











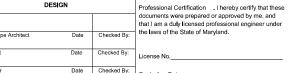


BASEMENT | 003 251 SF

BASEMENT

1 300 BASEMENT | 001 | 189 SF

BASEMENT PLAN - HISTORIC HOUSE





18 168

SOUTH WING PROGRAM SPACE

5 30 20'

FIRST FLOOR PLAN - HISTORIC HOUSE

SCALE: 1/8" = 1-0"





10 30

WEST WING EXHIBIT SPACE [107] 286 SF

STUDY 103 149 SF

Montgomery County Department of Parks 9500 Brunett Avenue Silver Spring, Maryland 20901 (301) 495-2535

	REVIEW AND APPROVAL			ISSUED FOR PROCUREMENT ON			
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NOTE: HISTORIC RILEY/BOLTEN HOUSE COVERED IEBC CHAPTER 11 - HISTORIC BUILDINGS. NO FIRE RATINGS ARE REQURIED AND IS EXEMPT FROM COMPLYING WITH THE INTERNATIONAL ENERGY CODE. SEE FACILITY PLAN

NOT FOR CONSTRUCTION

EW AND APPROVAL	ISSUED FOR PROCUREMENT ON			Josiah Henson Park - Facility Plan				
	REVISIONS			11420 Old Georgetown Road, Rockville, MD 20852				
	Rev. No.	Date	Description	11420 Old Georgetown Road, Rockvine, WD 20032				
Date				RFP #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN				

CODE CRITERIA - HISTORIC HOUSE

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SHT. # 11 of 52 MAY 28, 2013

XX CAPACITY REQUIRED CAPACITY PROVIDED TRAVEL DISTANCE TO EXIT CHOICE EXCERCISED IN TRAVEL DISTANCE FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET ONE HOUR PARTITION/ WALL TWO HOUR PARTITION/ WALL 1 HOUR RATED FLOOR/ CEILING 2 HOUR RATED FLOOR/ CEILING SPECIFIC CODE CITATION

CODE SHEET LEGEND

USE GROUP/ CONSTRUCTION TYPE

OCCUPANTS WATER CLOSET

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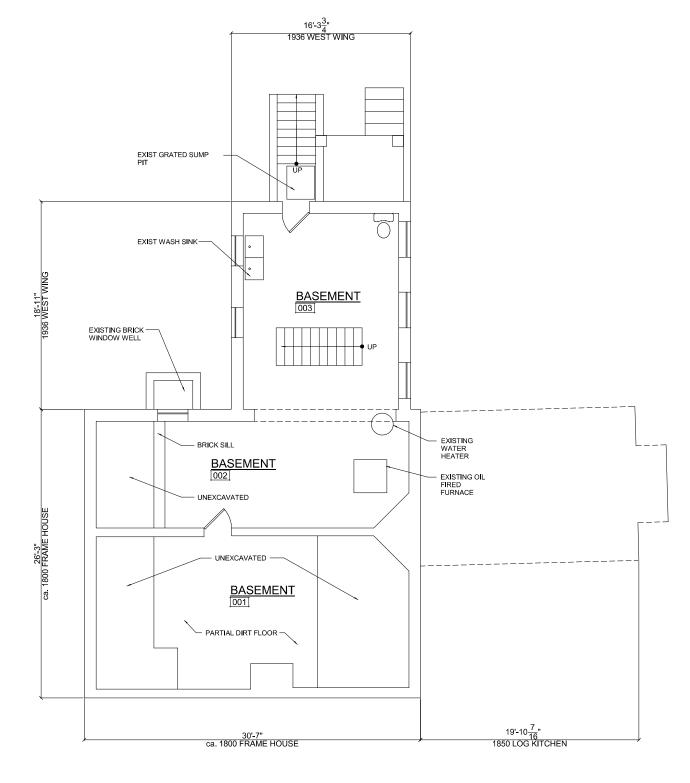
SECOND FLOOR PLAN - HISTORIC HOUSE

N O T E: ALL TRAVEL DISTANCES SHOWN ARE TO EXITS. COMMON PATH OF TRAVEL IS AT LEAST 30 FEET LESS,

REMARKS

OFFICE |204| |210 SF

OFFICE 201 239 SF





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Iscdesign architects engineers

