the applicant to "*Provide a geotechnical study/evaluation of the potential effect that the proposed deep cut and fill areas will have on groundwater recharge and stream base flow.*" DPS is responsible for determining and ensuring the performance goals are achieved. It is M-NCPPC's responsibility to protect seeps, springs, and wetlands through the delineation of stream and wetland buffers.

The applicant has not addressed Condition No. 2 of DPS' approval of the preliminary water quality and this is reflected by Condition No. 2 of the DPS February 22, 2007 approval of the final water quality plan which

states "Additional geotechnical study and evaluation will need to be done to determine the feasibility of groundwater recharge at the proposed locations. It is likely that groundwater will be encountered below some of the end of lines sand filters. In this case additional upland recharge areas will be required. This may affect lot yield. Note that extra recharge volume was required in the Preliminary Water Quality Plan approved (150% of MDE requirement) due to the lack of open section roads and deep cuts and fills that are proposed." The Planning Board incorporates the Environmental Planning memorandum dated May 22, 2007 requiring the applicant to address this comment prior to the approval of individual development site plans while there is still opportunity to provide the upland recharge.

g. Site Imperviousness

There are no impervious limitations within the Clarksburg SPA; however, the Special Protection Area regulations allow M-NCPPC to review imperviousness and to work with the applicant to reduce imperviousness. The estimated impervious amount proposed for the entire site is less than 45 percent. The impervious amount will be refined with the submission and approval of individual development site plans. Impervious data is not available for sites of this size and mixture of units and square foot of commercial/office space.

h. Site Performance Goals

As part of the final water quality plan approved with this Application, several site performance goals were established for the project:

1. Protect the streams and aquatic habitat.
2. Maintain the nature of onsite stream channels.
3. Maintain stream base flows.
4. Identify and protect stream banks prone to erosion and slumping.
5. Minimize storm flow runoff increases.
6. Minimize increases in ambient water temperatures.
7. Protect springs, seeps, and wetlands.
8. Minimize sediment loading.
9. Minimize nutrient loadings.
10. Control insecticides, pesticides, and toxic substances.

i. Stormwater Management

To help meet these performance goals, the stormwater management plan requires water quality control and quantity control to be provided through an extensive system of linked best management practices (BMPs).

Thirteen extended detention dry ponds will provide stormwater quantity control. These facilities are designed with a maximum retention time of 12 hours for the one-year storm. Stormwater quality control is provided via a treatment train consisting of recharge structures, surface sand filters, bio-filtration structures, dry swales, structural water quality inlets and vegetated buffer filtering.

Redundant sediment control facilities are required during construction of the site. This means upland sediment traps will drain to secondary traps downgrade. DPS will not allow silt fences as only perimeter control.

The proposed stormwater management concept and preliminary water quality plan consists of on-site channel protection measures via thirteen extended detention dry ponds. These structures will provide channel protection volume for the one-year storm with a maximum detention time of 12 hours per state standards. Quality control will be provided via a treatment train that consists of recharge structures, surface sand filter (in series), biofiltration structures, dry swales structural water quality inlets (both filtering and flow-through) and vegetated buffer filtering. Since open-section roads will not be feasible for the majority of the site, additional water quality volume will be provided in the proposed end of outfall large surface sand filters.

BE IT FURTHER RESOLVED, that this resolution incorporates by reference all evidence of record, including maps, drawings, memoranda, correspondence, and other information; and

BE IT FURTHER RESOLVED, that this Site Plan shall remain valid as provided in Montgomery County Code § 59-D-3.8; and

BE IT FURTHER RESOLVED, that the date of this resolution is SEP 19 2007 (which is the date that this resolution is mailed to all parties of record); and

BE IT FURTHER RESOLVED, that any party authorized by law to take an administrative appeal must initiate such an appeal within thirty days of the date of this Resolution, consistent with the procedural rules for the judicial review of administrative agency decisions in Circuit Court (Rule 7-203, Maryland Rules).

\* \* \* \* \*

At its regular meeting, held on Thursday, September 6, 2007, in Silver Spring, Maryland, the Montgomery County Planning Board of The Maryland-National Capital Park and Planning Commission, on motion of Commissioner Robinson, seconded by

Commissioner Bryant, with Commissioners Hanson, Bryant, and Robinson voting in favor, and Commissioners Cryor and Lynch abstaining, *ADOPTED* the above Resolution, which constitutes the final decision of the Planning Board and memorializes the Board's findings of fact and conclusions of law for Site Plan No. 820050150- Cabin Branch Infrastructure and Roads Only Site Plan.



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Royce Hanson, Chairman  
Montgomery County Planning Board



**MONTGOMERY COUNTY PLANNING BOARD**  
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

MCPB No. 11-124

Site Plan No. 82005015B

Project Name: Clarksburg Infrastructure Site Plan for the Cabin Branch Neighborhood

Hearing Date: 12/01/2011

**RESOLUTION**

WHEREAS, pursuant to Montgomery County Code Division 59-D-3, the Montgomery County Planning Board ("Planning Board") is required to review amendments to approved site plans; and

WHEREAS, on June 14, 2007, the Planning Board approved Site Plan No. 820050150 (MCPB Resolution 07-131) for a final water quality plan for the infrastructure components of Site Plan No. 820050150 and an Infrastructure and Roads Only Site Plan to accommodate 1,886 residential dwelling units, 500 senior units and 2,436,000 square feet of retail and employment, including 635 Transfer Development Rights (TDRs), and 236 Moderately Priced Dwelling Units (MPDUs) on 535.04 acres of RMX-1/MXPD-zoned land; and

WHEREAS, on April 3, 2008, the Planning Board approved Site Plan No. 82005015A (MCPB Resolution 08-68) for an Amendment of the Infrastructure and Roads Only Site Plan for the design and cross section of West Old Baltimore Road; and

WHEREAS, on September 7, 2011, Cabin Branch Management, LLC ("Applicant"), filed a site plan amendment application designated Site Plan No. 82005015B, Clarksburg Infrastructure Site Plan for the Cabin Branch Neighborhood (the "Amendment") for approval of the following modifications:

1. Revision of the following conditions as underlined.

WATER QUALITY PLAN CONDITION (82005015)

1. Reforestation of the stream buffer is to begin in the first planting season after the issuance of the first grading permit by the Montgomery County Department of Permitting Services (MCDPS) and pursuant to the phasing set forth in the Final Forest Conservation Plan.

Approved as to  
Legal Sufficiency:

*Christina Sorrento* 2/15/12

8787 Georgia Avenue, Suite 200, Silver Spring, Maryland 20910-7777 Chairman's Office: 301.495.4605 Fax: 301.495.1320

www.MCParkandPlanning.org E-Mail: mcp-chairman@mncppc.org

INFRASTRUCTURE SITE PLAN CONDITIONS (82005015)

14. Forest Conservation

The Applicant must comply with the following conditions of approval from M-NCPPC Staff in the memoranda dated May 22, 2007, except as amended herein, and with the conditions of approval as specified in the Final Water Quality approval:

- a. The proposed development shall comply with the conditions of the Final Forest Conservation Plan. The applicant shall satisfy all conditions prior to recording of plat(s) or Montgomery County Department of Permitting Services issuance of sediment and erosion control permits. With the exception of clearing and grading activities allowed in Condition 20, no clearing or grading is permitted with the infrastructure plan.
- b. Record plat of subdivision shall reflect a Category I conservation easement over all areas of stream buffers and forest conservation.
- c. The implementation of the project's forest conservation mitigation requirements which includes forest retention, onsite and offsite afforestation, reforestation and landscape credit, may be phased. The phasing of the total forest conservation mitigation must be proportionate to either the area proposed for disturbance relative to the total project size or the amount of density for each stage relative to the total project density, whichever is greater. The phasing triggers, forest conservation mitigation type, amount of mitigation, and disturbance areas are to be defined on the Final Forest Conservation Plan and revised as needed with subsequent Site Plans. Conservation easements may be recorded using a metes and bounds description and sketch if preceding recordation of plats, provided the recording information for the conservation easement is referenced and the easement line is shown on subsequent record plats.

20. Clearing and Grading

The following may proceed upon approval of the Infrastructure Site Plan, Sediment and Erosion Control Plans and Final Forest Conservation Plan:  
a) clearing and mass grading for the roads being approved by this Infrastructure Plan and the local park and school site; b) installation of temporary sediment and erosion control devices; c) the installation of the trunkline sewer (DA 3326); d) the installation of the water main along

Maryland Route 121; and e) the construction associated with the existing farm pond and stream restoration project. No construction of roads, buildings or retaining walls may proceed until subsequent certified Site Plan approvals for each individual Site Plan. Notwithstanding the above, clearing and grading activities, with the exception of the water and sewer projects, may not be permitted beyond the limits of disturbance submitted as part of the current Site Plans for Nos. 820060180, 820060240, 820060290, 820060300, 820060350 and 820070140.

WHEREAS, following review and analysis of the Amendment by Planning Board staff ("Staff") and the staff of other applicable governmental agencies, Staff issued a memorandum to the Planning Board dated November 18, 2011, setting forth its analysis and recommendation for approval of the Amendment ("Staff Report"); and

WHEREAS, on December 1, 2011, Staff presented the Amendment to the Planning Board at a public hearing on the Amendment (the "Hearing") where the Planning Board heard testimony and received evidence submitted for the record on the Amendment; and

WHEREAS, on December 1, 2011, the Planning Board approved the Amendment subject to conditions on the motion of Commissioner Dreyfuss, seconded by Commissioner Anderson, with a vote of 5-0, Commissioners Anderson, Carrier, Dreyfuss, Presley, and Wells-Harley voting in favor.

NOW, THEREFORE, BE IT RESOLVED THAT, pursuant to the relevant provisions of Montgomery County Code Chapter 59, the Planning Board hereby adopts the Staff's recommendation and analysis set forth in the Staff Report and hereby approves the Site Plan No. 82005015B; and

BE IT FURTHER RESOLVED, that the Planning Board finds that the Amendment is consistent with the provisions of § 59-D-3.7 of the Zoning Ordinance and that the Amendment does not alter the intent, objectives, or requirements expressed or imposed by the Planning Board in connection with the originally approved site plan; and

BE IT FURTHER RESOLVED that all site development elements as shown on Clarksburg Infrastructure Site Plan for the Cabin Branch Neighborhood drawings stamped by M-NCPPC on May 11, 2009, shall be required, except as modified by the above conditions of approval; and

BE IT FURTHER RESOLVED, that this Resolution constitutes the written opinion of the Board and incorporates by reference all evidence of record, including maps, drawings, memoranda, correspondence, and other information; and

BE IT FURTHER RESOLVED, that this Amendment shall remain valid as provided in Montgomery County Code § 59-D-3.8; and

BE IT FURTHER RESOLVED, that the date of this Resolution is MAR 7 2012 (which is the date that this Resolution is mailed to all parties of record); and

BE IT FURTHER RESOLVED, that any party authorized by law to take an administrative appeal must initiate such an appeal within thirty days of the date of this Resolution, consistent with the procedural rules for the judicial review of administrative agency decisions in Circuit Court (Rule 7-203, Maryland Rules).

\* \* \* \* \*

CERTIFICATION

This is to certify that the foregoing is a true and correct copy of a resolution adopted by the Montgomery County Planning Board of The Maryland-National Capital Park and Planning Commission on motion of Commissioner Anderson, seconded by Vice Chair Wells-Harley, with Chair Carrier, Vice Chair Wells-Harley, and Commissioner Anderson voting in favor of the motion, with Commissioner Presley abstaining, and with Commissioner Dreyfuss absent, at its regular meeting held on Thursday, February 23, 2012, in Silver Spring, Maryland.

  
Françoise M. Carrier, Chair  
Montgomery County Planning Board



## Appendix B



DEPARTMENT OF HOUSING AND COMMUNITY AFFAIRS

Isiah Leggett  
County Executive

Richard Y. Nelson, Jr.  
Director

December 20, 2012

Ms. Sylke Knuppel, PE  
Development Manager  
Winchester Homes  
6905 Rockledge Drive, Suite 800  
Bethesda, MD 20817

RE: Winchester Homes Cabin Branch Phase 3  
(Site Plan No. 820120150)

Dear Ms. Knuppel:

The Department of Housing and Community Affairs (DHCA) has reviewed the updated Winchester Homes MPDU Exhibit for Cabin Branch, including all three (3) phases of the Cabin Branch Winchester development. Although there are only 5% MPDUs in Phase 3 (10 out of 188 units total), there are 12.5% MPDUs in the 3 phases combined (121 out of 968 total units) because Phase 1 included a higher percentage of MPDUs.

DHCA recommends Approval of the Winchester Homes Cabin Branch Phase 3 Site Plan, with the following conditions:

- Include the overall MPDU exhibit for the 3 phases with this site plan.
- Shade the MPDUs on the site plan so that they can be identified more easily.
- Ensure that there is adequate space for a vehicle to park in each MPDU driveway, in addition to the garage space.

If you have any questions, please contact me at 240-777-3786.

Sincerely,

Lisa S. Schwartz  
Senior Planning Specialist

cc: Sandra Pereira, M-NCPPC  
John Carter, M-NCPPC  
Christopher J. Anderson, DHCA

S:\Files\FY2013\Housing\MPDU\Lisa Schwartz\Cabin Branch Winchester Phase 3 DHCA Letter 12-20-2012.docx

**Division of Housing**

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Dwelling Unit  
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Housing Development  
& Loan Programs  
FAX 240-777-3691

Landlord-Tenant Affairs  
FAX 240-777-3691

Licensing & Registration Unit  
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KTGY Group, Inc.  
Architecture+Planning  
8605 Westwood Ctr. Dr., Ste. 300  
Vienna, VA 22182

703-992-6116  
703-992-6428 fax  
ktgy.com



February 1, 2013

Ms. Sylke Knuppel  
Development Manager  
Winchester Homes  
6905 Rockledge Drive, Suite 800  
Bethesda, MD 20817

Dear Sylke,

As required under the provisions of the Cabin Branch "Design Guidelines for Site Plan Review" document, we have reviewed the submitted Site Plans dated January 15, 2013 for Cabin Branch, Section Winchester Phase 3. The Site Plans reflect the changes that we have reviewed and discussed during previous work sessions. We find that the application items to be consistent with the above mentioned Design Guidelines and recommend and support approval by the Montgomery County Planning Board.

Sincerely,

A handwritten signature in black ink that reads "Smita Anand". The signature is written in a cursive, flowing style.

Smita Anand,  
Principal  
KTGY Group



DEPARTMENT OF PERMITTING SERVICES

Isiah Leggett  
County Executive

Diane R. Schwartz Jones  
Director

November 16, 2012

Mr. Philip R. Hughes, P.E.  
Rodgers Consulting Inc.  
19847 Century Blvd., Suite 200  
Germantown, Maryland 20874

Re: **Final** Water Quality Plan and  
Stormwater Management Concept for  
Cabin Branch Winchester Phase 3  
SM File #: 242587  
Tract Size/Zone: 29.0 Ac./Mixed Res.  
Watershed: Little Seneca Creek

**SPECIAL PROTECTION AREA**

Dear Mr. Hughes:

Based on a review by the Department of Permitting Services, the Final Water Quality Plan (FWQP) and the stormwater management concept for the above mentioned site is conditionally approved. This approval is for the elements of the Final Water Quality Plan of which DPS has lead agency responsibility, and does not include limits on imperviousness or stream buffer encroachments.

**Site Description:** The site is bounded by West Old Baltimore Road, Clarksburg Road and I-270. This phase is approximately 29.0 acres and located along Clarksburg Road. This area is partially within the Little Seneca Creek Watershed that is a designated Special Protection Area. This proposal is for a mixed use residential development.

**Stormwater Management:** Stormwater management for this site will be provided via two extended detention dry ponds. These structures will provide channel protection volume for the one-year storm with a maximum detention time of 12 hours. Quality control will be provided via a treatment train that consists of recharge structures, surface sand filters in series, structural water quality inlets (both filtering and flow through) and vegetated buffer filtering/rooftop disconnects. Since open section roads will not be feasible for the majority of the site, additional water quality volume will be provided in the proposed end of outfall large surface sand filters. This will be done by sizing these structures to treat the entire drainage area regardless of the upland area that is already providing full treatment. Areas that are intended for vehicular use are to be pretreated prior to entering any water quality filtering structures. Recharge is to be provided below the outlet pipe of all of the proposed (non-structural) water quality structures where groundwater or bedrock is not encountered.

---

255 Rockville Pike, 2nd Floor • Rockville, Maryland 20850 • 240-777-6300 • 240-777-6256 TTY  
[www.montgomerycountymd.gov](http://www.montgomerycountymd.gov)

[montgomerycountymd.gov/311](http://montgomerycountymd.gov/311)



240-773-3556 TTY

**Sediment Control:** Redundant sediment control structures are to be used throughout the site. The use of sediment traps with forebays will be acceptable. The total storage volume is to be a minimum of 125% of the normally required volume.

All sediment trapping structures are to be equipped with dewatering devices. Also, due to the sensitive nature of the watershed coupled with the large amount of proposed development, the use of flocculants, compost material or other measures to increase the effectiveness of sediment removal may be required in the detailed sediment control plan. The following features are to be incorporated into the detailed sediment control plan:

1. The earth dikes that feed the sediment traps are to be constructed using trapezoidal channels to reduce flow rates.
2. The site grading shall be phased whenever possible to limit disturbance and immediate stabilization is to be emphasized. The details of the phasing sequence are to be addressed prior to submitting the detailed sediment control/stormwater management plan.
3. Silt fence alone will not be allowed as a perimeter control. The use of super silt fence will be acceptable for small areas of disturbance.

**Performance Goals:** The performance goals that were established at the pre-application meeting are still applicable. They are as follows:

1. Protect the streams and aquatic habitat.
2. Maintain the natural on-site stream channels.
3. Minimize storm flow run off increases.
4. Identify and protect stream banks prone to erosion and slumping.
5. Minimize increases to ambient water temperatures.
6. Minimize sediment loading.
7. Maintain stream base flows.
8. Protect springs, seeps, and wetlands.
9. Minimize nutrient loading.
10. Control insecticides, pesticides and toxic substances.

**Monitoring:** The monitoring must be in accordance with the BMP monitoring protocols which have been established by the Department of Permitting Services (DPS) and Department of Environmental Protection (DEP). The requirements from DEPs predevelopment Monitoring Memorandum dated June 3, 2003 (SM#207133) still apply. Additionally, the construction and post construction monitoring requirements are described in the "Attachment to the Final Water Quality Plan" memorandum by DEP dated October 1, 2012 and included with this Final Water Quality Plan approval letter.

Prior to the start of any monitoring activity, a meeting is to be held on site with DEP, DPS, and those responsible for conducting the monitoring to establish the monitoring parameters. **One year of pre-construction monitoring must be completed prior to the issuance of a sediment control permit.**

**Conditions of Approval:** The following conditions must be addressed in the initial submission of the detailed sediment control/stormwater management plan. All of the conditions not addressed from previous approvals are still applicable. This list may not be all inclusive and may change based on available information at the time of the subsequent plan reviews:

1. Provide clear access to all stormwater management structures from a public right-of-way. Provide driveway aprons and full depth paving in areas where curbs, sidewalks and bike paths must be crossed to access the structures.
2. The perimeter lots that border the stream valley are to have the front downspouts drain to the front yards. The backs of these lots are to be graded and have a sufficient slope to get a minimum 30' rooftop disconnection credit.
3. A detailed review of the stormwater management computations will occur at the time of detailed plan review.
4. All upland water quality structures must be a minimum of five feet off of private property lines.
5. The untreated drainage areas to the proposed end of line surface sand filters must not exceed ten acres. The storage depth over surface sand filters is not to exceed two feet without hazard signage or four feet with hazard signage. The drainage area for the underground water quality structures is to be limited to two acres.
6. Prior to permanent vegetative stabilization, all disturbed areas must be topsoiled per the latest Montgomery County Standards and Specifications for Topsoiling.
7. Due to the size of this development a full-time, third-party, on-site, sediment control inspector is required to assure that the goals of the Water Quality Plan are not being met.

Payment of a stormwater management contribution in accordance with Section 2 of the Stormwater Management Regulation 4-90 **is not required.**

This letter must appear on the sediment control/stormwater management plan at its initial submittal. The concept approval is based on all stormwater management structures being located outside of the Public Utility Easement, the Public Improvement Easement, and the Public Right of Way unless specifically approved on the concept plan. Any divergence from the information provided to this office; or additional information received during the development process; or a change in an applicable Executive Regulation may constitute grounds to rescind or amend any approval actions taken, and to reevaluate the site for additional or amended stormwater management requirements. If there are subsequent additions or modifications to the development, a separate concept request shall be required.

Philip R. Hughes  
November 16, 2012  
Page 4

If you have any questions regarding these actions, please feel free to contact  
Leo Galanko at (240) 777-6242.

Sincerely,  


Richard R. Brush, Manager  
Water Resources Section  
Division of Land Development Services

RRB:img:CN242587

cc: R. Kronenberg (MNCPPC-DR)  
J. Penn (MNCPPC-ED)  
W. Green (MCDEP)  
L. Galanko  
SM File # 242587

Qn: on-site 29.0 ac  
QI: on-site 29.0 ac.  
Recharge provided



DEPARTMENT OF ENVIRONMENTAL PROTECTION

Isiah Leggett  
County Executive

Robert G. Hoyt  
Director

**Attachment to the Final Water Quality Plan for Cabin Branch (Winchester III Property)  
Description of BMP Monitoring Requirements**

SM: # 242587

Date: October 1, 2012

The purpose of this attachment is to add specificity to the standard monitoring requirements and procedures contained in the BMP monitoring protocols. Some supplemental QA/QC, data analysis, reporting and record keeping tasks will be explained in this attachment. It is to be used in conjunction with the Attachment to the Final Water Quality Plan for Cabin Branch (SM#207133) dated December 18, 2007.

This BMP monitoring is being done to document the achievements of these site performance goals:

1. Protect the streams and aquatic habitat;
2. Maintain the natural on-site stream channels;
3. Minimize storm flow run off increases;
4. Identify and protect stream banks prone to erosion and slumping;
5. Minimize increases to ambient water temperatures;
6. Minimize sediment loading;
7. Maintain stream base flows;
8. Protect springs, seeps, and wetlands;
9. Minimize nutrient loading; and
10. Control insecticides, pesticides and toxic substances.

The purpose of the data analysis and reporting is to describe quantitatively how performance goals are met. Monitoring efforts and reports must employ scientific methods in an attempt to determine effectiveness of BMPs. Monitoring is to be done according to DEP BMP Monitoring Protocols. Consistent methods are to be used so results can be compared with other BMP monitoring projects. Some supplemental requirements are provided in this attachment. Prior to initiation of monitoring, consultants must contact DEP and DPS to review monitoring locations, procedures, and requirements. Thorough and careful analysis of data is required. Methods of data analysis may vary depending on the results obtained. Methods and assumptions should be detailed. DEP BMP Monitoring Protocols are available at the following web site.  
<http://www.montgomerycountymd.gov/content/dep/spa/pdf%20files/bmpprotocols.pdf>



## Monitoring Requirements

1. BMP monitoring reports must include a table with dates of all major construction activities which take place on the site (Groundbreaking, clearing, grading, sediment control construction, sediment control maintenance, BMP conversion, pond maintenance, etc.) and follow the SPA BMP monitoring report structure found at: <http://www.montgomerycountymd.gov/content/dep/downloads/bmpchecklist.pdf> .
2. Items 2 through 9 in the attachment letter to SM#207133 remain as written.
3. Frequency of sampling is to be quarterly (i.e. one storm sample per quarter). Storms should have at least one half inch of rainfall in a 24 hour period to be counted towards this requirement. The storms during which the data was collected should be characterized for duration and total rainfall. The storm frequency (return interval) should be reported using the National Oceanic and Atmospheric Administration (NOAA) Precipitation Frequency Data Server ([http://dipper.nws.noaa.gov/hdsc/pfds/orb/md\\_pfds.html](http://dipper.nws.noaa.gov/hdsc/pfds/orb/md_pfds.html)). Results should be examined to determine the efficiency of the structure and percent removal of pollutants. Data should be compared to past periods and published results for similar structures. Graphs should be provided to support conclusions.
4. Pollutant removal efficiency may be determined for one individual SWM structure. The structure will be chosen prior to the issuing of a post-construction monitoring permit. Monitoring will require the collection of automated flow-weighted storm composite samples at the inflow and outflow points of each structure. Useable storm samples (i.e. meets qualifying event guidelines, has positive and reasonable flow values and calculated pollutant loadings, etc.) must be collected from all sampling locations to be counted towards meeting the requirement.