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Landscape Architect	Date	Checked By:	the laws of the S
Architect	Date	Checked By:	License No
Engineer	Date	Checked By:	Expiration Date_
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Montgomery County Department of Parks

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REVIEW AND APPROVAL		\neg ι				
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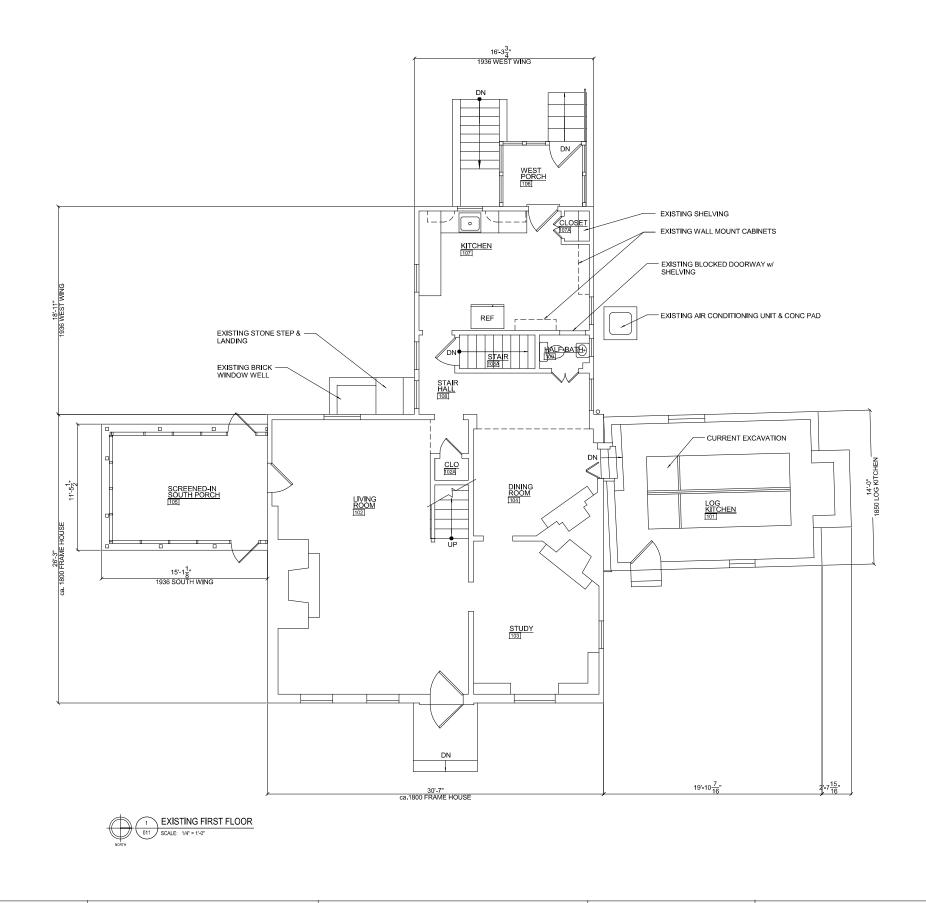
Josiah Henson Park - Facility Plan	
1420 Old Georgetown Road, Rockville, MD 20852	