Frequency of sampling is to be quarterly (i.e. one storm sample per quarter). Storms should have at least one half inch of rainfall in a 24 hour period to be counted towards this requirement. The storms during which the data was collected should be characterized for duration and total rainfall. The storm frequency (return interval) should be reported using the National Oceanic and Atmospheric Administration (NOAA) Precipitation Frequency Data Server ([http://dipper.nws.noaa.gov/hdsc/pfds/orb/md\\_pfds.html](http://dipper.nws.noaa.gov/hdsc/pfds/orb/md_pfds.html)). Results should be examined to determine the efficiency of the structure and percent removal of pollutants. Data should be compared to past periods and published results for similar structures. Graphs should be provided to support conclusions.

Samples should be analyzed for the parameters in table 1. All structures are to be monitored quarterly. Analysis will evaluate effects of differing site designs, whether pollutant removal efficiency changes over time, and compare removal efficiencies with published results. Drainage area, percent imperviousness, percent and total area of road

surface, amount of open section or closed section roadways are to be reported and considered in the analysis.

5. Performance of any pervious concrete may be monitored. Locations, methods and frequency will be determined during detailed plan review.
6. Locations of all monitoring stations are to be approved by DEP and DPS. GIS locations are preferred, but a map with the approximate locations marked will be acceptable for the initial submission. GIS data will need to be included as part of the data submission with the annual report. DEP will create an ArcMap layer showing locations of all monitoring stations in the Cabin Branch watershed.

**Table 1. Pollutant parameters, lab methods and detection limits**

Parameter	Method	MDL	RDL
Nitrate + Nitrite	L10-107-04-1A	0.010 to 0.011mg/L as N	0.2 mg/L
TKN	L10-107-06-2-D	0.05 mg/L	0.50 mg/L
Orthophosphorus	EPA 365.3	0.01 mg/L	0.01mg/L
Total Phosphorus	L10-115-01-1-E	0.063 to 0.064 mg/L	0.2 mg/L
Total Suspended Solids	SM 2540 D	N/A	1.0 mg/L
Total Cadmium	EPA 200.8 REV5.4, 200.9	0.1 to 1.0 µg/L	2 to 5 µg/L
Total Copper	EPA 200.8 REV 5.4	0.5 to 8 µg/L	2 to 5 µg/L
Total Lead	EPA 200.8 REV 5.4, 200.9	0.1 to 3 µg/L	2 to 5 µg/
Total Zinc	EPA 200.8 REV 5.4, 200.9	0.6 to 16 µg/L L	2 to 10 µg/L
BOD	SM 5210 B	0.95 mg/L	2.0 mg/L
COD	EPA 410.4	N/A	N/A

The duration for item 2 remains as written in the attachment letter to SM#207133. Item 3 will begin once sediment control structures are in place and terminate when the entire site has been converted to post-construction stormwater management. Item 4 will commence following as-built approval and issuance of a post-construction stream monitoring bond. Post-construction monitoring duration is five years.

An annual report on BMP monitoring is due to DEP by **October 31** of each year. Additionally, quarterly progress reports are to be submitted. These reports are to document the status of the ongoing monitoring, identify any problems, and assure monitoring is on schedule. BMP monitoring reports are to be delivered with data in an electronic format DEP and DPS. All information submitted to DEP will be public information that DEP may freely copy and distribute.

Questions on the monitoring requirements and procedures may be directed to the following personnel:

William Green  
(240) 777-7745  
[william.green@montgomerycountymd.gov](mailto:william.green@montgomerycountymd.gov)

Leo Galanko (DPS)  
(240) 777-6242  
[leo.galanko@montgomerycountymd.gov](mailto:leo.galanko@montgomerycountymd.gov)



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## FIRE MARSHAL COMMENTS

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---

**DATE:** 19-Dec-12  
**TO:** Gary Unterberg  
Rodgers Consulting, Inc.  
**FROM:** Marie LaBaw  
**RE:** Cabin Branch - Winchester Phase 3  
820120150

---

### PLAN APPROVED

1. Review based only upon information contained on the plan submitted **19-Dec-12**. Review and approval does not cover unsatisfactory installation resulting from errors, omissions, or failure to clearly indicate conditions on this plan.
2. Correction of unsatisfactory installation will be required upon inspection and service of notice of violation to a party responsible for the property.

Martin O'Malley, *Governor*  
Anthony G. Brown, *Lt. Governor*



Beverley K. Swaim-Staley, *Secretary*  
Melinda B. Peters, *Administrator*

May 17, 2012

Ms. Catherine Conlon  
Chairwoman Development Review  
Committee (DRC)  
Maryland National Capital  
Park & Planning Commission  
8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

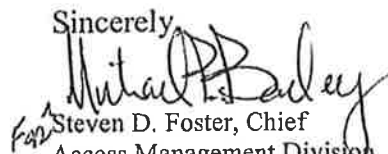
RE: Montgomery County  
MD 121 @ Broadway Avenue  
Interim Street Connection  
**"Cabin Branch" Winchester-Phase 3**  
SHA Tracking No. 10APMO026XX  
County Tracking No. 8202120150  
Mile Post: 3.1

Dear Ms. Conlon:

The State Highway Administration (SHA) appreciates the opportunity to review the new site plan application with supporting materials associated with the Winchester-Phase 3 Section of the Cabin Branch project located in Montgomery County, which was received on April 24, 2012.

The SHA is currently reviewing plans for the relocation of MD 121 associated with the Cabin Branch Development. SHA has no objection to approval of this phase of development. However, access to the site will need a temporary access permit issued by this office. In addition, SHA requests that the County withhold use & occupancy until MD 121 improvements are constructed.

Please reference the SHA tracking number on future submissions. If you have any questions regarding our comments or need clarifications, feel free to contact Mr. Michael Bailey at (410)- 545-5593 or call our toll free number in Maryland only 1-800-876-4142 extension 5593 or by emailing ([mbailey@sha.state.md.us](mailto:mbailey@sha.state.md.us)).

Sincerely,  
  
Steven D. Foster, Chief  
Access Management Division

SDF/JWR/MB

Ms. Catherine Conlon  
**“Cabin Branch”**  
**Winchester –Phase 3**  
**SHA Tracking No. 10APMO026XX**  
County Tracking No. 8202120150  
Page 2

cc: Mr. Miguel Andrews, SHA-District Traffic Engineering Office  
Mr. Fernando Benitez, Engineer/Loiederman Soltesz Associates, Inc. / 2 Research Place,  
Suite 100 Rockville, Maryland 20850  
Ms. Shandale Forbes, SHA- Access Management Division  
Mr. Victor Grafton, SHA- District 3 Utility Engineer  
Mr. Matt Harrell, SHA- Community Design Division  
Ms. Sylke Knuppel, Developer/ Winchester Homes, Inc. /6905 Rockledge Drive, Suite  
800 Bethesda, Maryland 20817  
Mr. Greg Luck, Montgomery County Department of Transportation  
Ms. Kate Mazzara, SHA- District 3 ADE Special Programs  
Mr. Mark McKenzie, SHA-Access Management Division  
Mr. D. Scott Newill, SHA- Access Management Division  
Mr. Cedric Ward, SHA-District 3 ADE Traffic  
Mr. Brian Young, SHA- District 3 Metropolitan District Engineer

## Pereira, Sandra

---

**From:** Farhadi, Sam <Sam.Farhadi@montgomerycountymd.gov>  
**Sent:** Wednesday, February 20, 2013 10:55 AM  
**To:** Gary Unterberg  
**Cc:** Pereira, Sandra; sylke.knuppel@whihomes.com; Matthew Wessel  
**Subject:** RE: Cabin Branch 8-20120150

Hi Sandra,

I have received and reviewed the recent submittal for the above site plan last revised on 2/11/13 and printed on 2/15/13 and it seems that our comments below have been addressed.

Please note the applicant has provided documentations that utility companies accepted the current situation that does not provide PUE along some of the streets.

Please let me know if you have any question.

Sam

-----Original Message-----

**From:** Gary Unterberg [<mailto:GUnterberg@RODGERS.com>]  
**Sent:** Monday, February 11, 2013 10:21 AM  
**To:** Farhadi, Sam  
**Cc:** Pereira, Sandra; [sylke.knuppel@whihomes.com](mailto:sylke.knuppel@whihomes.com); Matthew Wessel  
**Subject:** RE: Cabin Branch 8-20120150

Hi Sam, per our conversation Friday, the e-mail below was to confirm that DPS is generally ok with the Win 3 site plan and that we would wrap up the comments noted early this week. We will address the comments below and get a plan to you shortly.

Gary

**Gary F. Unterberg, RLA, LEED AP**  
**Sr. Vice President**  
**Rodgers Consulting, Inc**  
240-912-2117 Direct  
301-873-4858 Cell

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---

**From:** Farhadi, Sam [<mailto:Sam.Farhadi@montgomerycountymd.gov>]  
**Sent:** Friday, February 08, 2013 12:53 PM  
**To:** Gary Unterberg  
**Cc:** Pereira, Sandra  
**Subject:** Cabin Branch 8-20120150

Hi Gary,

This is to document our conversation today on the above project. Here are the items that need to be addressed:

- The sidewalks at the intersection of Dowitcher Way and Clarksburg Road to intersect outside of the handicap ramp. Or, add a note that what is provided in that area is just schematic/not part of this submission and for details refer to separate road improvement plans;
- Provide a clear and visible note on all plan view site plan sheets stating that no surface feature is to be located within the sidewalk;
- Provide a note about the bike path on Clarksburg Road indicating that will be built by Cabin Branch Management under a separate phase of the same project;
- The applicant has indicated that they have coordinated with all utility companies and they have all accepted the current situation that does not provide PUE along some of the streets. Please confirm this;
- Sheet 11 needs to include a clear and visible note indicating that all non-County standard details on this sheet apply to on-site/private areas;
- Provide an updated date for this submission that I can reference in my recommendation to MNCPPC.

Please let me know if you have any question.

Sam



## Pereira, Sandra

---

**From:** Turpin, Janice <Janice\_Turpin@mcpsmd.org>  
**Sent:** Friday, February 22, 2013 5:59 PM  
**To:** 'Gary Unterberg'  
**Cc:** Harris, Samantha; 'sylke.knuppel@whihomes.com'; Matthew Wessel; Pereira, Sandra; Harris, Samantha  
**Subject:** RE: Cabin Branch- Winchester Phase 3 Schools

Gary,

As there is no impact upon the school site or the adjacent street with the filing of the WIN 3 Site Plan, MCPS has no comment. Thank you for sending us the drawing for our review and record.

**Janice M. Turpin | Real Estate Management Team Leader**

**Montgomery County Public Schools**

**45 W. Gude Drive, Suite 4000, Rockville, Maryland 20850**

Voice: 240-314-1069 | Fax: 240-314-3003

<http://www.montgomeryschoolsmd.org/departments/facilities/REM/>

**PLEASE NOTE: Our office moved on December 17, 2012.**

---

**From:** Gary Unterberg [mailto:GUnterberg@RODGERS.com]  
**Sent:** Wednesday, February 20, 2013 12:54 PM  
**To:** Turpin, Janice; 'Sandra.Pereira@montgomeryplanning.org' (Sandra.Pereira@montgomeryplanning.org)  
**Cc:** Harris, Samantha; 'sylke.knuppel@whihomes.com'; Matthew Wessel  
**Subject:** RE: Cabin Branch- Winchester Phase 3 Schools

Samantha and Janice, the composite Win 3 site plan is attached. The school site and Dunlin (adjacent street) were approved with the Win 1 site plan that has not changed. The Win 3 phase is across the street from the school.

Give me a call if you have any questions.

Gary

**Gary F. Unterberg, RLA, LEED AP**  
**Sr. Vice President**  
**Rodgers Consulting, Inc**  
240-912-2117 Direct  
301-873-4858 Cell

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---

**From:** Turpin, Janice [mailto:Janice\_Turpin@mcpsmd.org]  
**Sent:** Tuesday, February 19, 2013 1:31 PM  
**To:** Gary Unterberg  
**Cc:** Harris, Samantha; 'sylke.knuppel@whihomes.com'; Matthew Wessel  
**Subject:** FW: Cabin Branch- Winchester Phase 3 Schools

Hi, Gary,

Mary Pat's position was filled by Samantha Harris, who is copied on this reply. You can send plans to me. Sam and I will review together. Thanks for the historic background and file copies. We agree that if non-adjacent phases are amended that do not impact the school site, we will not have comment. But we do like to keep abreast of development status.

Thanks so much for contacting us.

--jmt  
REM Team  
240-314-1069

---

**From:** Gary Unterberg [<mailto:GUnterberg@RODGERS.com>]  
**Sent:** Tuesday, February 19, 2013 12:17 PM  
**To:** Turpin, Janice  
**Cc:** [sylke.knuppel@whihomes.com](mailto:sylke.knuppel@whihomes.com); Matthew Wessel  
**Subject:** FW: Cabin Branch- Winchester Phase 3 Schools

Hi Janice,

It was good to see you before the holidays. Who is reviewing site plans since Mary Pat retired? The reviewer at MNCPPC has asked us to contact MCPS for the Win 3 site plan since it is next to the Cabin Branch elementary school. We are not changing anything related to the school and it is on an adjoining approved site plan.

Take a look at the attached info and the e-mail below. If you are all set send me an e-mail, or let me know who we should talk to.

Thanks  
Gary

**Gary F. Unterberg, RLA, LEED AP**  
**Sr. Vice President**  
**Rodgers Consulting, Inc**  
240-912-2117 Direct  
301-873-4858 Cell

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---

**From:** Matthew Wessel  
**Sent:** Monday, February 18, 2013 2:15 PM  
**To:** Sandra Pereira ([sandra.pereira@mncppc-mc.org](mailto:sandra.pereira@mncppc-mc.org))  
**Cc:** [sylke.knuppel@whihomes.com](mailto:sylke.knuppel@whihomes.com); Gary Unterberg  
**Subject:** Cabin Branch- Winchester Phase 3 Schools

Good Morning Sandra,

I have attached an approval letter from Montgomery County Public Schools for your reference. Montgomery County Public Schools (MCPS) has reviewed the preliminary layout for the school site and a rough grading plan for the School Site during the review of the Infrastructure Site Plan. When the Winchester- Phase 1 site plan was amended it was requested that MCPS reconfirm their approval of this layout because the school property was included within the area covered by the

Winchester- Phase 1 site plan. I have attached an email from MCPS stating that as long as the school plan and grading associated with it has not changed then the plan is acceptable. Since the school site is not part of the area covered within the Winchester- Phase 3 site, and since the school concept and grading have not been changed by the Winchester- Phase 3 site plan, no further review by MCPS is necessary.

Please let me know if you have any questions.

Thanks.

**Matthew J. Wessel, RLA, LEED AP**  
**Sr. Planner/Sr. Associate**  
**Rodgers Consulting, Inc**  
240-912-2121 Direct  
301-366-9040 Cell

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[www.rodgers.com](http://www.rodgers.com)

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421 East Patrick Street  
Frederick, MD 21705-0488  
(301) 694-4420 Fax: 234-678-2642  
bwarren@firstenergycorp.com

KCI Technologies  
936 Ridgebrook Road  
Sparks, MD 21152

Attn: Kevin Adelsberger

December 19, 2012


Re: Cabin Branch Winchester 3 Site Plan No. 820110150 Public Utility Easement

Dear Kevin:

We've completed a review of the Proposed PUE Exhibit (Plan) dated December 19, 2012 for the Cabin Branch site plan application noted above, located at Clarksburg, MD in the southwest quadrant of the intersection of Interstate 270 and State Route 121 Clarksburg Road. Based on this review, we are reasonably confident that the proposed PUE Layout is adequate and can be utilized to obtain acceptable electrical layout for the subdivision. To accommodate the proposed PUE Exhibit, a services agreement will be required between Potomac Edison and the customer in advance of construction and at the developer's expense in order to deviate from the standard front lot construction per our MD Tariff and construction requirements. Provided this agreement is obtained with the customer, we accept the proposed plan for your submission to the county for approvals.

Potomac Edison will make every reasonable effort to route the electric facilities through the PUE; however, the company reserves the right to locate facilities outside the PUE if necessary to obtain an acceptable design. Potomac Edison will require its own standard easement of 10' to be granted in addition to (overlapping) the PUE for all electric facilities (5' easement where streetlights only are required). This easement must be kept free and clear of any obstructions such as trees, shrubs, buildings or other permanent structures.

Best regards,

 Brandon Warrentfeltz

Cc: Sylke Knuppel, Winchester Homes  
Cc: Gary Unterberg, RCI



6801 Industrial Road  
Springfield, Virginia 22151

KCI Technologies  
936 Ridgebrook Road  
Sparks, MD 21152

Attn: Kevin Adelsberger

January 11, 2013

Re: Cabin Branch Winchester 3 Site Plan No. 820110150 Public Utility Easement

Dear Kevin:

Washington Gas has reviewed of the Proposed PUE Exhibit (Plan) dated December 19, 2012 for the Cabin Branch site plan applications noted above, located at Clarksburg, MD in the southwest quadrant at the intersection of Interstate 270 and State Route 121 Clarksburg Road. Based on this review, we are reasonably confident that the proposed PUE Layout is adequate and can be utilized to obtain acceptable natural gas service for the subdivision. This evaluation is based on a PUE Exhibit and utility layout information provided by the project team and our anticipated need for easements. It is not based on final engineering or final design. Additional specific easements may be required as our design progresses.

Based on the above information and stated limitations, it is our opinion that the current street and lot layout can be served by Washington Gas.

Best regards,

A handwritten signature in black ink that reads "Jack Higgins".

Washington Gas  
Jack Higgins  
6801 Industrial Road  
Springfield, VA 22151

Cc: Sylke Knuppel, Winchester Homes  
Cc: Gary Unterberg, RCI

KCI Technologies  
936 Ridgebrook Road  
Sparks, MD 21152

Attn: Kevin Adelsberger

December 28, 2012

Re: Cabin Branch Winchester 3 Site Plan No. 820110150 Public Utility Easement

Dear Kevin:

Verizon has reviewed the Proposed PUE Exhibit (Plan) dated December 28, 2012 for the Cabin Branch site plan applications noted above, located at Clarksburg, MD in the southwest quadrant at the intersection of Interstate 270 and State Route 121 Clarksburg Road. Based on this review, we are reasonably confident that the proposed PUE Layout is adequate and can be utilized to obtain acceptable service layout for the subdivision as long as these easements do not conflict with other easements.

This evaluation is based on a PUE Exhibit and utility layout information provided by the project team and our anticipated need for easements. It is not based on final engineering or final design. Additional specific easements may be required as our design progresses. Verizon reserves the right to serve property from any part of the property with developer building conduit and power if required to the designated area.

Based upon our review of the plans and the above limitations, it is our opinion that the current street, layout, and PUE plan for Cabin Branch can be used by Verizon to service Cabin Branch.

Best regards,



Anthony D. Smith  
Verizon Engineering  
anthony.d.smith@verizon.com  
301 282-2467

Cc: Sylke Knuppel, Winchester Homes  
Cc: Gary Unterberg, RCI

## Appendix C

**CABIN BRANCH TDR ALLOCATION**  
**Approved Development Plan Methodology**  
 (incorporated into Preliminary Plan and Infrastructure Site Plan)

<u>Total Units</u>	1886
-less MPDUs	-210
<u>Total Market Units</u>	<u>1676</u>

<u>Base Density</u>		=	806 units
403.1 ac RMX-1/TDR @ 2du/ac (Original RMX-1/TDR area prior to rezoning)			
15 ac RE-1/TDR @ 1 du/ac		=	15 units
			821 units

<u>Market Density Above Base</u> (1676-821=855)	855 units
Less multifamily adjustment	<u>-220 units</u>
(1 TDR for 2 multifamily units = 439 ÷ 2 = 220)	
<u>Total TDRs</u>	<u>635</u>

**TDR Adjustment for Increased Number of MPDUs (236 v. 210) at Infrastructure Site Plan**

(26 additional MPDUs result in 26 fewer units requiring TDRs; no TDRs required for MPDUs)	
<u>Total TDRs</u>	<u>609</u>

**TDR Allocation Among Properties**

(Assuming 1886 units including 439 multifamily and 1447 single family, with 236 (235.75) MPDUs)

**Gosnell, Adventist, Winchester (including Concordia)**

<u>Total Units</u>	1261
-less MPDUs (157.63)	<u>-158</u>
<u>Total Market Units</u>	1103

<u>Base Density</u>	573
---------------------	-----

<u>Market Density Above Base</u>	530
Less multifamily adjustment ( 306 ÷ 2 = 153)	<u>-153</u>
<u>Total TDRs</u>	<u>377**</u>

**Toll Brothers**

<u>Total Units</u>	625
-less MPDUs (78.13)	<u>-79</u>
<u>Total Market Units</u>	546

<u>Base Density</u>	248
---------------------	-----

<u>Market Density Above Base</u>	298
-Less multifamily adjustment ( 133 ÷ 2 = 66)	<u>-66</u>
<u>Total TDRs</u>	<u>232</u>

\*NOTE: Due to decimal rounding the total number of MPDUs and TDRs vary from the individual property allocations

**CABIN BRANCH WIN 1 SITE PLAN TDR ALLOCATION**

<u>Total Units</u>	440
--------------------	-----

Percent of Maximum dwelling Units (440÷1261=34.89)	34.89%
---	--------

Percentage applied to  
 \*\*TDR requirement (34.89% x 377=131.53) = 132 TDRs required

**CABIN BRANCH WIN 2 SITE PLAN TDR ALLOCATION**

<u>Total Units</u>	341
--------------------	-----

Percent of Maximum dwelling Units (341÷1261=27.04)	27.04%
---	--------

Percentage applied to  
 \*\*TDR requirement (27.04% x 377=101.94) = 102 TDRs required

**CABIN BRANCH WIN 3 SITE PLAN TDR ALLOCATION**

<u>Total Units</u>	185
--------------------	-----

Percent of Maximum dwelling Units (185÷1261=14.67)	14.67%
---	--------

Percentage applied to  
 \*\*TDR requirement (14.67% x 377=55.30) = 56 TDRs required

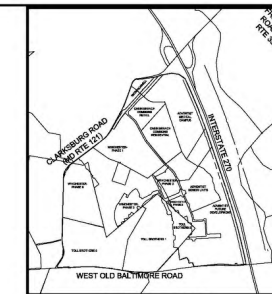


## Appendix D

**SHEET INDEX** (- indicates relevant Site Plans)

Sheet Description	Site Plan References
1. COVER SHEET	OVERALL
2. APPROVALS SHEET	OVERALL
3. OVERALL PLAN	OVERALL
4. FOREST CONSERVATION WORKSHEETS	OVERALL
5. 30 SCALE PLAN	WIN1, GOS
6. 30 SCALE PLAN	WIN1, GOS
7. 30 SCALE PLAN	WIN1, GOS
8. 30 SCALE PLAN	ADV-N
9. 30 SCALE PLAN	ADV-N
10. 30 SCALE PLAN	WIN1, GOS
11. 30 SCALE PLAN	WIN1
12. 30 SCALE PLAN	WIN1
13. 30 SCALE PLAN	ADV-N
14. 30 SCALE PLAN	INFRA C AMEND
15. 30 SCALE PLAN	INFRA C AMEND
16. 30 SCALE PLAN	INFRA C AMEND, POND 13
17. 30 SCALE PLAN	WIN1
18. 30 SCALE PLAN	WIN1
19. 30 SCALE PLAN	WIN1
20. 30 SCALE PLAN	WIN1, WIN3
21. 30 SCALE PLAN	WIN1, WIN3
22. 30 SCALE PLAN	WIN1
23. 30 SCALE PLAN	WIN1
24. 30 SCALE PLAN	WIN1, WIN2
25. 30 SCALE PLAN	WIN1, WIN2, INFRA C AMEND
26. 30 SCALE PLAN	WIN2, INFRA C AMEND
27. 30 SCALE PLAN	WIN2
28. 30 SCALE PLAN	INFRA C AMEND
29. 30 SCALE PLAN	INFRA C AMEND
30. 30 SCALE PLAN	INFRA C AMEND
31. 30 SCALE PLAN	WIN1, WIN2
32. 30 SCALE PLAN	WIN1, WIN2
33. 30 SCALE PLAN	WIN1, WIN2
34. 30 SCALE PLAN	WIN1, WIN3
35. 30 SCALE PLAN	WIN3
36. 30 SCALE PLAN	WIN3
37. 30 SCALE PLAN	WIN3
38. 30 SCALE PLAN	WIN3
39. 30 SCALE PLAN	WIN1, WIN3
40. 30 SCALE PLAN	WIN1, WIN2
41. 30 SCALE PLAN	WIN2
42. 30 SCALE PLAN	WIN1, WIN2
43. 30 SCALE PLAN	WIN2
44. 30 SCALE PLAN	WIN2, INFRA C AMEND
45. 30 SCALE PLAN	INFRA C AMEND
46. 30 SCALE PLAN	WIN2
47. 30 SCALE PLAN	
48. 30 SCALE PLAN	POND 3
49. 30 SCALE PLAN	POND 8
50. 30 SCALE PLAN	
51. 30 SCALE PLAN	
52. 30 SCALE PLAN	
53. 30 SCALE PLAN	
54. 30 SCALE PLAN	POND 9
55. 30 SCALE PLAN	
56. 30 SCALE PLAN	POND 2
57. 30 SCALE PLAN	
58. 30 SCALE PLAN	WIN1, INFRA C AMEND
59. 30 SCALE PLAN	INFRA C AMEND
60. PLANTING DETAILS AND NOTES	OVERALL
61. SIGNIFICANT TREE DETAILS	OVERALL
62. FC TRACKING DETAILS	OVERALL
63. FC PLANTING DETAILS	OVERALL
63A. FC PHASING PLAN	OVERALL

See Sheet 62 for detailed tracking information.



VICINITY MAP  
1"=2000'



LOCATION MAP  
SCALE: 1"=400'

Qualified Professional Certificate  
Exclusive to this sheet.

Date \_\_\_\_\_  
Dusty Rood  
Qualified Professional  
COMAR 08.19.06.01

**OWNER/DEVELOPER'S CERTIFICATE**

The Undersigned agrees to execute all the features of the Site Plan Approval No. \_\_\_\_\_ including Approval Conditions, Development Program, and Certified Site Plan.  
Developer's Name: Cabin Branch Management, LLC - Duke Knuppel, Company Contact Person  
Address: 8905 Rockledge Drive #800 Bethesda, MD 20817  
Phone: (301) 803-4855  
Signature: \_\_\_\_\_

M-NCPPC SITE PLAN # 82005015B  
M-NCPPC SITE PLAN # 82005015C  
M-NCPPC SITE PLAN # 820060240  
M-NCPPC SITE PLAN # 82006029A  
M-NCPPC SITE PLAN # 820110080  
M-NCPPC SITE PLAN # 820120150



The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.

REVISION	DATE	REVISION	DATE	REVISION	DATE
REVISED PER P&P COMMENTS -LSA	4/20/07	REVISED FOR PER LSA	10/2/07		
REVISED PER P&P COMMENTS FROM 8/20/07-LSA	8/20/07	REVISED FOR SIGNATURE SET - RCJ/nm	1/2/012		
REVISED PER P&P COMMENTS FROM 11/20/07-LSA	12/20/07	REVISED FOR COMBINED RCJ/LSA SHEETS - RCJ	3/20/12		
REVISED PER P&P COMMENTS FROM 1/4/08-LSA	1/2/008	REVISED FOR WIN3 SUBMITTAL - RCJ	4/20/12		
REVISED PER P&P COMMENTS -LSA	9/20/09	REVISED FOR WISC '12 ALIGNMENT CHANGE	5/20/12		
REVISED PER P&P COMMENTS FROM 11/20/09-LSA	04/20/10	REVISED FOR WISC '12 ALIGNMENT CHANGE -P&P COMMENTS	9/20/12		
REVISED PER SP REVISIONS-LSA	4/20/11	REVISED FOR WIN3 (ALL SHEETS)	2/20/13		
REVISED FOR PER-LSA	8/20/11				

Applicant: Cabin Branch Management LLC  
6905 Rockledge Drive, Suite 800  
Bethesda, Maryland 20817  
Phone: (301) 803-4855  
Fax: (301) 803-4929  
Contact: Sylke Knuppel, P.E.

**CABIN BRANCH**  
ELECTION DISTRICT NO. 2  
MONTGOMERY COUNTY, MARYLAND

**RODGERS CONSULTING**  
19847 Century Boulevard  
Suite 200  
Germantown, Maryland 20874  
Ph: 301 948-6700 (Main)  
Ph: 301 253 6809 (Frederick)  
Ph: 301 948 6256  
www.rodgers.com

BY	DATE
BASE DATA	
DESIGNED	
DRAWN	
ENGINEERED	
RODGERS CONTACT	
RELEASE FOR	
BY _____	DATE _____

FINAL FOREST CONSERVATION PLAN  
CABIN BRANCH

SCALE: 1"=400'
JOB NO. 782A5
DATE OCT., 2012
SHEET No. 1 of 63

# FFCP PLAN APPROVALS



The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.

REVISION	DATE	REVISION	DATE	REVISION	DATE
REVISED PER PMP COMMENTS -LSA	4/20/07	REVISED FOR PR -LSA	10/2/07		
REVISED PER PMP COMMENTS FROM 8/20/07-LSA	9/2/07	REVISED FOR SIGNATURE SET - RCL/m	1/2/12		
REVISED PER PMP COMMENTS FROM 1/4/08-LSA	1/2/08				
REVISED PER OPS COMMENTS -LSA	8/20/09				
REVISED PER PMP COMMENTS FROM 11/30/09-LSA	4/20/10				
REVISED PER SP REVISIONS-LSA	4/20/11				
REVISED FOR PR -LSA	8/20/11				

Applicant: Cabin Branch Management LLC  
 6905 Rockledge Drive, Suite 800  
 Bethesda, Maryland 20817  
 Phone: (301) 803-4855  
 Fax: (301) 803-4929  
 Contact: Sylke Knuppel, P.E.

**CABIN BRANCH**  
 ELECTION DISTRICT NO. 2  
 MONTGOMERY COUNTY, MARYLAND



BASE DATA	BY	DATE
DESIGNED		
DRAWN		
REVIEWED		
RODGERS CONTACT		
RELEASE FOR		
BY _____		DATE _____

**FINAL FOREST CONSERVATION PLAN**  
**CABIN BRANCH**

**OWNER/DEVELOPER'S CERTIFICATE**

The Undersigned agrees to execute all the features of the Site Plan Approval No. \_\_\_\_\_ including Approval Conditions, Development Program, and Certified Site Plan.

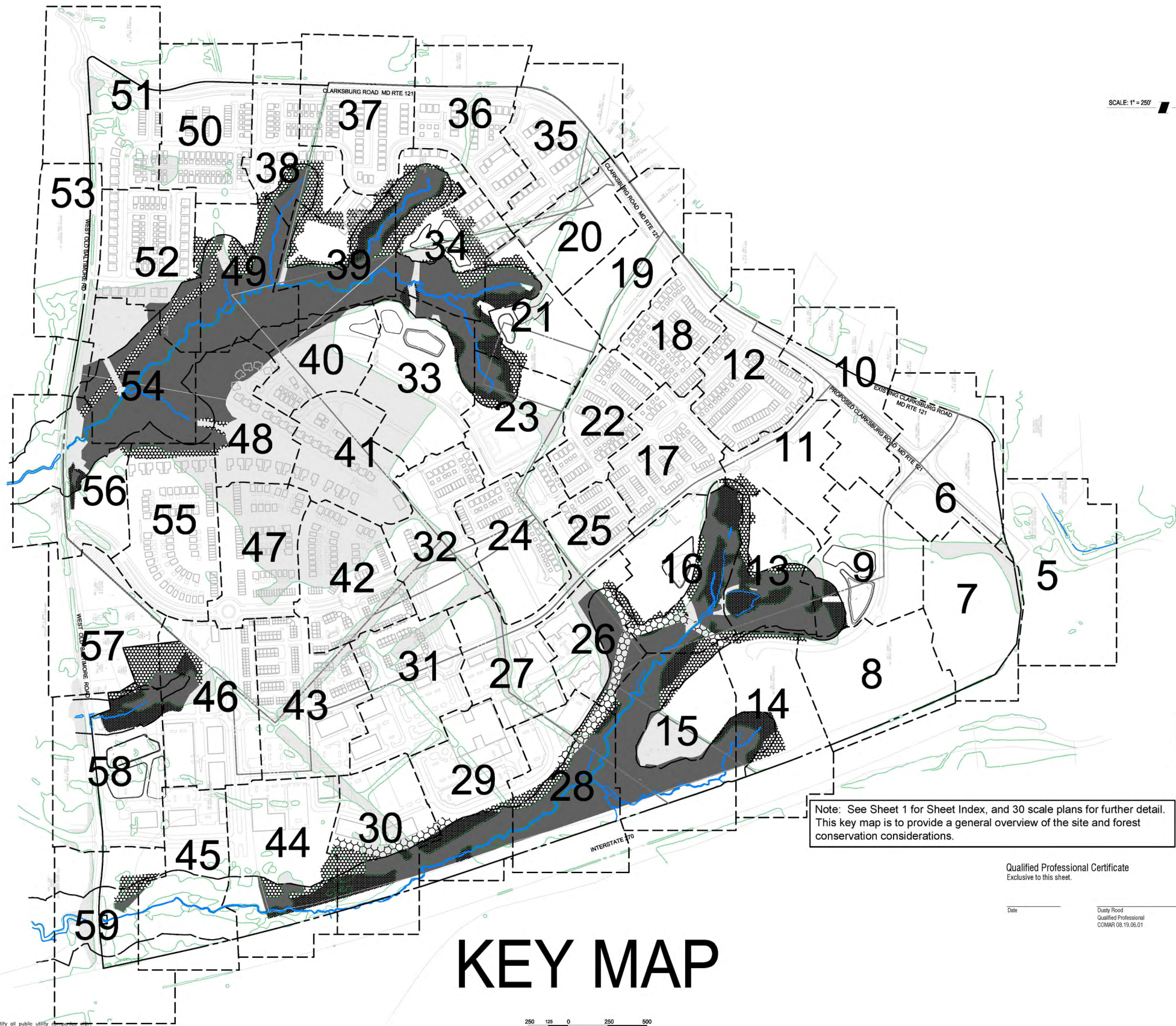
Developer's Name: Cabin Branch Management, LLC, 6905 Rockledge Drive, Suite 800, Bethesda, MD 20817  
 Control Person

Address: 6905 Rockledge Drive #800 Bethesda, MD 20817  
 Phone: (301) 803-4855  
 Signature: \_\_\_\_\_

**Qualified Professional Certificate**  
 Exclusive to this sheet.

Date \_\_\_\_\_  
 Dually Flood  
 Qualified Professional  
 COMAR 08.19.06.01

SCALE	N/A
JOB No.	782A5
DATE	OCT., 2012
SHEET No.	2 of 63



SCALE: 1" = 250'

**LEGEND**

- FOREST PLANTING
- FOREST TO BE REMOVED
- FOREST TO BE SAVED

Note: See Sheet 1 for Sheet Index, and 30 scale plans for further detail. This key map is to provide a general overview of the site and forest conservation considerations.

Qualified Professional Certificate  
Exclusive to this sheet.

Date: \_\_\_\_\_  
Dusty Road  
Qualified Professional  
COMAR 08.19.06.01

**OWNER/DEVELOPER'S CERTIFICATE**

The Undersigned agrees to execute all the features of the Site Plan Approval No. 820120130 including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: Cabin Branch Management, LLC, a fully owned company

Address: 8905 Rockledge Drive #900 Bethesda, MD 20817

Phone: (301) 853-4855

Signature: \_\_\_\_\_

# KEY MAP



**CALL "MISS UTILITY" AT 1-800-257-7777**  
48 Hours Before Start Of Construction

The excavator must notify all public utility companies of any underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.

REVISION	DATE	REVISION	DATE	REVISION	DATE
REV. PER P&P COMMENTS - LSA	4/20/07	REV. FOR PLANNING BOARD - LSA	08/13/11		
REV. PER P&P COMMENTS FROM 8/23/07 - LSA	9/10/07	REVISED FOR SIGNATURE SET - RCJ/bmm	1/23/12		
REV. PER P&P COMMENTS FROM 11/20/07 - LSA	12/09/07	REVISED FOR WINS SUBMITTAL - RCJ/bmm	4/29/12		
REV. PER P&P COMMENTS FROM 1/4/08 - LSA	1/30/08				
REV. PER DPS SWM & SC COMMENTS - LSA	9/20/09				
REV. PER P&P COMMENTS FROM 11/20/09 - LSA	4/20/10				
REV. PER SITE PLAN REVISING - LSA	4/20/11				
REV. FOR PLANNING BOARD - LSA	08/02/11				

Applicant: Cabin Branch Management LLC  
6905 Rockledge Drive, Suite 800  
Bethesda, Maryland 20817  
Phone: (301) 803-4855  
Fax: (301) 803-4929  
Contact: Sylke Knuppel, P.E.

**CABIN BRANCH**  
ELECTION DISTRICT NO. 2  
MONTGOMERY COUNTY, MARYLAND

**RODGERS CONSULTING**  
19847 Century Boulevard  
Suite 200  
Germantown, Maryland 20874  
Ph: 301 948-6700 (Main)  
Ph: 301 253-6809 (Frederick)  
Fax: 301 948-6256  
www.rodgers.com

BASE DATA	BY	DATE
DESIGNED		
DRAWN		
CHECKED		
RODGERS CONTACT		
RELEASE FOR		
BY: _____	DATE: _____	

**FINAL FOREST CONSERVATION PLAN**  
**CABIN BRANCH**

SCALE: 1" = 250'
JOB No. 78245
DATE: OCT., 2012
SHEET No. 3 of 63

# FOREST CONSERVATION WORKSHEETS

FOREST CONSERVATION WORKSHEET  
MPO-EMPL. EXCL. RESERVATION AREA FOR L20 RAMP AND WATER TOWER (1.49 AC.)  
5-Aug-02

NET TRACT AREA:  
A. Total tract area ... 215.83  
B. Land dedication acres (parks, county facility, etc.) ... 0.00  
C. Land dedication for roads or utilities (not being constructed by this plan) ... 11.25  
D. Area to remain in commercial agricultural production/use ... 0.00  
E. Other deductions (specify) ... 0.00  
F. Net Tract Area ... 204.58

LAND USE CATEGORY: (from Trees Technical Manual)  
Input the number "1" under the appropriate land use, limit to only one entry.

ARA	MDR	IDA	HDR	MPD	CIA
0	0	0	0	1	0

G. Afforestation Threshold ... 15% x F = 30.66  
H. Conservation Threshold ... 20% x F = 40.88

EXISTING FOREST COVER:  
I. Existing forest cover ... 37.21  
J. Area of forest above afforestation threshold ... 6.55  
K. Area of forest above conservation threshold ... 0.00

BREAK EVEN POINT:  
L. Forest retention above threshold with no mitigation ... 0.00  
M. Clearing permitted without mitigation ... 0.00

PROPOSED FOREST CLEARING:  
N. Total area of forest to be cleared ... 9.41  
O. Total area of forest to be retained ... 27.80

PLANTING REQUIREMENTS:  
P. Reforestation for clearing above conservation threshold ... 0.00  
Q. Reforestation for clearing below conservation threshold ... 18.82  
R. Credit for retention above conservation threshold ... 0.00  
S. Total reforestation required ... 18.82  
T. Total afforestation required ... 0.00  
U. Credit for landscaping (may not exceed 20% of "S") ... 3.76  
V. Total reforestation and afforestation required ... 15.06

\* Forest Retain and clear numbers reflect changes from the following activities:  
1) Additional forest clearing for the Farm Pond restoration (approved under previous amendments).  
2) Additional forest retention for the revised alignment of the D contact water and sewer lines.  
3) Forest clearing for pond 13 outlet.

FOREST CONSERVATION WORKSHEET  
RMX-17DR  
5-Aug-02

NET TRACT AREA:  
A. Total tract area ... 256.15  
B. Land dedication acres (parks, county facility, etc.) ... 0.00  
C. Land dedication for roads or utilities (not being constructed by this plan) ... 0.00  
D. Area to remain in commercial agricultural production/use ... 0.00  
E. Other deductions (specify) ... 0.00  
F. Net Tract Area ... 256.15

LAND USE CATEGORY: (from Trees Technical Manual)  
Input the number "1" under the appropriate land use, limit to only one entry.

ARA	MDR	IDA	HDR	MPD	CIA
0	0	0	0	1	0

G. Afforestation Threshold ... 15% x F = 38.42  
H. Conservation Threshold ... 20% x F = 51.23

EXISTING FOREST COVER:  
I. Existing forest cover ... 85.76  
J. Area of forest above afforestation threshold ... 47.34  
K. Area of forest above conservation threshold ... 34.53

BREAK EVEN POINT:  
L. Forest retention above threshold with no mitigation ... 58.14  
M. Clearing permitted without mitigation ... 27.62

PROPOSED FOREST CLEARING:  
N. Total area of forest to be cleared ... 48.68  
O. Total area of forest to be retained ... 37.08

PLANTING REQUIREMENTS:  
P. Reforestation for clearing above conservation threshold ... 8.63  
Q. Reforestation for clearing below conservation threshold ... 28.30  
R. Credit for retention above conservation threshold ... 0.00  
S. Total reforestation required ... 36.93  
T. Total afforestation required ... 0.00  
U. Credit for landscaping (may not exceed 20% of "S") ... 7.38  
V. Total reforestation and afforestation required ... 29.55

FOREST CONSERVATION WORKSHEET  
MPO RESIDENTIAL  
5-Aug-02

NET TRACT AREA:  
A. Total tract area ... 61.76  
B. Land dedication acres (parks, county facility, etc.) ... 0.00  
C. Land dedication for roads or utilities (not being constructed by this plan) ... 0.00  
D. Area to remain in commercial agricultural production/use ... 0.00  
E. Other deductions (specify) ... 0.00  
F. Net Tract Area ... 61.76

LAND USE CATEGORY: (from Trees Technical Manual)  
Input the number "1" under the appropriate land use, limit to only one entry.

ARA	MDR	IDA	HDR	MPD	CIA
0	0	0	0	1	0

G. Afforestation Threshold ... 15% x F = 9.26  
H. Conservation Threshold ... 20% x F = 12.35

EXISTING FOREST COVER:  
I. Existing forest cover ... 5.27  
J. Area of forest above afforestation threshold ... 0.00  
K. Area of forest above conservation threshold ... 0.00

BREAK EVEN POINT:  
L. Forest retention above threshold with no mitigation ... 0.00  
M. Clearing permitted without mitigation ... 0.00

PROPOSED FOREST CLEARING:  
N. Total area of forest to be cleared ... 5.27  
O. Total area of forest to be retained ... 0.00

PLANTING REQUIREMENTS:  
P. Reforestation for clearing above conservation threshold ... 0.00  
Q. Reforestation for clearing below conservation threshold ... 10.54  
R. Credit for retention above conservation threshold ... 0.00  
S. Total reforestation required ... 10.54  
T. Total afforestation required ... 3.99  
U. Credit for landscaping (may not exceed 20% of "S") ... 2.10  
V. Total reforestation and afforestation required ... 12.43

FOREST CONSERVATION WORKSHEET  
LINTHJUM WEST REVISED  
5-Aug-02

NET TRACT AREA:  
A. Total tract area ... 7.14  
B. Land dedication acres (parks, county facility, etc.) ... 0.00  
C. Land dedication for roads or utilities (not being constructed by this plan) ... 0.00  
D. Area to remain in commercial agricultural production/use ... 0.00  
E. Other deductions (specify) ... 0.00  
F. Net Tract Area ... 7.14

LAND USE CATEGORY: (from Trees Technical Manual)  
Input the number "1" under the appropriate land use, limit to only one entry.

ARA	MDR	IDA	HDR	MPD	CIA
0	0	0	0	1	0

G. Afforestation Threshold ... 15% x F = 1.07  
H. Conservation Threshold ... 20% x F = 1.43

EXISTING FOREST COVER:  
I. Existing forest cover ... 1.49  
J. Area of forest above afforestation threshold ... 0.42  
K. Area of forest above conservation threshold ... 0.06

BREAK EVEN POINT:  
L. Forest retention above threshold with no mitigation ... 1.44  
M. Clearing permitted without mitigation ... 0.05

PROPOSED FOREST CLEARING:  
N. Total area of forest to be cleared ... 1.49  
O. Total area of forest to be retained ... 0.00

PLANTING REQUIREMENTS:  
P. Reforestation for clearing above conservation threshold ... 0.02  
Q. Reforestation for clearing below conservation threshold ... 2.86  
R. Credit for retention above conservation threshold ... 0.00  
S. Total reforestation required ... 2.87  
T. Total afforestation required ... 0.00  
U. Credit for landscaping (may not exceed 20% of "S") ... 0.57  
V. Total reforestation and afforestation required ... 2.30

FOREST CONSERVATION WORKSHEET  
WATER TOWER STORAGE FACILITY  
5-Aug-02

NET TRACT AREA:  
A. Total tract area ... 1.49  
B. Land dedication acres (parks, county facility, etc.) ... 0.00  
C. Land dedication for roads or utilities (not being constructed by this plan) ... 0.00  
D. Area to remain in commercial agricultural production/use ... 0.00  
E. Other deductions (specify) ... 0.00  
F. Net Tract Area ... 1.49

LAND USE CATEGORY: (from Trees Technical Manual)  
Input the number "1" under the appropriate land use, limit to only one entry.

ARA	MDR	IDA	HDR	MPD	CIA
0	0	0	0	0	1

G. Afforestation Threshold ... 15% x F = 0.22  
H. Conservation Threshold ... 15% x F = 0.22

EXISTING FOREST COVER:  
I. Existing forest cover ... 0.00  
J. Area of forest above afforestation threshold ... 0.00  
K. Area of forest above conservation threshold ... 0.00

BREAK EVEN POINT:  
L. Forest retention above threshold with no mitigation ... 0.00  
M. Clearing permitted without mitigation ... 0.00

PROPOSED FOREST CLEARING:  
N. Total area of forest to be cleared ... 0.00  
O. Total area of forest to be retained ... 0.00

PLANTING REQUIREMENTS:  
P. Reforestation for clearing above conservation threshold ... 0.00  
Q. Reforestation for clearing below conservation threshold ... 0.00  
R. Credit for retention above conservation threshold ... 0.00  
S. Total reforestation required ... 0.00  
T. Total afforestation required ... 0.22  
U. Credit for landscaping (may not exceed 20% of "S") ... 0.00  
V. Total reforestation and afforestation required ... 0.22

FOREST CONSERVATION WORKSHEET  
OFFSITE AREA A  
5-Aug-02

NET TRACT AREA:  
A. Total tract area ... 0.53  
B. Land dedication acres (parks, county facility, etc.) ... 0.00  
C. Land dedication for roads or utilities (not being constructed by this plan) ... 0.00  
D. Area to remain in commercial agricultural production/use ... 0.00  
E. Other deductions (specify) ... 0.00  
F. Net Tract Area ... 0.53

LAND USE CATEGORY: (from Trees Technical Manual)  
Input the number "1" under the appropriate land use, limit to only one entry.

ARA	MDR	IDA	HDR	MPD	CIA
1	0	0	0	0	0

G. Afforestation Threshold ... 20% x F = 0.11  
H. Conservation Threshold ... 50% x F = 0.27

EXISTING FOREST COVER:  
I. Existing forest cover ... 0.14  
J. Area of forest above afforestation threshold ... 0.03  
K. Area of forest above conservation threshold ... 0.00

BREAK EVEN POINT:  
L. Forest retention above threshold with no mitigation ... 0.00  
M. Clearing permitted without mitigation ... 0.00

PROPOSED FOREST CLEARING:  
N. Total area of forest to be cleared ... 0.14  
O. Total area of forest to be retained ... 0.00

PLANTING REQUIREMENTS:  
P. Reforestation for clearing above conservation threshold ... 0.00  
Q. Reforestation for clearing below conservation threshold ... 0.28  
R. Credit for retention above conservation threshold ... 0.00  
S. Total reforestation required ... 0.28  
T. Total afforestation required ... 0.00  
U. Credit for landscaping (may not exceed 20% of "S") ... 0.00  
V. Total reforestation and afforestation required ... 0.28

See Sheet 62 for summary and tracking information



The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35a of the Montgomery County Code.