P#: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

EXISTING BASEMENT PLAN

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SHT.# 12 of 52 MAY 28, 2013



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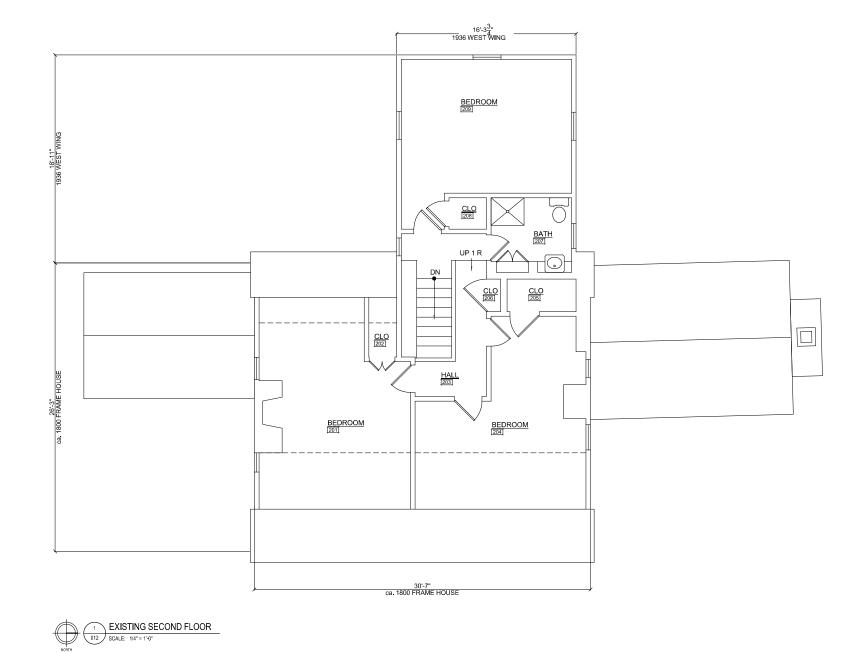
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Josiah Henson Park - Facility Plan 11420 Old Georgetown Road, Rockville, MD 20852

A-HH RFP #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

EXISTING FIRST FLOOR PLAN

SHT. # 13 of 52 MAY 28, 2013



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ers	Landscape Arc
113	Architect
	Engineer