REVISION	DATE	REVISION	DATE	REVISION	DATE
REVISED PER P&P COMMENTS-LSA	8/20/09	REVISED FOR P&P-LSA	10/20/11		
REVISED PER P&P COMMENTS FROM 8/20/07-LSA	8/20/07	REVISED FOR SIGNATURE SET - RCJ/hm	1/22/12		
REVISED PER P&P COMMENTS FROM 11/20/07-LSA	12/20/07	REVISED TO REMOVE NOTES PER P&P - RCJ/hm	3/29/12		
REVISED PER P&P COMMENTS FROM 1/4/08-LSA	1/28/08	REVISED FROM 1/28/12 APPROVAL TO INCLUDE SIGNATURE AND NAME FOR SIGNATURE SET	5/22/12		
REVISED PER P&P COMMENTS -LSA	9/20/09	REVISED FOR P&P COMMENTS-RCJ	9/20/12		
REVISED PER P&P COMMENTS FROM 11/20/09-LSA	11/20/09				
REVISED PER SP REVISIONS-LSA	4/20/11				
REVISED FOR P&P-LSA	9/20/11				

Applicant: Cabin Branch Management LLC  
6905 Rockledge Drive, Suite 800  
Bethesda, Maryland 20817  
Phone: (301) 803-4855  
Fax: (301) 803-4929  
Contact: Sytke Knuppel, P.E.

**CABIN BRANCH**  
ELECTION DISTRICT NO. 2  
MONTGOMERY COUNTY, MARYLAND

**RODGERS CONSULTING**  
19847 Century Boulevard  
Suite 200  
Germantown, Maryland 20874  
Ph: 301 848-4700 (Main)  
Ph: 301 253 6809 (Frederick)  
Fax: 301 848-0256  
www.rodgers.com

BASE DATA	BY	DATE
DESIGNED		
DRAWN		
ENGINEERED		
RODGERS CONTRACT		
RELEASE FOR		
BY _____	DATE _____	

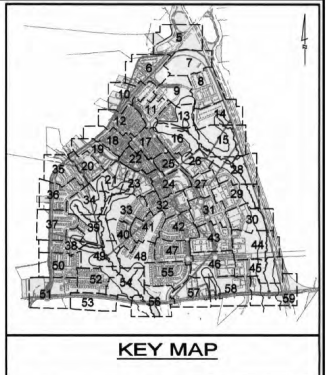
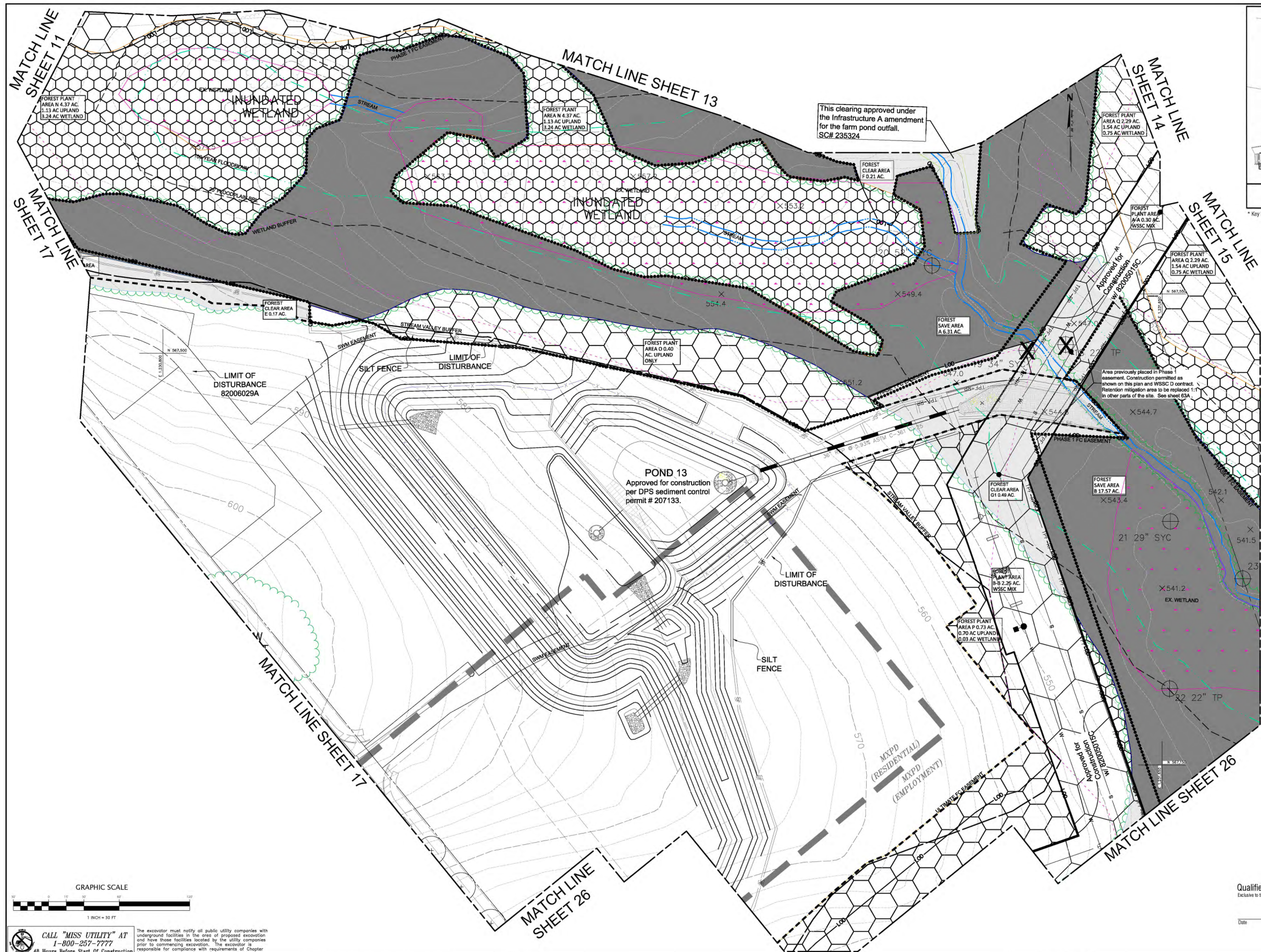
Qualified Professional Certificate  
Exclusive to this sheet.

Date \_\_\_\_\_  
Dusty Rood  
Qualified Professional  
COMAR 08.19.06.01

**OWNER/DEVELOPER'S CERTIFICATE**  
The Undersigned agrees to execute all the features of the Site Plan Approval No. \_\_\_\_\_ including Approval Conditions, Development Program, and Certified Site Plan.  
Developer's Name: Cabin Branch Management, LLC (Sytke Knuppel, Contact Person)  
Address: 6905 Rockledge Drive #800 Bethesda, MD 20817  
Phone: (301) 803-4855  
Signature: \_\_\_\_\_

**FINAL FOREST CONSERVATION PLAN  
CABIN BRANCH**

SCALE	N/A
JOB No.	78245
DATE	OCT., 2012
SHEET No.	4 of 63



\* Key Map was prepared by LSA, and is used above for reference.

- Legend**
- Stream Valley Buffer
  - 100' Floodplain
  - 25' Floodplain ERL
  - Non-Tidal Wetlands
  - Non-Tidal Wetland Buffer
  - Soils Lines and Text
  - Significant Tree and Critical Root Zone (CRZ)
  - Significant Tree to be removed
  - Existing Canopy Edge
  - Perennial or Intermittent Stream
  - Existing Contours
  - Proposed Contours
  - Limit of Disturbance
  - Super Silt Fence
  - Phase 1 Category 1 Forest Conservation Easement
  - Forest Retention
  - Afforestation (Upland/Wetland/WSSC mix)
  - Forest Clearing
  - Tree Protection Fence & Root Pruning
  - Long-term Easement Signage

- XX TREE WITH SPECIES SYMBOL CLAIMED FOR LANDSCAPE CREDIT.
  - TREE, NO LANDSCAPE CREDIT TAKEN.
- TREES WITH SPECIES SYMBOL (XX) ARE BEING CLAIMED FOR LANDSCAPE CREDIT. SEE SHEET 62 FOR LANDSCAPE CREDIT TABLE. SEE LANDSCAPE PLAN FOR DETAILS.

**OWNER/DEVELOPER'S CERTIFICATE**

The Undersigned agrees to execute all the features of the Site Plan Approval No. 820120150, including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: Cabin Branch Management, LLC By: Kyle Knuppel, Company Contact Person

Address: 8903 Rockledge Drive #900 Bethesda, MD 20817

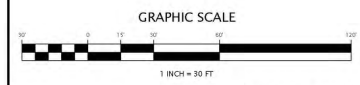
Phone: (301) 803-4855

Signature: \_\_\_\_\_

**Qualified Professional Certificate**  
Exclusive to this sheet only.

Date: \_\_\_\_\_

Dusty Flood  
Qualified Professional  
COMAR 08.19.06.01



**CALL "MISS UTILITY" AT 1-800-257-7777 48 Hours Before Start of Construction**

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.

REVISION	DATE	REVISION	DATE	REVISION	DATE
Revised for construction approval - minor grading	2/29/12				
Revised for C contract amendment - trees	5/22/12				
Revised for C amendment, revised alignment	9/4/12				
Revised for P&P comments	9/27/12				

Applicant: Cabin Branch Management LLC  
6905 Rockledge Drive, Suite 800  
Bethesda, Maryland 20817  
Phone: (301) 803-4855  
Fax: (301) 803-4929  
Contact: Sytke Knuppel, P.E.

**CABIN BRANCH**  
ELECTION DISTRICT NO. 2  
MONTGOMERY COUNTY, MARYLAND

**RODGERS CONSULTING**  
1847 Century Boulevard  
Suite 200  
Germantown, Maryland 20874  
Ph: 301 948 4700 (Main)  
Ph: 301 253 6809 (Frederick)  
Ph: 301 948 0261  
www.rodgers.com

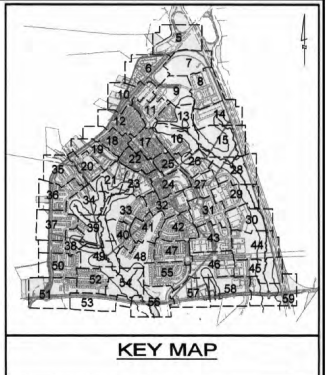
BY	DATE
BASE DATA	
DESIGNED	
DRAWN	
REVIEWED	
RODGERS CONTACT	
RELEASE FOR	
BY _____	DATE _____

**FINAL FOREST CONSERVATION PLAN  
CABIN BRANCH**

SCALE: 1" = 30'
JOB No: 78245
DATE: OCT., 2012
SHEET No: 16 of 63

**Legend**

- Stream Valley Buffer
- 100 yr Floodplain
- 20 Floodplain BFL
- Non-Tidal Wetlands
- Non-Tidal Wetland Buffer
- Soils Lines and Text
- Significant Tree and Critical Root Zone (CRZ)
- Significant Tree to be removed
- Existing Canopy Edge
- Perennial or Intermittent Stream
- Existing Contours
- Proposed Contours
- Limit of Disturbance
- Super Silt Fence
- Phase I Category 1 Forest Conservation Easement
- Forest Retention
- Allorestation (Upland/Wetland/WSSC mix)
- Forest Clearing
- Tree Protection Fence & Root Pruning
- Long-term Easement Signage



\* Key Map was prepared by LSA, and is used above for reference.

- XX • TREE WITH SPECIES SYMBOL CLAIMED FOR LANDSCAPE CREDIT.
  - TREE, NO LANDSCAPE CREDIT TAKEN.
- TREES WITH SPECIES SYMBOL (XX) ARE BEING CLAIMED FOR LANDSCAPE CREDIT. SEE SHEET 62 FOR LANDSCAPE CREDIT TABLE. SEE LANDSCAPE PLAN FOR DETAILS.

**OWNER/DEVELOPER'S CERTIFICATE**

The Undersigned agrees to execute all the features of the Site Plan Approval No. \_\_\_\_\_, including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: Cabin Branch Management, L.L.C. (Sylke Knuppel, Contact Person)  
 Company: \_\_\_\_\_  
 Address: 8908 Rockledge Drive #800 Bethesda, MD 20817  
 Phone: (301) 853-4855  
 Signature: \_\_\_\_\_

**Qualified Professional Certificate**  
 Exclusive to this sheet only.

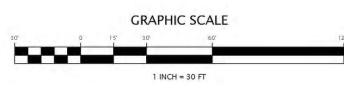
Date: \_\_\_\_\_  
 Darity Flood  
 Qualified Professional  
 COMAR 08.19.06.01

CALL "MISS UTILITY" AT 1-800-257-7777 48 Hours Before Start Of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.

REVISION	DATE	REVISION	DATE	REVISION	DATE
Revised for Vln-3 Site Plan submit	3/15/12				

Applicant: Cabin Branch Management L.L.C.  
 6905 Rockledge Drive, Suite 800  
 Bethesda, Maryland 20817  
 Phone: (301) 803-4855  
 Fax: (301) 803-4929  
 Contact: Sylke Knuppel, P.E.



**CABIN BRANCH**  
 ELECTION DISTRICT NO. 2  
 MONTGOMERY COUNTY, MARYLAND

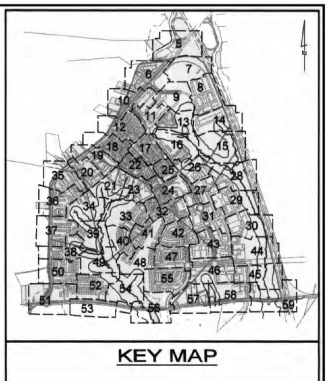
**RODGERS CONSULTING**  
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 Ph: 301 253 6809 (Frederick)  
 Fax: 301 948-6256  
 www.rodgers.com

BY	DATE
BASE DATA	
DESIGNED	
DRAWN	
REVIEWED	
RODGERS CONTACT	
RELEASE FOR	
BY _____	DATE _____

**FINAL FOREST CONSERVATION PLAN**  
**CABIN BRANCH**

SCALE	1" = 30'
JOB No.	78245
DATE	OCT., 2012
SHEET No.	20 of 63

- Legend**
- Stream Valley Buffer
  - 100 yr Floodplain
  - 20 Floodplain BFL
  - Non-Tidal Wetlands
  - Non-Tidal Wetland Buffer
  - Soils Lines and Text
  - Significant Tree and Critical Root Zone (CRZ)
  - Significant Tree to be removed
  - Existing Canopy Edge
  - Perennial or Intermittent Stream
  - Existing Contours
  - Proposed Contours
  - Limit of Disturbance
  - Super Silt Fence
  - Phase 1 Category 1 Forest Conservation Easement
  - Forest Retention
  - Allorestation (Upland/Wetland/WSSC mix)
  - Forest Clearing
  - Tree Protection Fence & Root Pruning
  - Long-term Easement Signage



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**OWNER/DEVELOPER'S CERTIFICATE**

The Undersigned agrees to execute all the features of the Site Plan Approval No. 620220150, including Approval Conditions, Development Program, and Certified Site Plan. Developer's Name: Cabin Branch Management, L.L.C. (Sylke Knuppel, Contact Person) Company Address: 8908 Rockledge Drive #800 Bethesda, MD 20817 Phone: (301) 853-4855 Signature: \_\_\_\_\_

**Qualified Professional Certificate**  
Exclusive to this sheet only.

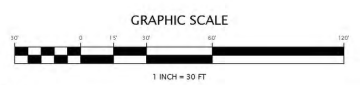
Date: \_\_\_\_\_ Duty Free Professional Qualified Professional COMAR 08.19.06.01

CALL "MISS UTILITY" AT 1-800-257-7777 48 Hours Before Start Of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.

REVISION	DATE	REVISION	DATE	REVISION	DATE
Revised for Vln-3 Site Plan submittal	3/15/12				

Applicant: Cabin Branch Management L.L.C.  
6905 Rockledge Drive, Suite 800  
Bethesda, Maryland 20817  
Phone: (301) 803-4855  
Fax: (301) 803-4929  
Contact: Sylke Knuppel, P.E.



**CABIN BRANCH**  
ELECTION DISTRICT NO. 2  
MONTGOMERY COUNTY, MARYLAND

**RODGERS CONSULTING**  
19847 Century Boulevard Suite 200 Germantown, Maryland 20874  
Ph: 301 948-6700 (Main) Ph: 301 253 6809 (Frederick) Fax: 301 948-6256 www.rodgers.com

BY	DATE
BASE DATA	
DESIGNED	
DRAWN	
REVIEWED	
RODGERS CONTACT	
RELEASE FOR	
BY _____	DATE _____

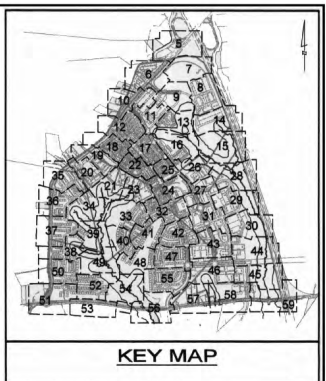
**FINAL FOREST CONSERVATION PLAN**  
CABIN BRANCH

SCALE	1" = 30'
JOB No.	78245
DATE	OCT., 2012
SHEET No.	21 of 63

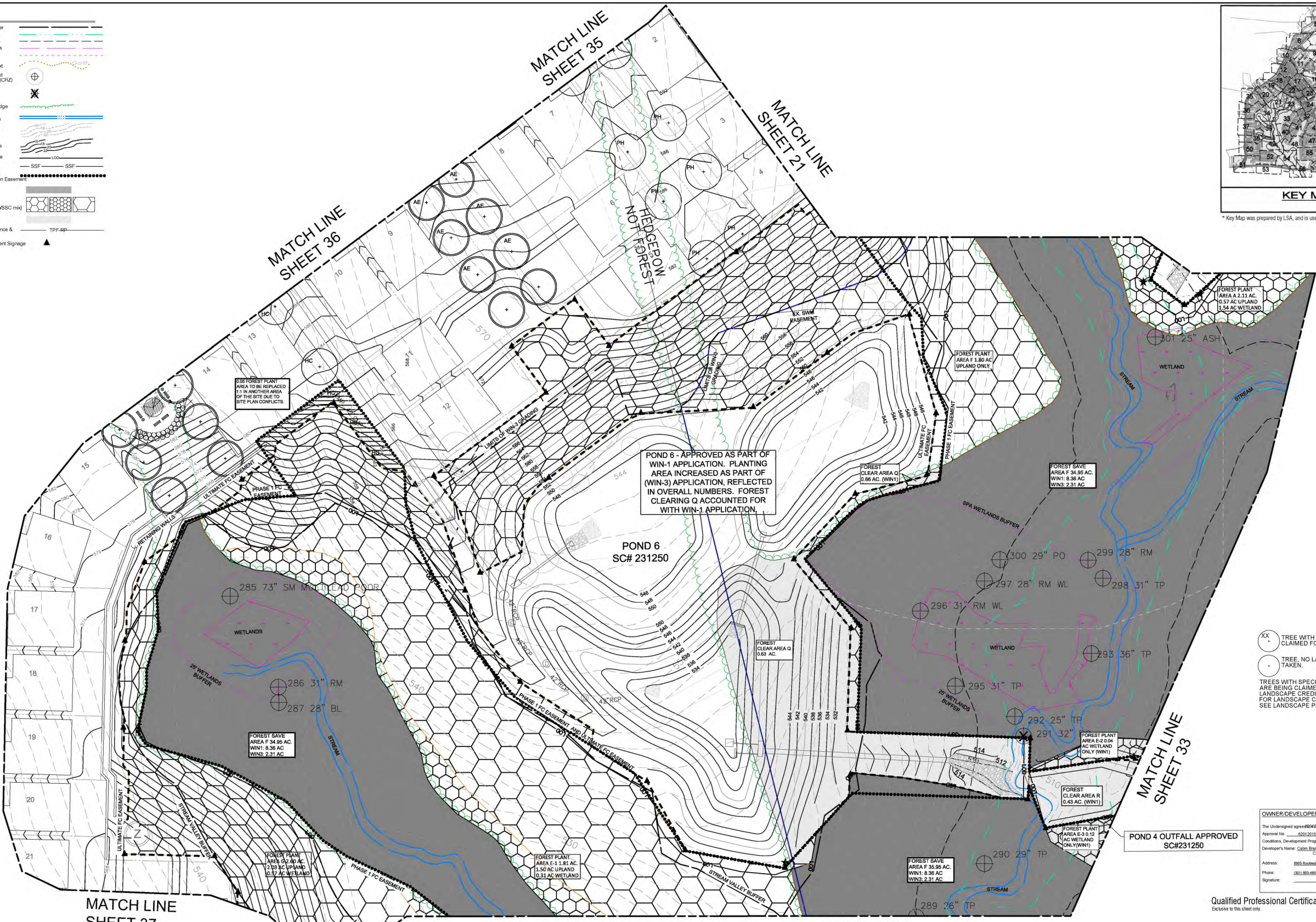


**Legend**

Stream Valley Buffer	
100 yd Floodplain	
20' Floodplain BPL	
Non-Tidal Wetlands	
Non-Tidal Wetland Buffer	
Soils Lines and Text	
Significant Tree and Critical Root Zone (CRZ)	
Significant Tree to be removed	
Existing Canopy Edge	
Perennial or Intermittent Stream	
Existing Contours	
Proposed Contours	
Limit of Disturbance	
Super Silt Fence	
Phase 1 Category 1 Forest Conservation Easement	
Forest Retention	
Allorestation (Upland/Wetland/WSSC mix)	
Forest Clearing	
Tree Protection Fence & Root Pruning	
Long-term Easement Signage	



\* Key Map was prepared by LSA, and is used above for reference.



POND 6 - APPROVED AS PART OF WIN-1 APPLICATION. PLANTING AREA INCREASED AS PART OF (WIN-3) APPLICATION. REFLECTED IN OVERALL NUMBERS. FOREST CLEARING Q ACCOUNTED FOR WITH WIN-1 APPLICATION.

- XX TREE WITH SPECIES SYMBOL CLAIMED FOR LANDSCAPE CREDIT.
- TREE, NO LANDSCAPE CREDIT TAKEN.
- TREES WITH SPECIES SYMBOL (XX) ARE BEING CLAIMED FOR LANDSCAPE CREDIT. SEE SHEET 62 FOR LANDSCAPE CREDIT TABLE. SEE LANDSCAPE PLAN FOR DETAILS.

**OWNER/DEVELOPER'S CERTIFICATE**

The Undersigned agrees to indemnify and hold harmless all the features of the Site Plan Approval No. \_\_\_\_\_, including Approval Conditions, Development Program, and Certified Site Plan. Developer's Name: Cabin Branch Management, LLC, Sylke Knuppel, Company.

Address: 8805 Rockledge Drive #800 Bethesda, MD 20817  
 Phone: (301) 803-4855  
 Signature: \_\_\_\_\_

Qualified Professional Certificate  
 Exclusive to this sheet only.

CALL "MISS UTILITY" AT 1-800-257-7777 48 Hours Before Start of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.

Applicant: Cabin Branch Management LLC  
 6905 Rockledge Drive, Suite 800  
 Bethesda, Maryland 20817  
 Phone: (301) 803-4855  
 Fax: (301) 803-4929  
 Contact: Sylke Knuppel, P.E.

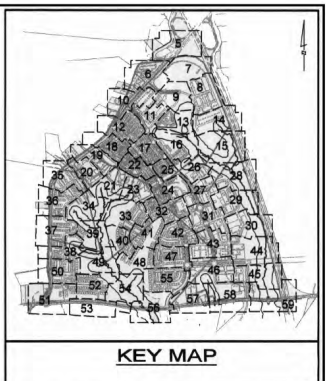
**CABIN BRANCH**  
 ELECTION DISTRICT NO. 2  
 MONTGOMERY COUNTY, MARYLAND

**RODGERS CONSULTING**  
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 19847 Century Boulevard Suite 200 Germantown, Maryland 20874  
 Pk: 301 948-4700 (Main) Pk: 301 253 6809 (Frederick) Pk: 301 948 6256 www.rodgers.com

BASE DATA	DESIGNED	BY	DATE
DESIGNED	REVISIONS		
RODGERS CONTACT	RELEASE FOR		
BY	DATE		

**FINAL FOREST CONSERVATION PLAN**  
**CABIN BRANCH**

SCALE	1" = 30'
JOB NO.	78245
DATE	OCT., 2012
SHEET No.	34 OF 63



- \* Key Map was prepared by LSA, and is used above for reference.
- Legend**
- Stream Valley Buffer
  - 100 yr Floodplain
  - 20 Floodplain BRP
  - Non-Tidal Wetlands
  - Non-Tidal Wetland Buffer
  - Soils Lines and Text
  - Significant Tree and Critical Root Zone (CRZ)
  - Significant Tree to be removed
  - Existing Canopy Edge
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  - Limit of Disturbance
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**OWNER/DEVELOPER'S CERTIFICATE**

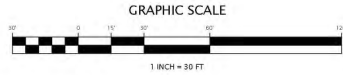
The Undersigned agrees to execute all the features of the Site Plan Approval No. 620220150, including Approval Conditions, Development Program, and Certified Site Plan. Developer's Name: Cabin Branch Management, LLC (Sylke Knuppel, Contact Person, Company). Address: 8908 Rockledge Drive #800 Bethesda, MD 20817. Phone: (301) 853-8993. Signature: \_\_\_\_\_

**Qualified Professional Certificate**  
Exclusive to this sheet only.

Date: \_\_\_\_\_  
Dusty Rood  
Qualified Professional  
COMAR 08.19.06.01

CALL "MISS UTILITY" AT 1-800-257-7777 48 Hours Before Start Of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.



REVISION	DATE	REVISION	DATE	REVISION	DATE
Revised for V&S submittal	4/17/12				

Applicant: Cabin Branch Management LLC  
6905 Rockledge Drive, Suite 800  
Bethesda, Maryland 20817  
Phone: (301) 803-4855  
Fax: (301) 803-4929  
Contact: Sylke Knuppel, P.E.

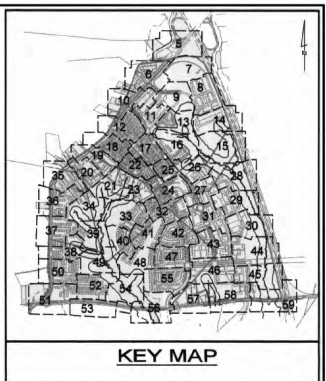
**CABIN BRANCH**  
ELECTION DISTRICT NO. 2  
MONTGOMERY COUNTY, MARYLAND

**RODGERS CONSULTING**  
19847 Century Boulevard  
Suite 200  
Germantown, Maryland 20874  
Ph: 301 948-6700 (Main)  
Ph: 301 253 6809 (Frederick)  
Ph: 301 948-6296  
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BY	DATE
BASE DATA	
DESIGNED	
DRAWN	
ENGINEERED	
RODGERS CONTACT	
RELEASE FOR	
BY _____	DATE _____

**FINAL FOREST CONSERVATION PLAN**  
CABIN BRANCH

SCALE	1" = 30'
JOB No.	782A5
DATE	OCT., 2012
SHEET No.	35 of 63



\* Key Map was prepared by LSA, and is used above for reference.

- Legend**
- Stream Valley Buffer
  - 100 yr Floodplain
  - 25 Floodplain BRL
  - Non-Tidal Wetlands
  - Non-Tidal Wetland Buffer
  - Soils Lines and Text
  - Significant Tree and Critical Root Zone (CRZ)
  - Significant Tree to be removed
  - Existing Canopy Edge
  - Perennial or Intermittent Stream
  - Existing Contours
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  - Limit of Disturbance
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  - Long-term Easement Signage

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**OWNER/DEVELOPER'S CERTIFICATE**

The Undersigned agrees to execute all the features of the Site Plan Approval No. 220120155, including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: Cabin Branch Management, LLC, 6905 Rockledge Drive, Suite 800, Bethesda, MD 20817  
 Contact Person: \_\_\_\_\_

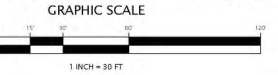
Address: 6905 Rockledge Drive #800 Bethesda, MD 20817  
 Phone: (301) 803-4855  
 Signature: \_\_\_\_\_

**Qualified Professional Certificate**  
 Exclusive to this sheet only.

Date: \_\_\_\_\_  
 Dusty Flood  
 Qualified Professional  
 COMAR 08.19.05.01

CALL "MISS UTILITY" AT 1-800-257-7777 48 Hours Before Start of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.



REVISION	DATE	REVISION	DATE	REVISION	DATE
Revised for V&T submit	4/17/12				

Applicant: Cabin Branch Management LLC  
 6905 Rockledge Drive, Suite 800  
 Bethesda, Maryland 20817  
 Phone: (301) 803-4855  
 Fax: (301) 803-4929  
 Contact: Sylke Knuppel, P.E.

MATCH LINE SHEET 37

**CABIN BRANCH**  
 ELECTION DISTRICT NO. 2  
 MONTGOMERY COUNTY, MARYLAND

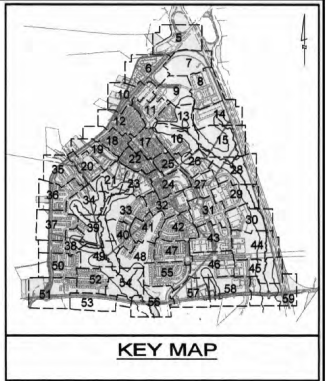
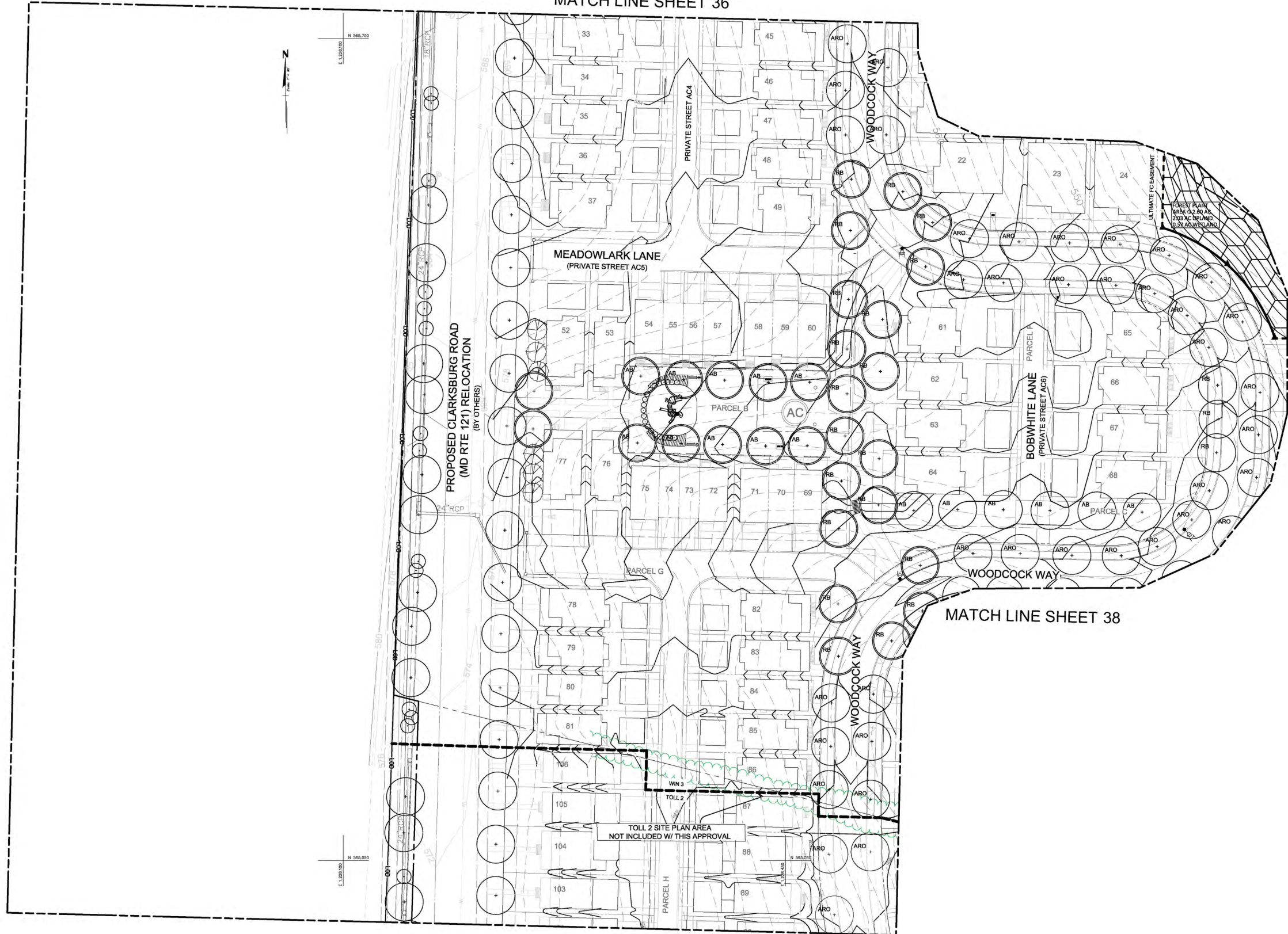
**RODGERS CONSULTING**  
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 Germantown, Maryland 20874  
 Ph: 301 948-6700 (Main)  
 Ph: 301 253 6809 (Frederick)  
 Fax: 301 948 6256  
 www.rogders.com

BY	DATE
DESIGNED	
DRAWN	
CHECKED	
RODGERS CONTACT	
RELEASE FOR	
BY _____	DATE _____

**FINAL FOREST CONSERVATION PLAN**  
**CABIN BRANCH**

SCALE: 1" = 30'
JOB No. 782A5
DATE: OCT., 2012
SHEET No. 36 OF 63

MATCH LINE SHEET 36



\* Key Map was prepared by LSA, and is used for reference.

**Legend**

- Stream Valley Buffer
- 100 yr Floodplain
- 25' Floodplain ERL
- Non-Tidal Wetlands
- Non-Tidal Wetland Buffer
- Soils Lines and Text
- Significant Tree and Critical Root Zone (CRZ)
- Significant Tree to be removed
- Existing Canopy Edge
- Potential or Intermittent Stream
- Existing Contours
- Proposed Contours
- Limit of Disturbance
- Super Silt Fence
- Phase I Category 1 Forest Conservation Easement
- Forest Retention
- Allocation (Upland/Wetland/WSSC mix)
- Forest Clearing
- Tree Protection Fence & Root Pruning
- Long-term Easement Signage

XX \* TREE WITH SPECIES SYMBOL CLAIMED FOR LANDSCAPE CREDIT.

• TREE, NO LANDSCAPE CREDIT TAKEN.

TREES WITH SPECIES SYMBOL (XX) ARE BEING CLAIMED FOR LANDSCAPE CREDIT. SEE SHEET 62 FOR LANDSCAPE CREDIT TABLE. SEE LANDSCAPE PLAN FOR DETAILS.

**OWNER/DEVELOPER'S CERTIFICATE**

The Undersigned agrees to execute all the features of the Site Plan Approval No. 220120150, including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: Cabin Branch Management, LLC, 6905 Rockledge Drive, Suite 200, Bethesda, MD 20817

Address: 6905 Rockledge Drive #200 Bethesda, MD 20817

Phone: (301) 803-4855

Signature: \_\_\_\_\_

**Qualified Professional Certificate**  
Exclusive to this sheet only.

Date: \_\_\_\_\_

Dusty Flood  
Qualified Professional  
COMAR 08.19.05.01

CALL "MISS UTILITY" AT 1-800-257-7777 48 Hours Before Start Of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.

REVISION	DATE	REVISION	DATE	REVISION	DATE
Revised for Vils-3 submit	4/17/12				

Applicant: Cabin Branch Management LLC  
6905 Rockledge Drive, Suite 800  
Bethesda, Maryland 20817  
Phone: (301) 803-4855  
Fax: (301) 803-4929  
Contact: Sylke Knuppel, P.E.

**CABIN BRANCH**  
ELECTION DISTRICT NO. 2  
MONTGOMERY COUNTY, MARYLAND

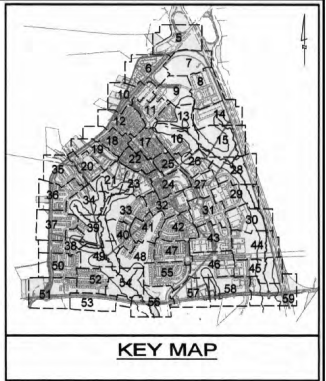
**RODGERS CONSULTING**  
19847 Century Boulevard  
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Ph: 301 948-6700 (Main)  
Ph: 301 253 6809 (Frederick)  
Ph: 301 948-6256  
www.rogders.com

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DRAWN	
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RELEASE FOR	
BY _____	DATE _____

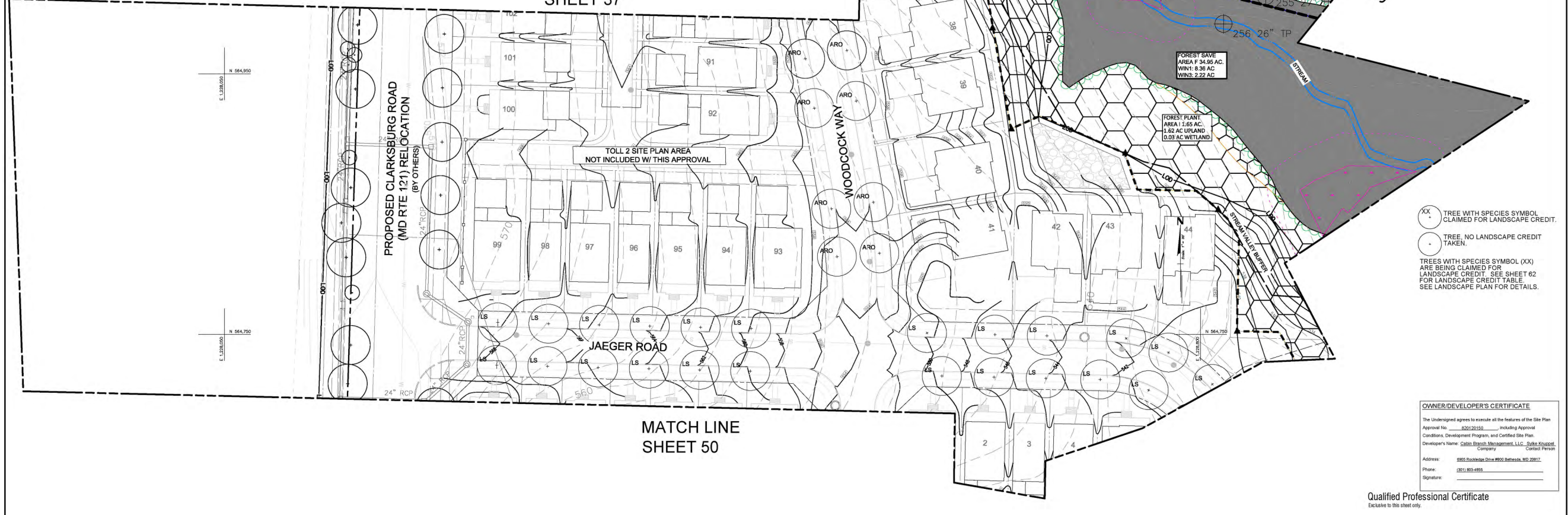
**FINAL FOREST CONSERVATION PLAN**  
**CABIN BRANCH**

SCALE	1" = 30'
JOB No.	78245
DATE	OCT., 2012
SHEET No.	37 of 63

- Legend**
- Stream Valley Buffer
  - 100 ft Floodplain
  - 25' Floodplain BFL
  - Non-Tidal Wetlands
  - Non-Tidal Wetland Buffer
  - Soils Lines and Text
  - Significant Tree and Critical Root Zone (CRZ)
  - Significant Tree to be removed
  - Existing Canopy Edge
  - Perennial or Intermittent Stream
  - Existing Contours
  - Proposed Contours
  - Limit of Disturbance
  - Super Silt Fence
  - Phase I Category 1 Forest Conservation Easement
  - Forest Retention
  - Afforestation (Upland/Wetland/WSSC mix)
  - Forest Clearing
  - Tree Protection Fence & Root Pruning
  - Long-term Easement Signage



Key Map was prepared by LSA, and is used above for reference.



- XX TREE WITH SPECIES SYMBOL CLAIMED FOR LANDSCAPE CREDIT.
  - TREE NO LANDSCAPE CREDIT TAKEN.
- TREES WITH SPECIES SYMBOL (XX) ARE BEING CLAIMED FOR LANDSCAPE CREDIT. SEE SHEET 62 FOR LANDSCAPE CREDIT TABLE. SEE LANDSCAPE PLAN FOR DETAILS.

**OWNER/DEVELOPER'S CERTIFICATE**

The Undersigned agrees to execute all the features of the Site Plan Approval No. 202120150 including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: Cabin Branch Management, LLC, a Delaware Limited Liability Company

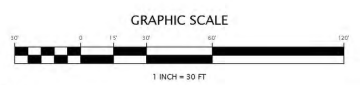
Address: 8900 Rockledge Drive #900 Bethesda, MD 20817

Phone: (301) 803-4855

Signature: \_\_\_\_\_

**Qualified Professional Certificate**  
Exclusive to this sheet only.

Date: \_\_\_\_\_  
Dusty Flood  
Qualified Professional  
COMAR 08.19.05.01



**CALL "MISS UTILITY" AT 1-800-257-7777 48 Hours Before Start Of Construction**

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.

REVISION	DATE	REVISION	DATE	REVISION	DATE
Revised for Vils-3 submit	4/17/12				

Applicant: Cabin Branch Management LLC  
6905 Rockledge Drive, Suite 800  
Bethesda, Maryland 20817  
Phone: (301) 803-4855  
Fax: (301) 803-4929  
Contact: Sylke Knuppel, P.E.

**CABIN BRANCH**  
ELECTION DISTRICT NO. 2  
MONTGOMERY COUNTY, MARYLAND

**RODGERS CONSULTING**  
19847 Century Boulevard  
Suite 200  
Germantown, Maryland 20874  
Ph: 301 348-6700 (Main)  
Ph: 301 253-6809 (Frederick)  
F: 301 348-6256  
www.rodgers.com

BY	DATE
BASE DATA	
DESIGNED	
DRAWN	
REVIEWED	
RODGERS CONTACT	
RELEASE FOR	
BY _____	DATE _____

**FINAL FOREST CONSERVATION PLAN  
CABIN BRANCH**

SCALE: 1" = 30'

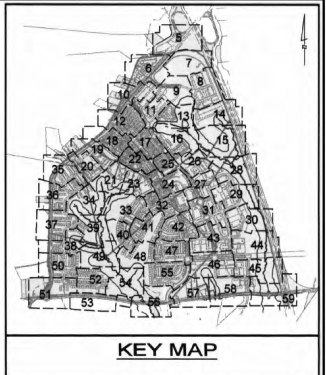
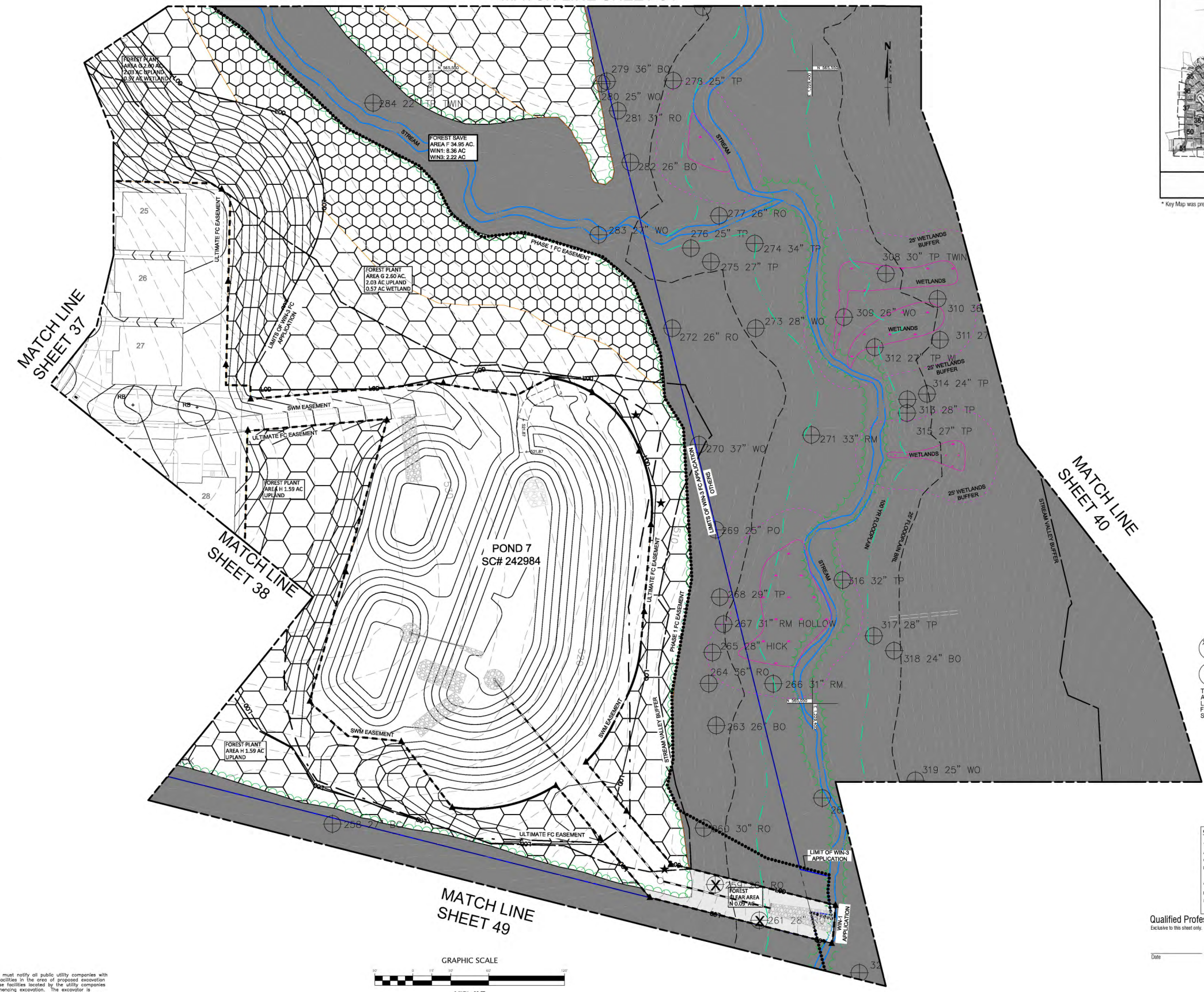
JOB No: 78245

DATE: OCT., 2012

SHEET No: 38 of 63

- Legend**
- Stream Valley Buffer
  - 100' Floodplain
  - 25' Floodplain BRL
  - Non-Tidal Wetlands
  - Non-Tidal Wetland Buffer
  - Soils Lines and Text
  - Significant Tree and Critical Root Zone (CRZ)
  - Significant Tree to be removed
  - Existing Canopy Edge
  - Perennial or Intermittent Stream
  - Existing Contours
  - Proposed Contours
  - Limit of Disturbance
  - Super Site Fence
  - Phase I Category I Forest Conservation Easement
  - Forest Retention
  - Allowation (Upland/Wetland/WSSC mix)
  - Forest Clearing
  - Tree Protection Fence & Root Pruning
  - Long-term Easement Signage

MATCH LINE SHEET 34



\* Key Map was prepared by LSA, and is used above for reference.

- XX TREE WITH SPECIES SYMBOL CLAIMED FOR LANDSCAPE CREDIT.
  - TREE, NO LANDSCAPE CREDIT TAKEN.
- TREES WITH SPECIES SYMBOL (XX) ARE BEING CLAIMED FOR LANDSCAPE CREDIT. SEE SHEET 62 FOR LANDSCAPE CREDIT TABLE. SEE LANDSCAPE PLAN FOR DETAILS.

**OWNER/DEVELOPER'S CERTIFICATE**

The Undersigned agrees to execute all the features of the Site Plan Approval No. 520120150, including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: Cabin Branch Management, LLC, Suite 200, Bethesda, MD 20817  
 Company: \_\_\_\_\_  
 Contact Person: \_\_\_\_\_  
 Address: 6905 Rockledge Drive #200 Bethesda, MD 20817  
 Phone: (301) 803-4855  
 Signature: \_\_\_\_\_

**Qualified Professional Certificate**  
 Exclusive to this sheet only.

Date: \_\_\_\_\_  
 Dusty Flood  
 Qualified Professional  
 COMAR 08.19.06.01

CALL "MISS UTILITY" AT 1-800-257-7777 48 Hours Before Start Of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.