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EXISTING SECOND FLO	OR PLAN		

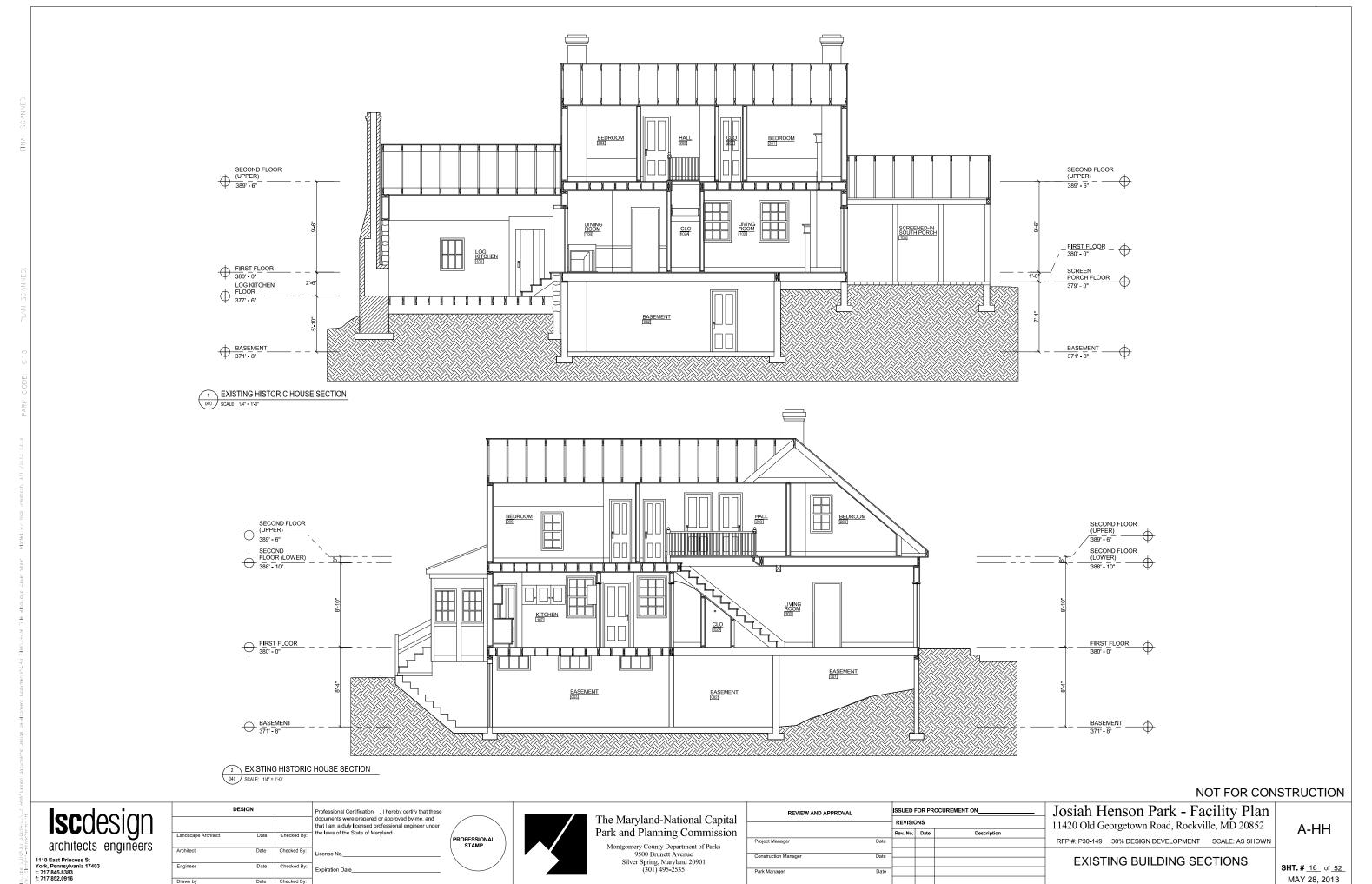
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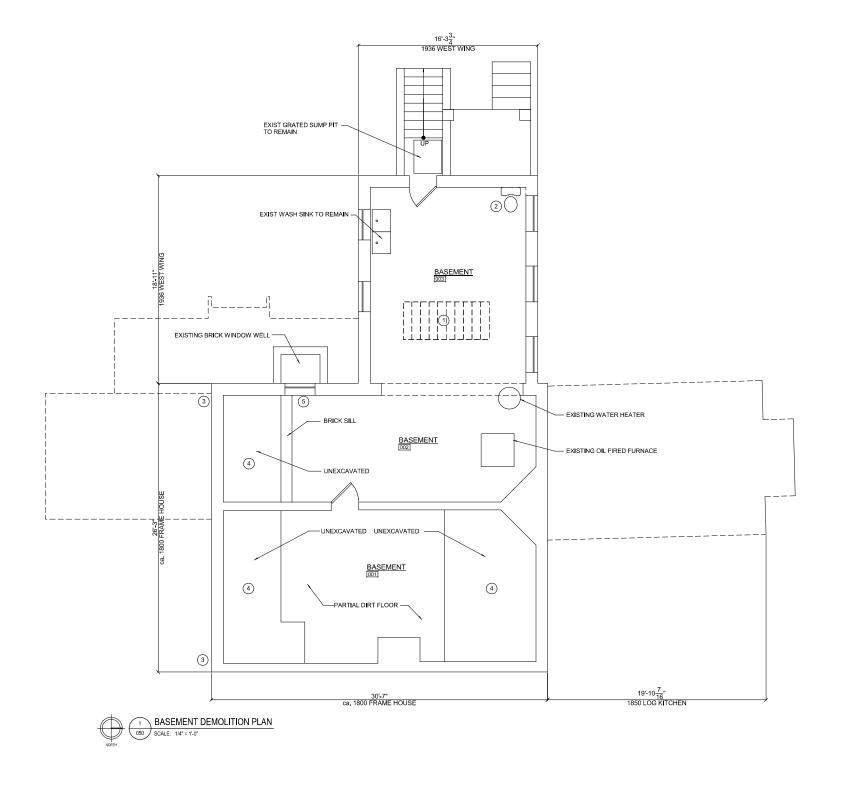
Henson Park - Facility Plan Georgetown Road, Rockville, MD 20852

A-HH 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

SHT.# 14 of 52 MAY 28, 2013







DEMOLITION NOTES

- 1 REMOVE BASEMENT STAIR.
- (2) REMOVE TOILET.
 - (3) CLEAR SOIL LINE AWAY FROM EXISTING VENTILATION GRILLES.
- (4) EXCAVATE SOIL DOWN FROM UNDERSIDE OF FLOOR STRUCTURE.
- 7 REMOVE EXISTING WINDOW AND FILL WALL OPENING TO MATCH EXISTING CONSTRUCTION.
- 8 REFER TO GEOTECHNICAL REPORT AND HSR DETAILS FOR ADDITIONAL INFORMATION