REVISION	DATE	REVISION	DATE	REVISION	DATE
Revised for V-3 submit	4/17/12				

Applicant: Cabin Branch Management LLC  
 6905 Rockledge Drive, Suite 200  
 Bethesda, Maryland 20817  
 Phone: (301) 803-4855  
 Fax: (301) 803-4929  
 Contact: Sylke Knuppel, P.E.

**CABIN BRANCH**  
 ELECTION DISTRICT NO. 2  
 MONTGOMERY COUNTY, MARYLAND

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 Fax: 301 348-6256  
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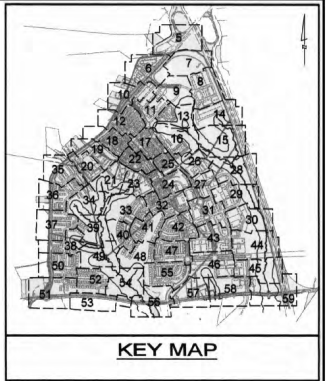
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CHECKED	
RODGERS CONTACT	
RELEASE FOR	
BY	DATE

**FINAL FOREST CONSERVATION PLAN**  
**CABIN BRANCH**

SCALE	1" = 30'
JOB No.	782A5
DATE	OCT., 2012
SHEET No.	39 of 63

**Legend**

Stream Valley Buffer	Limit of Disturbance	LOD
100 yr Floodplain	Super Silt Fence	SSF
20' Floodplain Buffer	Phase I Category 1	
Non-Tidal Wetlands	Forest Conservation Easement	
Non-Tidal Wetland	Forest Retention	
Soils Lines and Text	Afforestation (Upland/Wetland/WSSC mix)	
Significant Tree and Critical Root Zone (CRZ)	Forest Clearing	
Significant Tree to be removed	Tree Protection Fence & Root Pruning	TPF-PP
Existing Canopy Edge	Long-term Easement Signage	▲
Perennial or Intermittent Stream		
Existing Contours		
Proposed Contours		



XX + TREE WITH SPECIES SYMBOL CLAIMED FOR LANDSCAPE CREDIT.

○ TREE, NO LANDSCAPE CREDIT TAKEN.

TREES WITH SPECIES SYMBOL (XX) ARE BEING CLAIMED FOR LANDSCAPE CREDIT. SEE SHEET 62 FOR LANDSCAPE CREDIT TABLE. SEE LANDSCAPE PLAN FOR DETAILS.

**OWNER/DEVELOPER'S CERTIFICATE**

The undersigned agrees to execute all the features of the Site Plan Approval No. 8301200100 including Approval Conditions, Development Program, and Certified Site Plan. Developer's Name: Cabin Branch Management, LLC, Suite Knoppert, Contact Person: Company

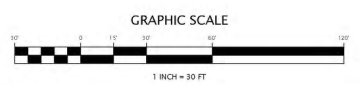
Address: 8905 Rockledge Drive #900 Bethesda, MD 20817  
 Phone: (301) 803-4855  
 Signature: \_\_\_\_\_

**Qualified Professional Certificate**  
 Exclusive to this sheet only.

Date: \_\_\_\_\_  
 Dusty Flood  
 Qualified Professional  
 COMAR 08.19.05.01

**CALL "MISS UTILITY" AT 1-800-257-7777**  
 48 Hours Before Start of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.



REVISION	DATE	REVISION	DATE	REVISION	DATE
Revised for Vln-3 submit	4/17/12				

Applicant: Cabin Branch Management LLC  
 6905 Rockledge Drive, Suite 800  
 Bethesda, Maryland 20817  
 Phone: (301) 803-4855  
 Fax: (301) 803-4929  
 Contact: Sylke Knuppel, P.E.

**CABIN BRANCH**  
 ELECTION DISTRICT NO. 2  
 MONTGOMERY COUNTY, MARYLAND

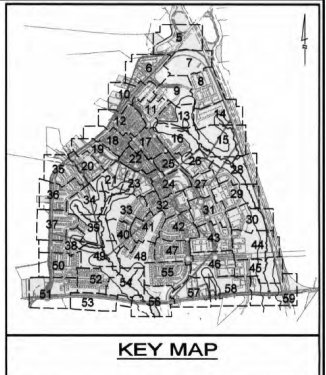
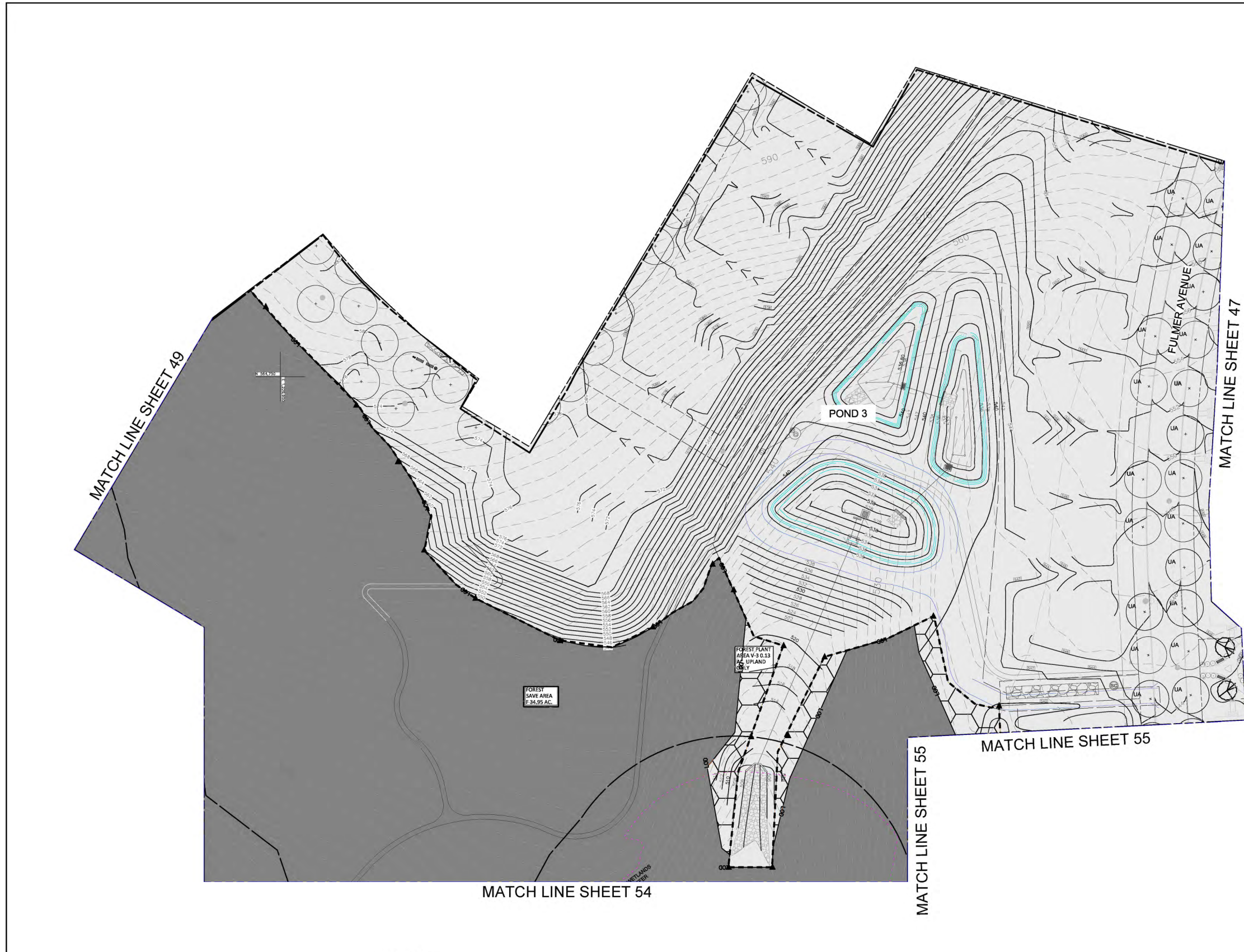
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BY	DATE	

**FINAL FOREST CONSERVATION PLAN**  
**CABIN BRANCH**

SCALE	1" = 30'
JOB No.	78245
DATE	OCT., 2012
SHEET No.	45 of 63



\* Key Map was prepared by LSA, and is used above for reference.

- Legend**
- Stream Valley Buffer 100 ft Floodplain
  - 25 Floodplain BRIL
  - Non-Tidal Wetlands
  - Non-Tidal Wetland Buffer
  - Soils Lines and Text
  - Significant Tree and Critical Root Zone (CRZ)
  - Significant Tree to be removed
  - Existing Canopy Edge
  - Perennial or Intermittent Stream
  - Existing Contours
  - Proposed Contours
  - Limit of Disturbance
  - Super SR Fence
  - Phase I Category 1 Forest Conservation Estimation
  - Forest Retention
  - Afforestation (Upland/Wetland/WSSC mix)
  - Forest Clearing
  - Tree Protection Fence & Root Pruning
  - Long-term Easement Signage

- TREE WITH SPECIES SYMBOL CLAIMED FOR LANDSCAPE CREDIT.
  - TREE, NO LANDSCAPE CREDIT TAKEN.
- TREES WITH SPECIES SYMBOL (XX) ARE BEING CLAIMED FOR LANDSCAPE CREDIT. SEE SHEET 62 FOR LANDSCAPE CREDIT TABLE. SEE LANDSCAPE PLAN FOR DETAILS.

**OWNER/DEVELOPER'S CERTIFICATE**

The Undersigned agrees to execute all the features of the Site Plan Approval No. 20120150 including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: Cabin Branch Management, LLC, a Delaware Limited Liability Company

Address: 6905 Rockledge Drive #900 Bethesda, MD 20817

Phone: (301) 803-4855

Signature: \_\_\_\_\_

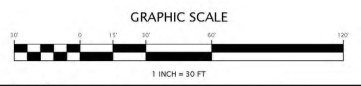
**Qualified Professional Certificate**  
Exclusive to this sheet only.

Date: \_\_\_\_\_

Dusty Flood  
Qualified Professional  
COMAR 08.19.06.01

**CALL "MISS UTILITY" AT 1-800-257-7777**  
48 Hours Before Start Of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.



REVISION	DATE	REVISION	DATE	REVISION	DATE
Revised for construction approval - notes grading	2/29/12				
Revised for U contract amendment - trees	5/22/12				
Revised for C amendment, revised alignment	5/17/12				

Applicant: Cabin Branch Management LLC  
6905 Rockledge Drive, Suite 800  
Bethesda, Maryland 20817  
Phone: (301) 803-4855  
Fax: (301) 803-4929  
Contact: Sylke Knuppel, P.E.

**CABIN BRANCH**  
ELECTION DISTRICT NO. 2  
MONTGOMERY COUNTY, MARYLAND

**RODGERS CONSULTING**  
19847 Century Boulevard  
Suite 200  
Germantown, Maryland 20874  
Ph: 301 948-6700 (Main)  
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F: 301 948-6256  
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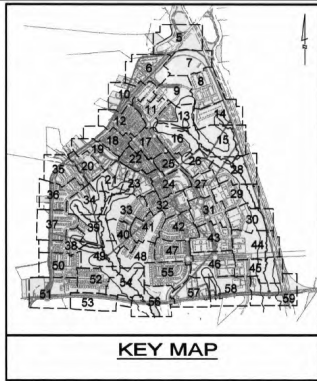
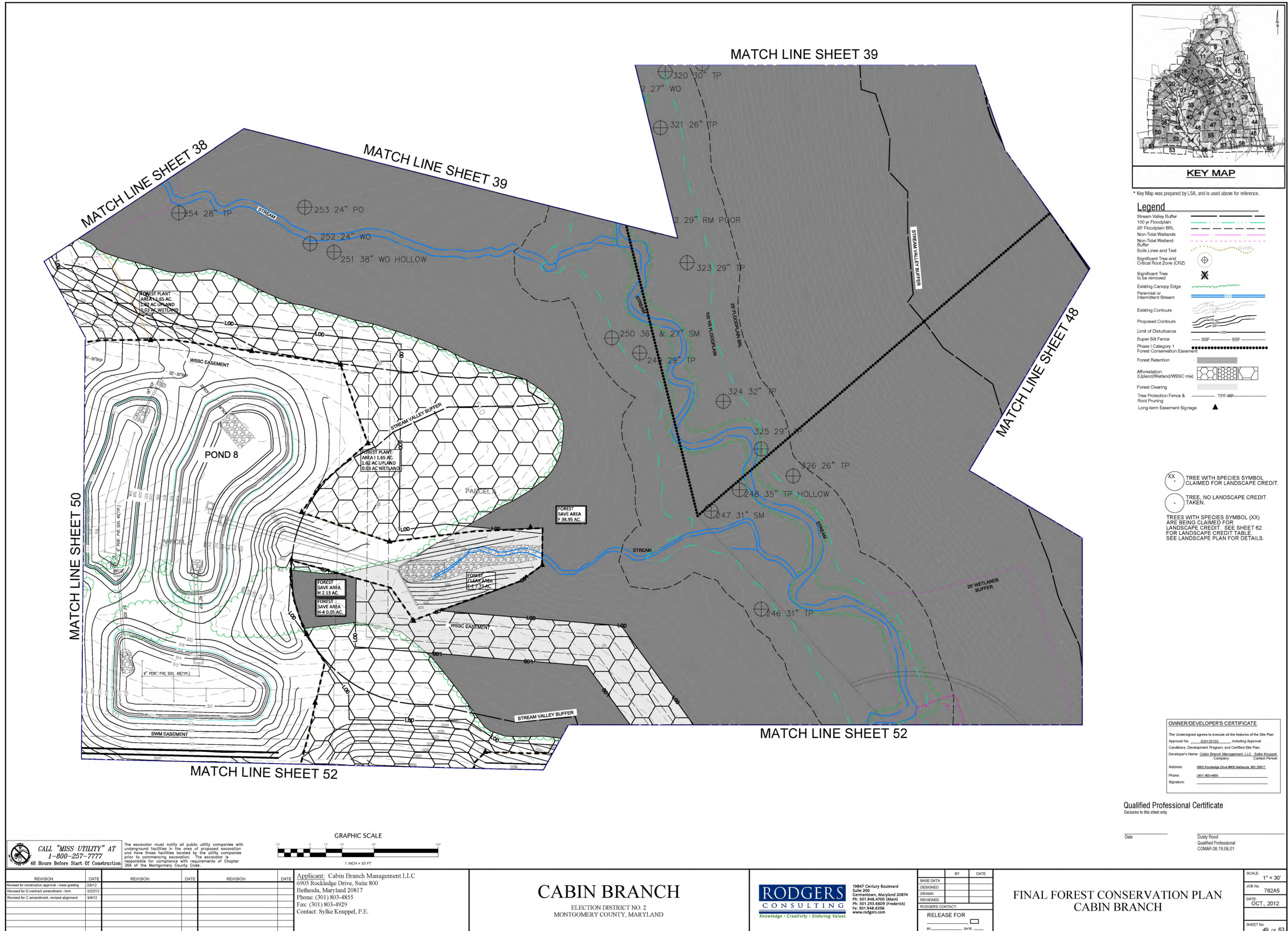
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RELEASE FOR		
BY		DATE

**FINAL FOREST CONSERVATION PLAN**  
CABIN BRANCH

SCALE	1" = 30'
JOB No.	782A5
DATE	OCT., 2012
SHEET No.	48 of 63

CABIN BRANCH FINAL FOREST CONSERVATION PLAN





- Legend**
- Stream Valley Buffer
  - 100 yr Floodplain
  - 25 Floodplain BRL
  - Non-Tidal Wetlands
  - Non-Tidal Wetland Buffer
  - Soils Lines and Text
  - Significant Tree and Critical Root Zone (CRZ)
  - Significant Tree to be removed
  - Existing Canopy Edge
  - Perennial or Intermittent Stream
  - Existing Contours
  - Proposed Contours
  - Limit of Disturbance
  - Phase I Category 1 Forest Conservation Easement
  - Forest Retention
  - Abandonment (Upland/Wetland/WSSC mix)
  - Forest Clearing
  - Tree Protection Fence & Root Pruning
  - Long-term Easement Signage

- TREE WITH SPECIES SYMBOL CLAIMED FOR LANDSCAPE CREDIT.
- TREE, NO LANDSCAPE CREDIT TAKEN.
- TREES WITH SPECIES SYMBOL (XX) ARE BEING CLAIMED FOR LANDSCAPE CREDIT. SEE SHEET 62 FOR LANDSCAPE CREDIT TABLE. SEE LANDSCAPE PLAN FOR DETAILS.

**OWNER/DEVELOPER'S CERTIFICATE**

The Undersigned agrees to execute all the features of the Site Plan Approval No. 20212150, including Approval Conditions, Development Program, and Certified Site Plan.

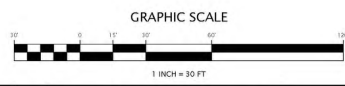
Developer's Name: Cabin Branch Management, LLC, 8903 Rockledge Drive #900 Bethesda, MD 20817  
 Contact Person: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone: (301) 803-4855  
 Signature: \_\_\_\_\_

**Qualified Professional Certificate**  
 Exclusive to this sheet only.

Date: \_\_\_\_\_  
 DUSTY FLOOD  
 Qualified Professional  
 COMAR 08.19.06.01

**CALL "MISS UTILITY" AT 1-800-257-7777**  
 48 Hours Before Start Of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.



REVISION	DATE	REVISION	DATE	REVISION	DATE
Revised for construction approval - minor grading	2/29/12				
Revised for D contract amendment - items	2/22/12				
Revised for C amendment, revised alignment	5/17/12				

Applicant: Cabin Branch Management LLC  
 6905 Rockledge Drive, Suite 800  
 Bethesda, Maryland 20817  
 Phone: (301) 803-4855  
 Fax: (301) 803-4929  
 Contact: Sylke Knuppel, P.E.

**CABIN BRANCH**  
 ELECTION DISTRICT NO. 2  
 MONTGOMERY COUNTY, MARYLAND

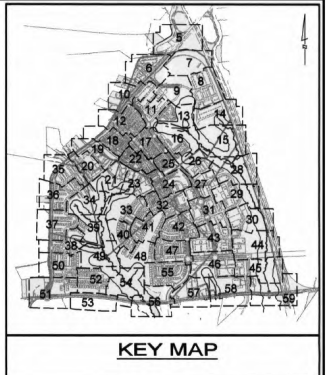
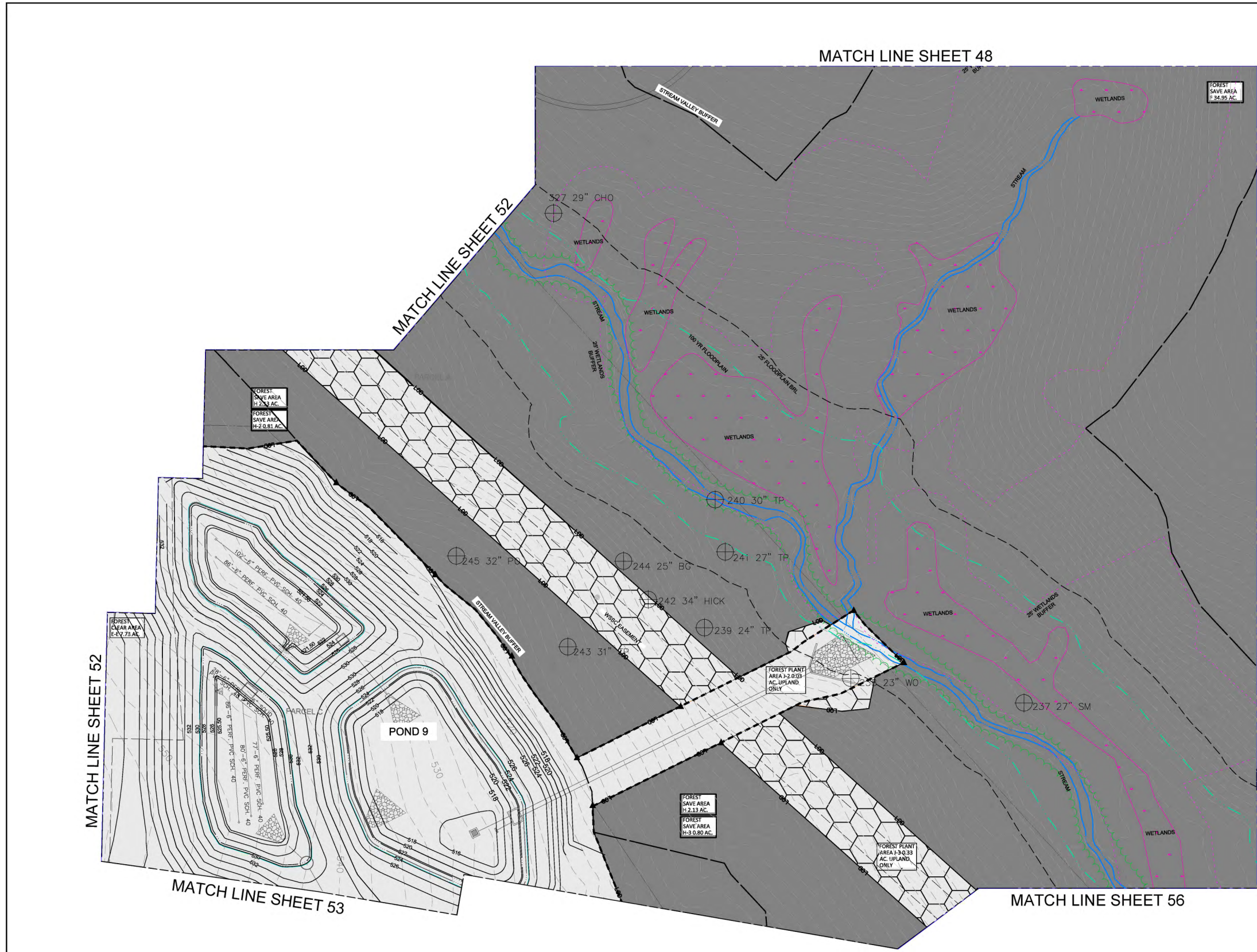
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 Fax: 301 348 6256  
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BY	DATE
BASE DATA	
DESIGNED	
DRAWN	
PROCESSED	
RODGERS CONTACT	
RELEASE FOR	
BY: _____	DATE: _____

**FINAL FOREST CONSERVATION PLAN**  
**CABIN BRANCH**

SCALE: 1" = 30'
JOB NO. 78245
DATE OCT., 2012
SHEET No. 49 OF 63



\* Key Map was prepared by LSA, and is used above for reference.

- Legend**
- Stream Valley Buffer
  - 100 Yr Floodplain
  - 25 Floodplain BRIL
  - Non-Tidal Wetlands
  - Non-Tidal Wetland Buffer
  - Soils Lines and Text
  - Significant Tree and Critical Root Zone (CRZ)
  - Significant Tree to be removed
  - Existing Canopy Edge
  - Perennial or Intermittent Stream
  - Existing Contours
  - Proposed Contours
  - Limit of Disturbance
  - Phase I Category 1 Forest Conservation Easement
  - Forest Retention
  - Abandonment (Upland/Wetland/WSSC mix)
  - Forest Clearing
  - Tree Protection Fence & Root Pruning
  - Long-term Easement Signage

- TREE WITH SPECIES SYMBOL CLAIMED FOR LANDSCAPE CREDIT.
- TREE, NO LANDSCAPE CREDIT TAKEN.
- TREES WITH SPECIES SYMBOL (XX) ARE BEING CLAIMED FOR LANDSCAPE CREDIT. SEE SHEET 62 FOR LANDSCAPE CREDIT TABLE. SEE LANDSCAPE PLAN FOR DETAILS.