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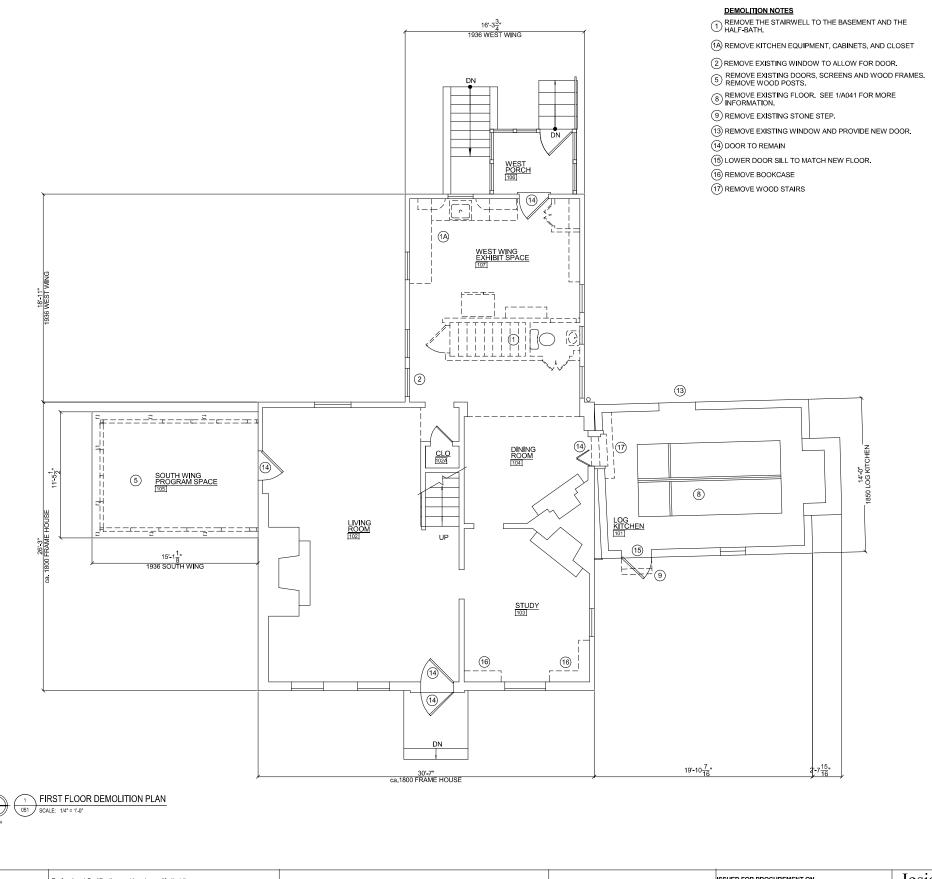
Josiah Henson Park - Facility Plan 20 Old Georgetown Road, Rockville, MD 20852

BASEMENT DEMOLITION PLAN

P#: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

SHT.# 17 of 52 MAY 28, 2013

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Josiah Henson Park - Facility Plan 11420 Old Georgetown Road, Rockville, MD 20852

FIRST FLOOR DEMOLITION PLAN

RFP #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

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SHT. # <u>18</u> of <u>52</u> MAY 28, 2013

DEMOLITION NOTES

- ① CONVERT BEDROOM TO RESEARCH LIBRARY USE. PROVIDE STRUCTURAL SUPPORT TO FLOOR AS NEEDED.
 ② REPLACE TUB WITH SHOWER, FOR STAFF USE ONLY.

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			documents were prepared or approved by me that I am a duly licensed professional engines	
Landscape Architect	Date	Checked By:	the laws of the State of Maryland.	
Architect	Date	Checked By:	License No	
Engineer	Date	Checked By:	Expiration Date	





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	REVIEW AND APPROVAL		ISSUED FOR PROCUREMENT ON REVISIONS			Josiah Henson Park - Facility Plan 11420 Old Georgetown Road, Rockville, MD 20852		
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Josiah Hense	on Park -	Facility	Plar
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A-HH FP #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

SHT.# 19 of 52 MAY 28, 2013

FACILITY PLAN PROPOSAL
BASEMENT AREA 003 FOR ARCHEOLOGY STORAGE.
BASEMENT AREA 002 FOR NEW MECHANICAL EQUIPMENT.
BASEMENT AREA 001 NOT USED. CONCRETE FLOOR ALREADY EXISTS IN AREAS 002 & 003.
ACCESS TO BASEMENT IS LIMITED TO PARK STAFF PERSONNEL AND TOURS BY
APPOINTMENT ONLY.

5 NEW CONCRETE SLAB TO RESTRICT MOISTURE.



NOT FOR CONSTRUCTION Josiah Henson Park - Facility Plan DESIGN

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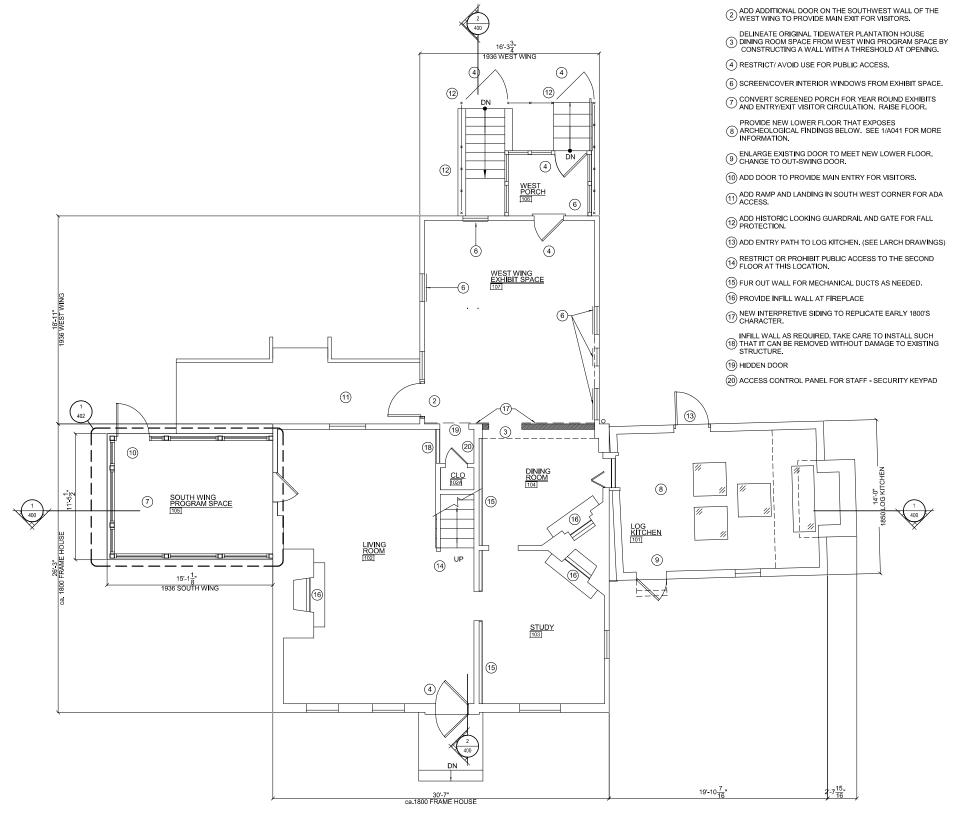
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Construction Manager	Date					
Park Manager	Date					

0 Old Georgetown Road, Rockville, MD 20852 P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

BASEMENT PLAN

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SHT.# 20 of 52 MAY 28, 2013



HSR RECOMMENDATIONS

OPTION DESCRIPTIONS PROVIDED HERE COME FROM HSR MENU OF OPTIONS NUMBERS.