**OWNER/DEVELOPER'S CERTIFICATE**

The Undersigned agrees to execute all the features of the Site Plan Approval No. 20120150, including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: Cabin Branch Management, LLC, 8903 Rockledge Drive, Bethesda, MD 20817  
 Contact Person: \_\_\_\_\_

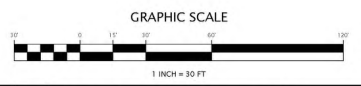
Address: 8903 Rockledge Drive #900 Bethesda, MD 20817  
 Phone: (301) 805-4855  
 Signature: \_\_\_\_\_

**Qualified Professional Certificate**  
 Exclusive to this sheet only.

Date: \_\_\_\_\_  
 Dusty Flood  
 Qualified Professional  
 COMAR 08.19.06.01

CALL "MISS UTILITY" AT 1-800-257-7777 48 Hours Before Start Of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.



REVISION	DATE	REVISION	DATE	REVISION	DATE
Revised for construction approval - minor grading	2/29/12				
Revised for D contract amendment - trees	5/22/12				
Revised for C amendment, revised alignment	5/11/12				

Applicant: Cabin Branch Management LLC  
 6905 Rockledge Drive, Suite 800  
 Bethesda, Maryland 20817  
 Phone: (301) 803-4855  
 Fax: (301) 803-4929  
 Contact: Sylke Knuppel, P.E.

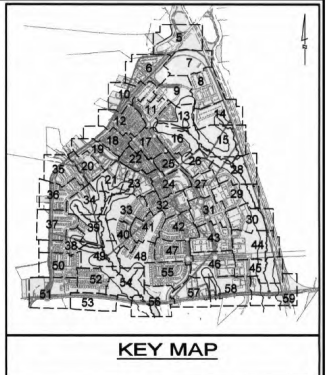
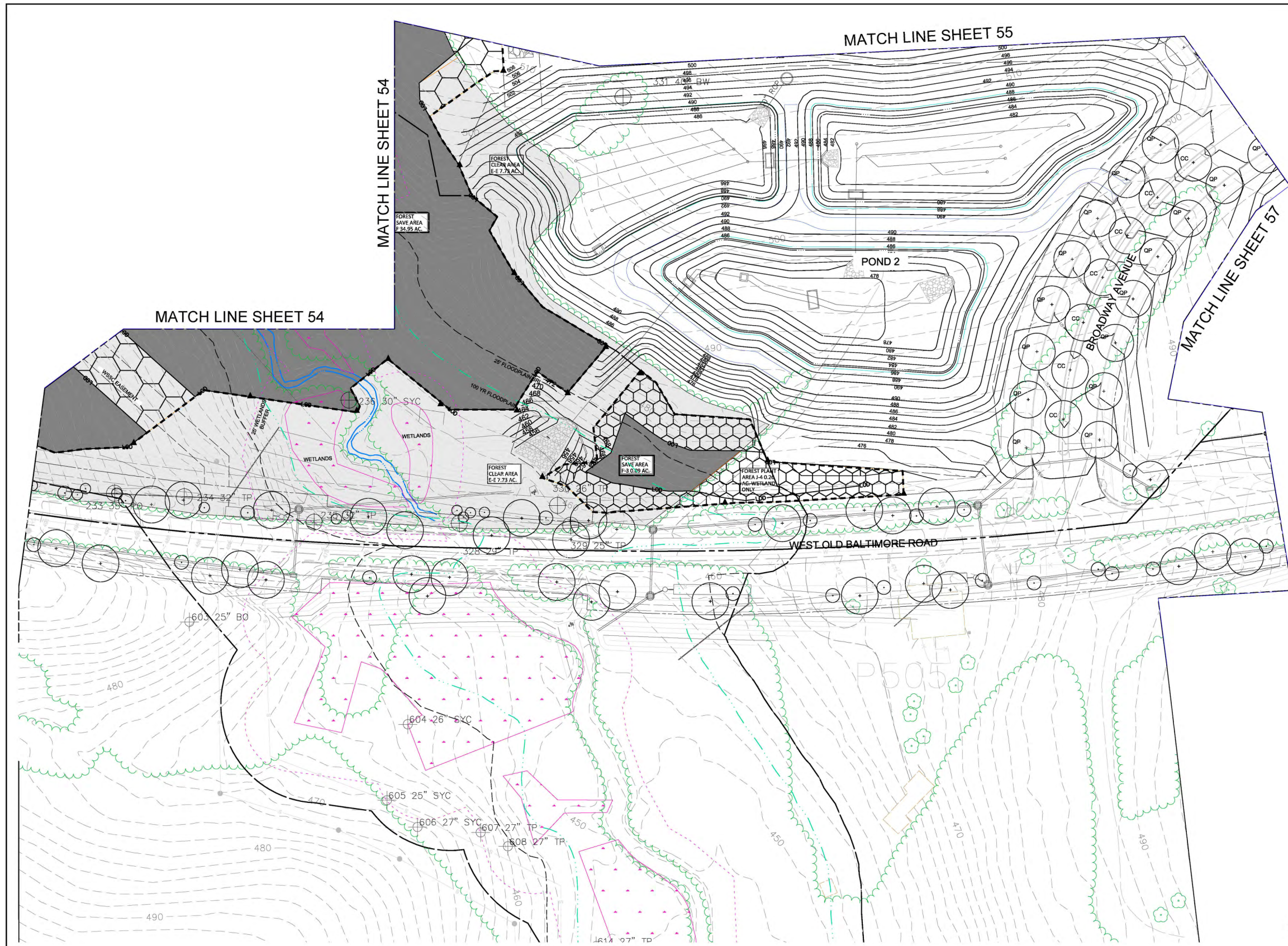
**CABIN BRANCH**  
 ELECTION DISTRICT NO. 2  
 MONTGOMERY COUNTY, MARYLAND

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 Ph: 301 253 6809 (Frederick)  
 Ph: 301 948 6256  
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DRAWN	
REVIEWED	
RODGERS CONTACT	
RELEASE FOR	
BY	DATE

**FINAL FOREST CONSERVATION PLAN**  
**CABIN BRANCH**

SCALE	1" = 30'
JOB No.	78245
DATE	OCT., 2012
SHEET No.	54 OF 63



\* Key Map was prepared by LSA, and is used above for reference.

- Legend**
- Stream Valley Buffer
  - 100 yr Floodplain
  - 25 Floodplain BR/L
  - Non-Tidal Wetlands
  - Non-Tidal Wetland Buffer
  - Soils Lines and Text
  - Significant Tree and Critical Root Zone (CRZ)
  - Significant Tree to be removed
  - Existing Canopy Edge
  - Perennial or Intermittent Stream
  - Existing Contours
  - Proposed Contours
  - Limit of Disturbance
  - Super Silt Fence
  - Phase I Category 1 Forest Conservation Estimation
  - Forest Retention
  - Abandonment (Upland/Wetland/WSSC mix)
  - Forest Clearing
  - Tree Protection Fence & Root Pruning
  - Long-term Easement Signage

- (XX) TREE WITH SPECIES SYMBOL CLAIMED FOR LANDSCAPE CREDIT.
  - (•) TREE, NO LANDSCAPE CREDIT TAKEN.
- TREES WITH SPECIES SYMBOL (XX) ARE BEING CLAIMED FOR LANDSCAPE CREDIT. SEE SHEET 62 FOR LANDSCAPE CREDIT TABLE. SEE LANDSCAPE PLAN FOR DETAILS.

**OWNER/DEVELOPER'S CERTIFICATE**

The Undersigned agrees to execute all the features of the Site Plan Approval No. 20120150, including Approval Conditions, Development Program, and Certified Site Plan. Developer's Name: Cabin Branch Management, LLC, 6905 Rockledge Drive, Suite 800, Bethesda, Maryland 20817. Contact Person: [Signature Line]

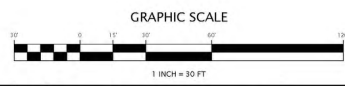
Address: 6905 Rockledge Drive #800 Bethesda, MD 20817  
 Phone: (301) 803-4855  
 Signature: \_\_\_\_\_

**Qualified Professional Certificate**  
 Exclusive to this sheet only.

Date: \_\_\_\_\_  
 Dusty Flood  
 Qualified Professional  
 COMAR 08.19.06.01

**CALL "MISS UTILITY" AT 1-800-257-7777**  
 48 Hours Before Start Of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.



REVISION	DATE	REVISION	DATE	REVISION	DATE
Revised for construction approval - minor grading	2/29/12				
Revised for D contract amendment - trees	5/22/12				
Revised for C amendment, revised alignment	5/17/12				

Applicant: Cabin Branch Management LLC  
 6905 Rockledge Drive, Suite 800  
 Bethesda, Maryland 20817  
 Phone: (301) 803-4855  
 Fax: (301) 803-4929  
 Contact: Sytke Knuppel, P.E.

**CABIN BRANCH**  
 ELECTION DISTRICT NO. 2  
 MONTGOMERY COUNTY, MARYLAND

**RODGERS CONSULTING**  
 Knowledge • Creativity • Enduring Values  
 19847 Century Boulevard  
 Suite 200  
 Germantown, Maryland 20874  
 Ph: 301 348-4700 (Main)  
 Ph: 301 253-6809 (Frederick)  
 Ph: 301 348-6295  
 www.rodgers.com

BASE DATA	BY	DATE
DESIGNED		
DRAWN		
REVISIONS		
RODGERS CONTACT		
RELEASE FOR		
BY		DATE

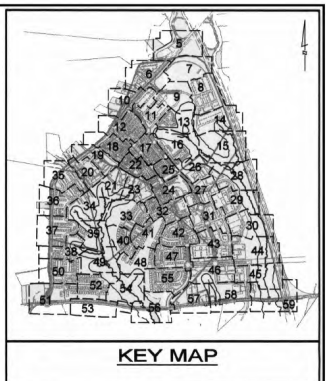
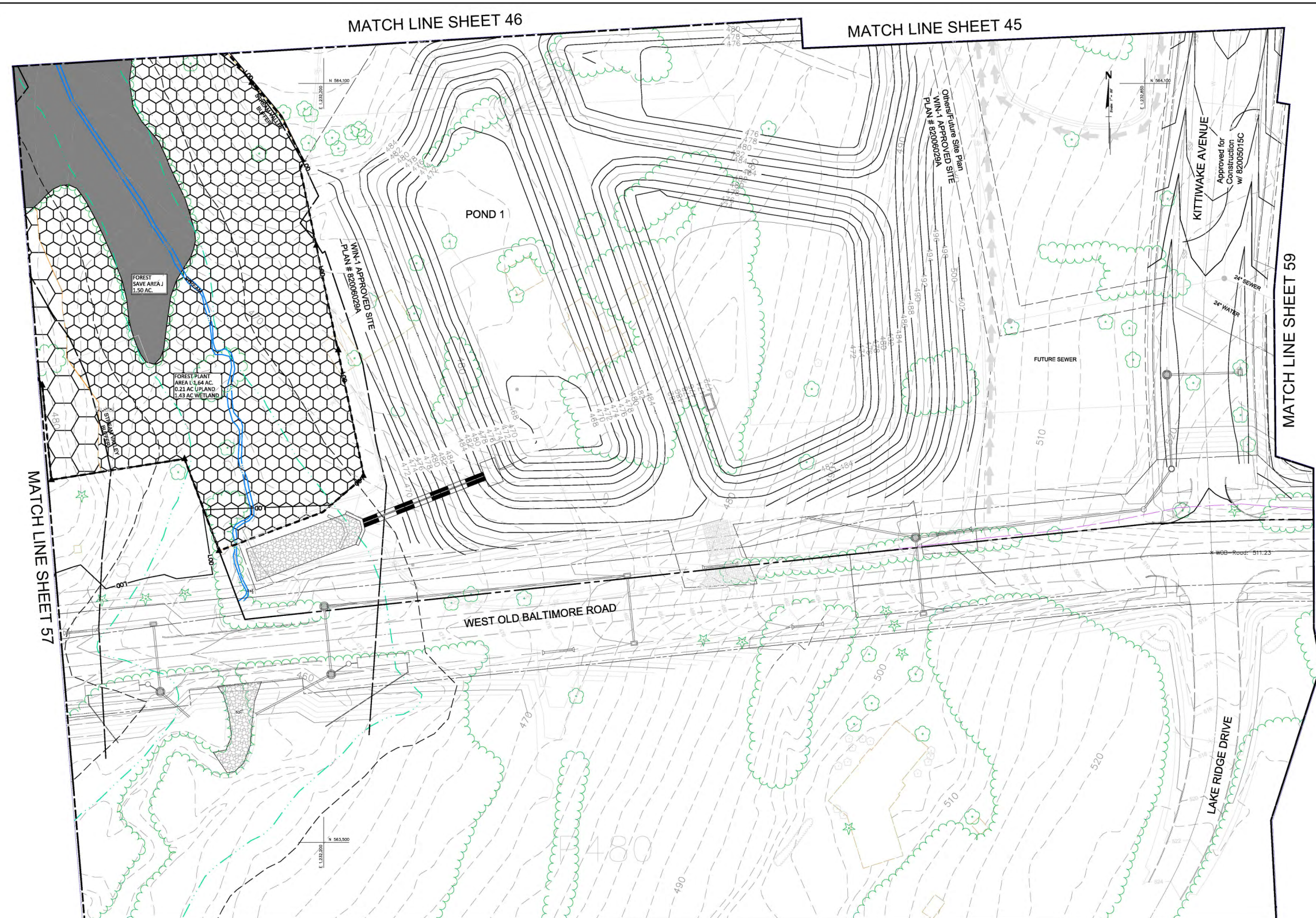
**FINAL FOREST CONSERVATION PLAN**  
**CABIN BRANCH**

SCALE	1" = 30'
JOB NO.	78245
DATE	OCT., 2012
SHEET No.	56 OF 63

CABIN BRANCH FINAL FOREST CONSERVATION PLAN

MATCH LINE SHEET 46

MATCH LINE SHEET 45



KEY MAP

\* Key Map was prepared by LSA, and is used above for reference.

**Legend**

- Stream Valley Buffer
- 100' Floodplain
- 25' Floodplain BRIL
- Non-Tidal Wetlands
- Non-Tidal Wetland Buffer
- Soils Lines and Text
- Significant Tree and Critical Root Zone (CRZ)
- Significant Tree to be removed
- Existing Canopy Edge
- Perennial or Intermittent Stream
- Existing Contours
- Proposed Contours
- Limit of Disturbance
- Super Sit Fence
- Phase I Category 1 Forest Conservation Easement
- Forest Retention
- Abatement (Upland/Wetland/WSSC mix)
- Forest Clearing
- Tree Protection Fence & Root Pruning
- Long-term Easement Signage

● TREE WITH SPECIES SYMBOL CLAIMED FOR LANDSCAPE CREDIT.

○ TREE, NO LANDSCAPE CREDIT TAKEN.

TREES WITH SPECIES SYMBOL (XX) ARE BEING CLAIMED FOR LANDSCAPE CREDIT. SEE SHEET 62 FOR LANDSCAPE CREDIT TABLE. SEE LANDSCAPE PLAN FOR DETAILS.

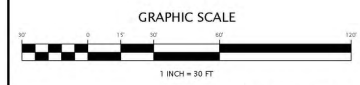
**OWNER/DEVELOPER'S CERTIFICATE**

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Address: 6905 Rockledge Drive #200 Bethesda, MD 20817  
 Phone: (301) 803-4855  
 Signature: \_\_\_\_\_

**Qualified Professional Certificate**  
 Exclusive to this sheet only.

Date: \_\_\_\_\_  
 Darryl Flood  
 Qualified Professional  
 COMAR 06.19.06.01



CALL "MISS UTILITY" AT 1-800-257-7777 48 Hours Before Start Of Construction

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.

REVISION	DATE	REVISION	DATE	REVISION	DATE
Revised for construction approval - minor grading	2/29/12				
Revised for C contract amendment - trees	2/22/12				
Revised for C amendment, revised alignment	2/14/12				
Revised per P&P comments	2/27/12				

Applicant: Cabin Branch Management LLC  
 6905 Rockledge Drive, Suite 800  
 Bethesda, Maryland 20817  
 Phone: (301) 803-4855  
 Fax: (301) 803-4929  
 Contact: Sylke Knuppel, P.E.

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BASE DATA	BY	DATE
DESIGNED		
DRAWN		
REVISIONS		
RODGERS CONTACT		
RELEASE FOR		
BY		DATE

**FINAL FOREST CONSERVATION PLAN**  
**CABIN BRANCH**

SCALE	1" = 30'
JOB No.	78245
DATE	OCT., 2012
SHEET No.	58 OF 63

CABIN BRANCH - FINAL FOREST CONSERVATION PLAN

CABIN BRANCH FFCP  
LANDSCAPE CREDIT BY SITE PLAN AND ZONE

SITE PLAN #	SHEET #	ZONE	LOCATION	SYMBOL	SPECIES	COMMON NAME	CANOPY DIA @ 20 YRS	# TREES	CREDIT: 25% OF CANOPY DIA (IN SF)
WIN-1	6	RMX/TDR-1	Cabin Branch Road	QP	Quercus phellos	Willow Oak	17	63	3,575
WIN-1	7	RMX/TDR-1	Cabin Branch Road	QP	Quercus phellos	Willow Oak	17	5	284
WIN-1	10	RMX/TDR-1	Cabin Branch Road	QP	Quercus phellos	Willow Oak	17	58	3,291
WIN-1	11	RMX/TDR-1	Cabin Branch Road	CA	Carpinus caroliniana	American Hornbeam	39	12	3,584
WIN-1	11	RMX/TDR-1	Cabin Branch Road	UA	Ulmus americana	American Elm	26	26	3,451
WIN-1	12	RMX/TDR-1	Cabin Branch Road	QP	Quercus phellos	Willow Oak	17	40	2,270
WIN-1	17	RMX/TDR-1	Cabin Branch Road	UA	Ulmus americana	American Elm	26	23	3,053
WIN-1	17	RMX/TDR-1	Cabin Branch Road	CA	Carpinus caroliniana	American Hornbeam	39	14	4,181
WIN-1	17	RMX/TDR-1	Grebe Street	AR	Acer rubrum 'Armstrong'	Red Maple	48	13	5,881
WIN-1	18	RMX/TDR-1	Clarksburg Road	QP	Quercus phellos	Willow Oak	17	10	567
WIN-1	18	RMX/TDR-1	Clarksburg Road	AR	Acer rubrum	Red Maple 'Armstrong'	48	5	2,262
WIN-1	19	RMX/TDR-1	Byrne Park Drive	QR	Quercus rubra	Red Oak	35	30	7,216
WIN-1	19	RMX/TDR-1	Clarksburg Road	AR	Acer rubrum	'Armstrong'	48	4	1,810
WIN-1	19	RMX/TDR-1	Clarksburg Road	QP	Quercus phellos	Willow Oak	17	15	851
WIN-1	20	RMX/TDR-1	Cabin Branch Road	QP	Quercus phellos	Willow Oak	17	4	227
WIN-1	22	RMX/TDR-1	Byrne Park Drive	QR	Quercus rubra	Red Oak	35	27	6,494
WIN-1	23	RMX/TDR-1	Fulmer Avenue	QR	Quercus rubra	Red Oak	35	12	2,866
WIN-1	25	RMX/TDR-1	Stimmer Street	QR	Quercus rubra	Red Oak	35	3	722
WIN-1	32	RMX/TDR-1	Petrel Place	AR	Acer rubrum	'Armstrong'	48	12	5,429
WIN-1	32	RMX/TDR-1	Spoonbill Street	AR	Acer rubrum	'Armstrong'	48	10	4,534
WIN-1	32	RMX/TDR-1	Fulmer Avenue	QR	Quercus rubra	Red Oak	35	12	2,866
<b>TOTAL WIN-1 RMX-1/TDR ACRES</b>									
<b>1.50</b>									

CABIN BRANCH FFCP  
LANDSCAPE CREDIT BY SITE PLAN AND ZONE

SITE PLAN #	SHEET #	ZONE	LOCATION	SYMBOL	SPECIES	COMMON NAME	CANOPY DIA @ 20 YRS	# TREES	CREDIT: 25% OF CANOPY DIA (IN SF)
WIN-2	24	MPD-RES	STREET A	QC	Quercus coccinea	Scarlet Oak	26	24	3,186
WIN-2	25	MPD-RES	CABIN BRANCH AVE	UA	Ulmus americana 'Valley Forge'	American Elm	26	6	796
WIN-2	27	MPD-RES	PETREL PLACE	AR	Acer rubrum	Red Maple	48	12	5,429
WIN-2	27	MPD-RES	PARCEL B	QP	Quercus phellos	Willow Oak	17	3	170
WIN-2	27	MPD-RES	CABIN BRANCH AVE	UA	Ulmus americana 'Valley Forge'	American Elm	26	11	1,460
WIN-2	31	MPD-RES	HARRIER WAY	ARO	Acer rubrum 'October Glory'	Red Maple	48	16	7,238
WIN-2	31	MPD-RES	PARCEL B	QP	Quercus phellos	Willow Oak	17	10	567
WIN-2	31	MPD-RES	CABIN BRANCH AVE	UA	Ulmus americana 'Valley Forge'	American Elm	26	8	1,062
WIN-2	32	MPD-RES	PETREL PLACE	AR	Acer rubrum	Red Maple	48	14	6,333
WIN-2	32	MPD-RES	PARCEL B	QP	Quercus phellos	Willow Oak	17	6	340
WIN-2	42	MPD-RES	PARCEL B	QP	Quercus phellos	Willow Oak	17	5	284
WIN-2	42	MPD-RES	HARRIER WAY	ARO	Acer rubrum 'October Glory'	Red Maple	48	2	905
WIN-2	43	MPD-RES	DOVEKIE AVENUE	ARO	Acer rubrum 'October Glory'	Red Maple	48	9	4,072
WIN-2	43	MPD-RES	CABIN BRANCH AVE	CA	Carpinus caroliniana	Ironwood	39	7	2,091
WIN-2	43	MPD-RES	CABIN BRANCH AVE	UA	Ulmus americana 'Valley Forge'	American Elm	26	23	3,053
WIN-2	46	MPD-RES	CEMETERY	AG	Amelanchier grandiflora	Serviceberry	20	3	236
WIN-2	46	MPD-RES	CEMETERY	QR	Quercus rubra	Red Oak	35	2	481
WIN-2	46	MPD-RES	LITTLE SENECA PKWY	QP	Quercus phellos	Willow Oak	17	9	511
WIN-2	46	MPD-RES	CABIN BRANCH AVE	UA	Ulmus americana 'Valley Forge'	American Elm	26	2	265
WIN-2	46	MPD-RES	CABIN BRANCH AVE	CA	Carpinus caroliniana	Ironwood	39	1	299
<b>TOTAL WIN-2 MPD-RES ACRES</b>									
<b>0.89</b>									
WIN-2	25	MPD-EMPL	CABIN BRANCH AVE	CA	Carpinus caroliniana	Ironwood	39	5	1,493
WIN-2	25	MPD-EMPL	CABIN BRANCH AVE	UA	Ulmus americana 'Valley Forge'	American Elm	26	6	796
WIN-2	27	MPD-EMPL	CABIN BRANCH AVE	CA	Carpinus caroliniana	Ironwood	39	12	3,584
WIN-2	27	MPD-EMPL	CABIN BRANCH AVE	UA	Ulmus americana 'Valley Forge'	American Elm	26	13	1,593
WIN-2	31	MPD-EMPL	CABIN BRANCH AVE	CA	Carpinus caroliniana	Ironwood	39	7	2,091
WIN-2	31	MPD-EMPL	CABIN BRANCH AVE	UA	Ulmus americana 'Valley Forge'	American Elm	26	8	1,195
WIN-2	43	MPD-EMPL	CABIN BRANCH AVE	CA	Carpinus caroliniana	Ironwood	39	8	2,389
WIN-2	43	MPD-EMPL	CABIN BRANCH AVE	UA	Ulmus americana 'Valley Forge'	American Elm	26	9	1,195
WIN-2	43	MPD-EMPL	DOVEKIE AVENUE	ARO	Acer rubrum 'October Glory'	Red Maple	48	7	1,195
WIN-2	44	MPD-EMPL	LITTLE SENECA PKWY	QP	Quercus phellos	Willow Oak	17	28	1,589
WIN-2	46	MPD-EMPL	LITTLE SENECA PKWY	QP	Quercus phellos	Willow Oak	17	24	1,362
<b>TOTAL WIN-2 MPD-EMPL ACRES</b>									
<b>0.42</b>									
WIN-2	32	RMX-1/TDR	PARCEL B	TA	Tilia americana	Am. Linden	30	6	1,060
WIN-2	33	RMX-1/TDR	ALONG STILT ST	LS	Liquidambar styraciflua 'Rotundifolia'	Sweet Gum	26	15	1,991
WIN-2	33	RMX-1/TDR	GODWIT STREET	QR	Quercus rubra	Red Oak	35	16	3,848
WIN-2	40	RMX-1/TDR	STILT STREET	LS	Liquidambar styraciflua 'Rotundifolia'	Sweet Gum	26	18	2,389
WIN-2	41	RMX-1/TDR	PARCEL C	AG	Amelanchier grandiflora	Serviceberry	20	4	314
WIN-2	41	RMX-1/TDR	GODWIT STREET	QR	Quercus rubra	Red Oak	35	17	4,089
<b>TOTAL WIN-2 RMX-1/TDR ACRES</b>									
<b>0.31</b>									

TOTAL LANDSCAPE CREDIT SPECIFIED TO DATE WIN1 AND WIN2: 3.12 ACRES

CABIN BRANCH FFCP  
FOREST CONSERVATION SUMMARY

ZONE	RMX/TDR		MPD-EMPLOYMENT		MPD-RESIDENTIAL		LINTHICUM WEST		OFFSITE A		WATER TOWER		SUMMARY	
	Approved to Date	Overall	Approved to Date	Overall	Approved to Date	Overall	Approved to Date	Overall	Approved to Date	Overall	Approved to Date	Overall	Approved to Date	Overall
NET TRACT ACREAGE	88.98	256.15	31.52	204.38	48.66	61.76	0	7.14	0.39	0.53	1.49	1.49	171.04	531.45
LAND USE CATEGORY	MPD-RES	MPD-RES	MPD-RES	MPD-RES	MPD-RES	MPD-RES	MPD	ARA	ARA	CIA				N/A
LAND DEDICATION AREAS	0	0.00	11.25	0	0.00	0	0	0	0	0	0	0	0	11.25
ACREAGE REMAINING IN AGRICULTURAL USE	0	0.00	0.00	0	0.00	0	0	0	0	0	0	0	0	0.00
CONSERVATION THRESHOLD		51.23	0.00	40.88	0	12.35	0	1.43	0	0.27	0.22	0.22	0.22	106.38
AFFORESTATION THRESHOLD		38.42	0.00	30.66	0	9.26	0	1.07	0	0.11	0.22	0.22	0.22	79.74
TOTAL EXISTING FOREST	18.55	85.76	1.84	37.21	4.18	5.27	0	1.49	0	0.14	0	0	24.57	129.87
FOREST RETAINED	8.36	37.08	0.00	27.8	0	0	0	0	0	0	0	0	8.36	64.88
FOREST CLEARED	10.19	48.68	1.84	9.41	4.18	5.27	0	1.49	0	0.14	0	0	16.21	64.99
WETLANDS														
Total Acreage	0.78	2.09	0.00	8.87	0	0.00	0	0.24	0	0	0	0	0.78	11.20
Forest Cleared	0	0.12	0.00	0.01	0	0.00	0	0.22	0	0	0	0	0	0.35
Forest Retained	0.68	1.88	0.00	5.16	0	0.00	0	0	0	0	0	0	0.68	7.04
Priority Planting	0.05	0.05	0.00	1.07	0	0.00	0	0	0	0	0	0	0.05	1.12
100-YEAR FLOODPLAIN														
Total Acreage	2.17	7.44	0.42	25.37	0	0.00	0	0.44	0	0	0	0	2.59	33.25
Forest Cleared	0.12	0.62	0.18	0.18	0	0.00	0	0.46	0	0	0	0	0.3	1.26
Forest Retained	1.88	6.55	0.00	11.20	0	0.00	0	0	0	0	0	0	1.88	17.75
Priority Planting	0.16	0.08	0.13	2.24	0	0.00	0	0	0	0	0	0	0.29	2.32
STREAM VALLEY BUFFER														
Total Acreage	11.73	43.87	2.49	59.50	0	0.00	0	0.86	0	0	0	0	14.22	104.23
Forest Cleared	0.54	3.22	0.96	1.31	0	0.00	0	0.54	0	0	0	0	1.5	5.07
Forest Retained	7.86	31.50	0.00	28.41	0	0.00	0	0	0	0	0	0	7.86	59.91
Priority Planting	3.25	9.24	2.13	12.79	0	0.00	0	0	0	0	0	0	5.38	22.03
PRIORITY AREAS														
Total Acreage	11.73	43.87	2.50	59.50	0	0.00	0	0.86	0	0	0	0	14.23	104.23
Forest Cleared	0.54	3.22	0.96	1.31	0	0.00	0	0.54	0	0	0	0	1.5	5.07
Forest Retained	7.86	31.50	0.00	28.41	0	0.00	0	0	0	0	0	0	7.86	59.91
Priority Planting	3.25	9.24	2.13	12.79	0	0.00	0	0	0	0	0	0	5.38	22.03
LINEAR FEET OF STREAM	2125	7,575	151.00	7,881	0	0	0	135	0	0	0	0	2276	15591.00
AV. LINEAR FEET OF STREAM BUFFER WIDTH	285	350	378.00	340	0	0	0	483	0	0	0	0	663	1173.00
FOREST PLANTING REQUIRED	0	36.93	1.09	18.82	0	14.53	0	2.87	0.28	0.28	0.22	0.22	1.59	73.65
PLANTING PROVIDED	3.75	15.54	3.66	24.02	0	0	0	0	0	0	0	0	7.41	39.56
LANDSCAPE CREDIT TAKEN	1.81	7.38	0.43	3.76	0.89	2.10	0	0.57	0	0.00	0	0	3.13	13.81
DEFICIT/SURPLUS	0	-14.01	0.00	8.96	0	-12.43	0	-2.30	0	-0.28	0	-0.22	0	-20.28

CABIN BRANCH FFCP  
LANDSCAPE CREDIT BY SITE PLAN AND ZONE

SITE PLAN #	SHEET #	ZONE	LOCATION	SYMBOL	SPECIES	COMMON NAME	CANOPY DIA @ 20 YRS	# TREES	CREDIT: 25% OF CANOPY DIA (IN SF)
WIN-3	20	RMX/TDR	Woodcock Way	ARO	Acer rubrum 'October Glory'	Red Maple	48	2	905
WIN-3	20	RMX/TDR	Dunlin Street	BH	Carya cordiformis	Bitternut Hickory	39	25	7466
WIN-3	20	RMX/TDR	Casplan Tern Way	HB	Celtis occidentalis	Hackberry	45	2	795
WIN-3	34	RMX/TDR	Private Drive	AE	Ulmus americana	American Elm	26	6	796
WIN-3	34	RMX/TDR	Private Drive	HC	Aesculus Hippocastanum	Horse Chestnut	48	5	2,262
WIN-3	34	RMX/TDR	Private Drive	PH	Carya glabra	Pignut Hickory	39	6	1,792
WIN-3	35	RMX/TDR	Greenspace	AE	Ulmus americana	American Elm	26	12	1,593
WIN-3	35	RMX/TDR	Woodcock Way	ARO	Acer rubrum 'October Glory'	Red Maple	48	5	2,262
WIN-3	35	RMX/TDR	Greenspace	BC	Prunus serotina	Black Cherry	39	6	1,792
WIN-3	35	RMX/TDR	Casplan Tern Way	HB	Celtis occidentalis	Hackberry	45	15	5,964
WIN-3	35	RMX/TDR	Dowlitcher Way	HC	Aesculus Hippocastanum	Horse Chestnut	48	12	5,429
WIN-3	35	RMX/TDR	Greenspace	QR	Quercus rubra	Red Oak	35	4	962
WIN-3	36	RMX/TDR	Greenspace	AE	Ulmus americana	American Elm	26	10	1,327
WIN-3	36	RMX/TDR	Greenspace	AH	Carpinus caroliniana	American Hornbeam	39	13	3,882
WIN-3	36	RMX/TDR	Woodcock Way	ARO	Acer rubrum 'October Glory'	Red Maple	48	26	11,762
WIN-3	36	RMX/TDR	Dowlitcher Way	HC	Aesculus Hippocastanum	Horse Chestnut	48	9	4,072
WIN-3	36	RMX/TDR	Greenspace	QR					

# PLANTING SCHEDULES

Phase 1, Stage 1 Planting Table

Lowland Planting Areas	Phase	Stage	Planting Acreage	Red Maple		Slippery Elm	Musclewood	River Birch	Boxelder	Black Gum	Sycamore	Swamp White Oak		Spicebush	Silky Dogwood	Winterberry			
				2"	1"	1"	1"	2"	1"	1"	2"	1"	2"	1"	2"	1"	2 gal cont	2 gal cont	2 gal cont
A	1	1	0.76	3	16	16	16	4	16	16	3	16	4	16	3	16	9	8	8
E	1	1	1.45	4	33	32	33	4	32	33	4	32	5	33	5	32	16	16	16
M-1	1	1	0.57	4	11	11	12	4	11	11	3	11	4	12	3	11	6	6	7
T	1	1	0.15	0	4	4	3	0	4	3	0	4	0	4	0	4	2	1	2
W	1	1	1.74	0	44	44	44	0	44	43	0	43	0	43	0	43	19	19	19

Phase 1, Stage 2 Planting Table

Lowland Planting Areas	Phase	Stage	Planting Acreage	Red Maple		Slippery Elm	Musclewood	River Birch	Boxelder	Black Gum	Sycamore	Swamp White Oak		Spicebush	Silky Dogwood	Winterberry			
				2"	1"	1"	1"	2"	1"	1"	2"	1"	2"	1"	2"	1"	2 gal cont	2 gal cont	2 gal cont
A	1	2	1.35	6	5	5	4	6	5	5	4	6	5	6	5	15	15	15	
B	1	2	0.51	4	2	1	2	5	2	1	4	2	5	2	4	1	5	6	5
D	1	2	0.25	3	5	5	4	2	4	4	2	4	2	4	2	4	3	2	3
Replant	1	2	0.16	1	1	0	1	2	0	0	1	0	1	1	1	1	2	1	2
E	1	2	0.26	3	1	0	1	3	0	1	3	0	3	1	3	1	3	3	3
F	1	2	0.67	6	2	2	2	6	2	2	6	1	6	2	6	2	7	7	8
O	1	2	0.40	4	7	6	7	4	7	6	3	7	4	7	4	7	5	4	4

Phase 1, Stage 3 Planting Table

Lowland Planting Areas	Phase	Stage	Planting Acreage	Red Maple		Black Willow	Hackberry	River Birch	Tulip Poplar	Spicebush	Silky Dogwood	Winterberry
				2"	1"	1"	1"	2"	1"	1"	2 gal cont.	2 gal cont.
Water/Sewer Line	1	3	0.80	1	33	32	1	33	32	9	9	9

Substitute species for Phase 1 plantings (if necessary): Salix nigra (black willow), Quercus palustris (pin oak), Sambucus canadensis (elderberry)

Substitute species for WSSC mix (if necessary) must be shallow rooted trees. Trees to be planted minimum 5' from the water line.

Note: 2" stock to be planted along edge of easement toward SWM ponds, residential yards, parking lots, and recreational areas, as applicable.

Phase 3, Stage 1 Planting Table

Planting Acreage	Red Maple		Slippery Elm	Musclewood	River Birch	Boxelder	Black Gum		Sycamore	Swamp White Oak		Spicebush	Silky Dogwood	Winterberry	
	2"	1"	1"	1"	2"	1"	1"	2"	1"	2"	1"	2 gal cont	2 gal cont	2 gal cont	
0.11	2	2	1	1	1	1	1	2	1	1	1	1	3	2	1
1.00	10	18	20	13	12	12	13	11	16	11	14	9	16	9	8
2.05	18	22	27	24	32	22	30	21	22	24	32	26	22	33	24

Phase 4, Stage 2 Planting Table

Planting Acreage	Red Maple		Slippery Elm	Musclewood	River Birch	Boxelder	Black Gum		Sycamore	Swamp White Oak		Spicebush	Silky Dogwood	Winterberry	
	2"	1"	1"	1"	2"	1"	1"	2"	1"	2"	1"	2 gal cont	2 gal cont	2 gal cont	
2.60	30	37	30	27	32	35	34	34	37	32	32	31	30	36	31
1.59	14	27	19	21	18	21	26	22	32	20	21	16	20	18	12

**OWNER/DEVELOPER'S CERTIFICATE**

The Undersigned agrees to execute all the features of the Site Plan including Approval \_\_\_\_\_

Approval No. \_\_\_\_\_

DESIGNED BY \_\_\_\_\_

DRAWN BY \_\_\_\_\_

TRACED BY \_\_\_\_\_

RODGERS CONTACT \_\_\_\_\_

Address: 8805 Rockledge Drive #800 Bethesda, MD 20817

Phone: (301) 803-4855

Signature: \_\_\_\_\_

Qualified Professional Certificate  
Exclusive to this sheet.

Date \_\_\_\_\_  
Dusty Rood  
Qualified Professional  
COMAR 08.19.06.01



The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have these facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.

Applicant: Cabin Branch Management LLC  
6905 Rockledge Drive, Suite 800  
Bethesda, Maryland 20817  
Phone: (301) 803-4855  
Fax: (301) 803-4929  
Contact: Sylke Knuppel, P.E.

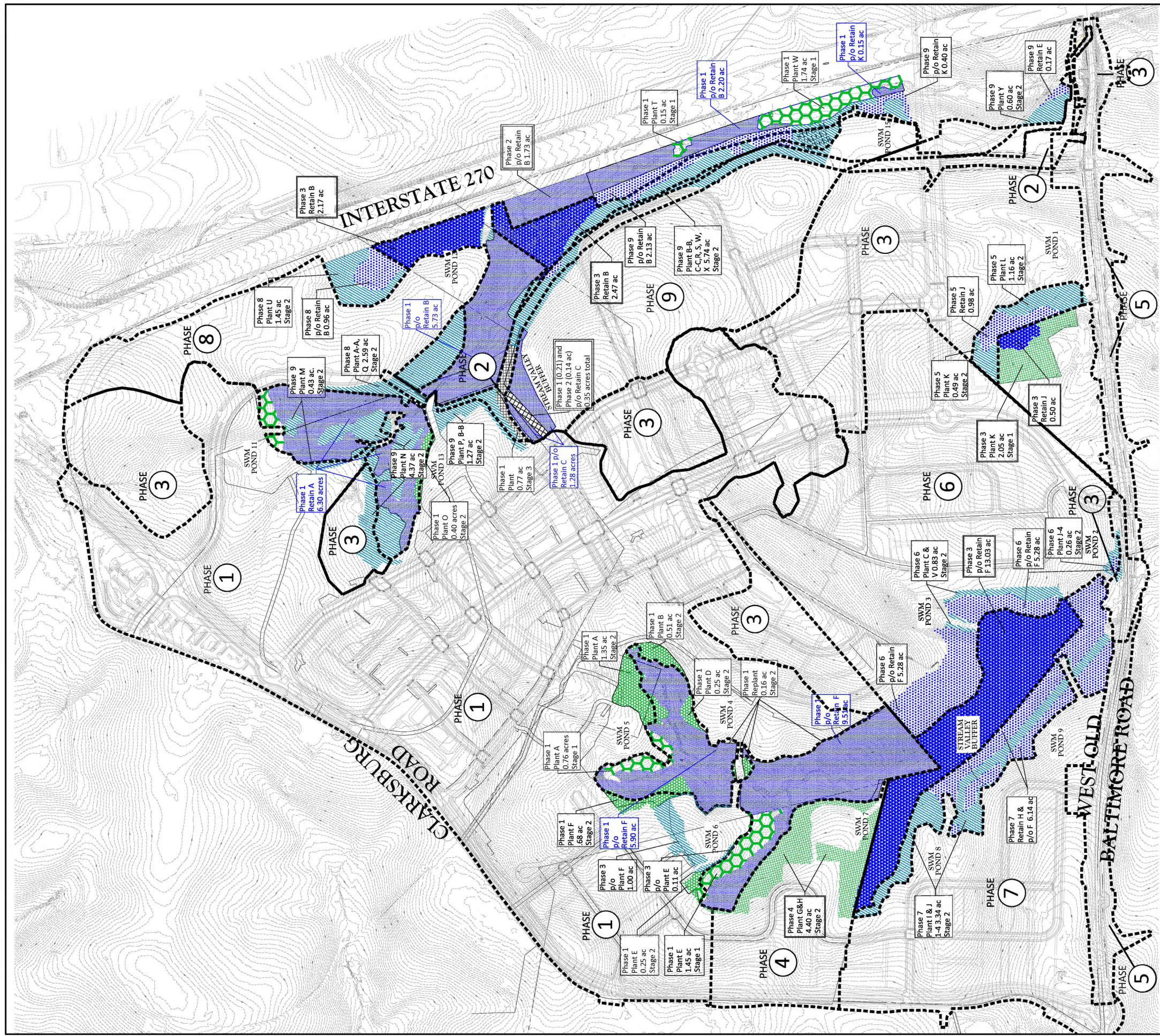
**CABIN BRANCH**  
ELECTION DISTRICT NO. 2  
MONTGOMERY COUNTY, MARYLAND

**RODGERS CONSULTING**  
19847 Century Boulevard  
Suite 250  
Cermantown, Maryland 20874  
Ph: 301 948 4700 (Main)  
Ph: 301 253 6609 (Friederick)  
F: 301 948 6256  
www.rodgers.com

BY	DATE
BASE DATA	
DESIGNED	
DRAWN	
TRACED	
RODGERS CONTACT	
RELEASE FOR	
BY _____	DATE _____

**FINAL FOREST CONSERVATION PLAN**  
**CABIN BRANCH**

SCALE:	N/A
JOB No:	782A5
DATE:	OCT. 2012
SHEET No:	63 of 63



**Phase 1**  
Planting Stage 1  
Planting Stage 2  
Planting Stage 3  
Retention  
Phase 1 Sediment Control  
Plan Limits (Approximate)  
Recorded Phase 1 Easement

**Phase 2**  
Retention  
Limits (Approximate)  
Planting  
Retention

**Future Phases**  
Retention  
Retention

**REVISIONS**

**Phase 3 / 4**  
Planting  
Retention

**Phase 3 / 4**  
Planting  
Retention

Execution of this plan:  
1. Prior to starting each phase (either disturbance or plant reestablishment), the applicant shall identify the specific locations and types of forest mitigation, record easement and provide financial security, unless otherwise indicated.  
2. The Phase 1 construction area shown hereon is subject to change.  
3. Stage 1 planting to occur the first growing season after the start of construction for the associated phase.  
4. Stage 2 planting to occur the second growing season after the start of construction for the associated phase.  
5. The Stage 3 easement and recordation to occur the first growing season after the utility line construction and recordation of the WSSC easement.  
6. The Stage 3 easement and recordation to occur the first growing season after the utility line construction and recordation of the WSSC easement.  
7. Final limits and configuration of mitigation areas are shown on 30 scale plan sheets of this FICP plan set. This sheet is for phasing purposes only.

**Project Area Proportion/Project Density Proportion**

Phase	Area (Acres)	% of Total	Residential % of Total	Commercial % of Total	Average % of Total	Retention	Afforestation	Reforestation	Recreation	Landscaping	Other	Financial Security
1	75.8	14.5%	85	4.3%	0	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	\$50,000
2	17.0	3.2%	612	27.4%	0	2.0%	20000	2.0%	21.5%	18.1%	1.87	\$50,000
3	13.0	2.5%	75	3.3%	0	0.0%	130000	0.0%	1.1%	0.0%	0.0%	\$50,000
4	13.0	2.5%	425	22.6%	0	0.0%	130000	0.0%	1.1%	0.0%	0.0%	\$50,000
5	45.0	8.5%	168	8.9%	0	0.0%	300000	20.7%	9.9%	6.14	3.34	\$100,000
6	35.0	6.6%	0	0.0%	0	0.0%	400000	25.5%	5.5%	0.96	0.64	\$100,000
7	35.0	6.6%	0	0.0%	0	0.0%	400000	25.5%	5.5%	0.96	0.64	\$100,000
8	1.0	0.2%	0	0.0%	0	0.0%	10000	0.0%	0.0%	0.0%	0.0%	\$10,000
9	1.0	0.2%	0	0.0%	0	0.0%	10000	0.0%	0.0%	0.0%	0.0%	\$10,000
<b>Total</b>	<b>522.70</b>	<b>100.0%</b>	<b>3888</b>	<b>100.0%</b>	<b>500</b>	<b>200.0%</b>	<b>2420000</b>	<b>100.0%</b>	<b>100.0%</b>	<b>65.09</b>	<b>40.05</b>	<b>\$2,453,448.69</b>

**Forest Conservation Mitigation Provided**

Phase	Retention	Afforestation	Recreation	Landscaping	Other	Financial Security
1	0	0	0	0	0	\$50,000
2	21.5%	2.0%	0	0	0	\$50,000
3	1.1%	0	0	0	0	\$50,000
4	1.1%	0	0	0	0	\$50,000
5	9.9%	20.7%	6.14	3.34	0	\$100,000
6	5.5%	25.5%	0.96	0.64	0	\$100,000
7	5.5%	25.5%	0.96	0.64	0	\$100,000
8	0.0%	0.0%	0.0%	0.0%	0.0%	\$10,000
9	0.0%	0.0%	0.0%	0.0%	0.0%	\$10,000
<b>Total</b>	<b>44.15</b>	<b>143.15</b>	<b>7.10</b>	<b>4.64</b>	<b>0.00</b>	<b>\$2,453,448.69</b>

**Project Area Proportion/Project Density Proportion**

Phase	Area (Acres)	% of Total	Residential % of Total	Commercial % of Total	Average % of Total	Retention	Afforestation	Recreation	Landscaping	Other	Financial Security
1	75.8	14.5%	85	4.3%	0	0.0%	0.0%	0.0%	0.0%	0.0%	\$50,000
2	17.0	3.2%	612	27.4%	0	2.0%	20000	2.0%	21.5%	18.1%	\$50,000
3	13.0	2.5%	75	3.3%	0	0.0%	130000	0.0%	1.1%	0.0%	\$50,000
4	13.0	2.5%	425	22.6%	0	0.0%	130000	0.0%	1.1%	0.0%	\$50,000
5	45.0	8.5%	168	8.9%	0	0.0%	300000	20.7%	9.9%	6.14	\$100,000
6	35.0	6.6%	0	0.0%	0	0.0%	400000	25.5%	5.5%	0.96	\$100,000
7	35.0	6.6%	0	0.0%	0	0.0%	400000	25.5%	5.5%	0.96	\$100,000
8	1.0	0.2%	0	0.0%	0	0.0%	10000	0.0%	0.0%	0.0%	\$10,000
9	1.0	0.2%	0	0.0%	0	0.0%	10000	0.0%	0.0%	0.0%	\$10,000
<b>Total</b>	<b>522.70</b>	<b>100.0%</b>	<b>3888</b>	<b>100.0%</b>	<b>500</b>	<b>200.0%</b>	<b>2420000</b>	<b>100.0%</b>	<b>100.0%</b>	<b>65.09</b>	<b>\$2,453,448.69</b>

**Net to be Elected by Phase**  
Phase 1: 14.5%  
Phase 2: 3.2%  
Phase 3: 2.5%  
Phase 4: 2.5%  
Phase 5: 8.5%  
Phase 6: 6.6%  
Phase 7: 6.6%  
Phase 8: 0.2%  
Phase 9: 0.2%

**Financial Security**  
Phase 1: \$50,000  
Phase 2: \$50,000  
Phase 3: \$50,000  
Phase 4: \$50,000  
Phase 5: \$100,000  
Phase 6: \$100,000  
Phase 7: \$100,000  
Phase 8: \$10,000  
Phase 9: \$10,000

**Forest Conservation Phasing Exhibit**  
February 8, 2013  
Final Forest Conservation Plan  
Sheet 63A of 63

**COMMERCIAL OPERATOR'S CERTIFICATE**  
The undersigned agrees to execute all the duties of the site plan approval process, including approval of the development program and construction of the project.  
Operator Name: **RODGERS CONSULTING**  
Address: **2000 West 10th Street, Suite 100, Frederick, MD 21734**  
Phone: **(410) 326-1885**  
Signature: \_\_\_\_\_

**RODGERS CONSULTING**  
2000 West 10th Street, Suite 100, Frederick, MD 21734  
Phone: (410) 326-1885  
www.rodgers.com

**CABIN BRANCH**  
CLARKSBURG, MARYLAND

**Qualified Professional Certificate**  
(Specific to this page, for phasing purposes only)  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_