FACILITY PLAN PROPOSAL

LOG KITCHEN

OPTION 4.: REOPEN THE REAR (WEST) DOOR OF THE LOG HOUSE
THAT WAS CONVERTED TO A WINDOW IN 1936, IN ORDER TO ACCOMMODATE A LOWER FLOOR IN THE LOG ROOM AND TO ALLOW VISITORS ACCESS TO THE LOG ROOM

RILEY HOUSE EXTERIOR
OPTION 5.A.: RESTORE THE SHUTTERS, REPAIRING DAMAGED ELEMENTS, AND REMAINING FAITHFUL TO THE 1936 DESIGN.

RILEY HOUSE EXTERIOR

OPTION 6.A.: KEEP THE WINDOW AND DOOR DESIGN AS THEY ARE NOW. INSTALL INTERIOR STORM WINDOWS FOR IMPROVED THERMAL CHARACTERISTICS AND UVIJIGHT FILTRATION.

RILEY GARAGE
OPTION 7.A.: DEMOLISH THE CA. 1970-1980 GARAGE BECAUSE IT IS NOT OLD ENOUGH TO TREAT AS PART OF THE HISTORIC PROPERTY

WEST PORCH
OPTION 7.B.: RESTORE THE PORCH, REPAIRING OR REPLACING DAMAGED MATERIALS, FOLLOWING THE 1936 DESIGN.

STUDY OPTION 8.A.: LEAVE THE CURRENT NORTH WINDOW AS IT IS.

SOUTHWEST ENTRY OPTION 9.B.: REOPEN THE

EXTERIOR DOORWAY THAT FORMERLY EXISTED AT THE SOUTH END OF THE HALLWAY

LOG KITCHEN OPTION 10.B.: INTERPRET AS AN ANTEBELLUM KITCHEN SPACE WITH LOFT UP THROUGH 1850.

LOG KITCHEN
OPTION 10.B.2: REMOVE THE CURRENT STAIRS, MAKING ACCESS TO THE REST OF THE HOUSE ONLY BY WAY OF GOING OUTSIDE AND COMING BACK IN A SEPARATE ENTRANCE, BUT KEEPING THE OPENING TO ALLOW VISITORS TO SEE THE LOFT AREA AND THE LOG ROOM FROM THE DINING ROOM.

STUDY OPTION 11.A.: (VARIATION) REMOVE 1936 SHELVING, KEEP ALL OTHER 1936 DETAILS AND FINISHES.

LIVING ROOM
OPTION 12.B.: KEEP PLASTER,
FIREPLACE, WINDOW DETAILS, AND DOORWAY DETAILS AS THEY ARE.

RETURN THE DINING ROOM TO THE DESIGN BEFORE 1936. DISPLAY RILEY FAMILY ARTIFACTS OR AS SPACE FOR EXHIBIT.

WEST WING EXHIBIT SPACE
OPTION 14.C.; REMOVE ALL APPLIANCES. COMPLETELY CONVERT THE ROOM TO CONTAIN INTERPRETIVE EXHIBITS ON THE PLANTATION EXPERIENCE.

SOUTH WING PROGRAM SPACE

OPTION 15.B.: COMPLETELY REBUILD THIS SPACE TO PROVIDE ONE MORE ROOM FOR THE HOUSE. NEW FLOOR TO BE LEVEL WITH INTERIOR OF HOUSE AND ROOM OF THE INTERIOR SPACE, USE THIS SPACE TO HOUSE A RESEARCH LIBRARY OR

1 FIRST FLOOR PLAN

NOT FOR CONSTRUCTION

architects engineers 1110 East Princess St York, Pennsylvania 17403 t: 717.845.8383 f: 717.852.0916

DESIGN

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9500 Brunett Avenue	Construction
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REVIEW AND APPROVAL		ISSUED FOR PROCUREMENT ON			
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Iosiah Henson Park - Facility Plan 1420 Old Georgetown Road, Rockville, MD 20852

FIRST FLOOR PLAN

RFP #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

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SHT. # 21 of 52 MAY 28, 2013

HSR RECOMMENDATIONS
OPTION 16.A.: REPAIR DAMAGED MATERIALS AND RESTORE THE DESIGN IN ACCORDANCE WITH THE 1936 DRAWINGS PROVIDED BY M-NCPPC. (MINUS THE SEWING ROOM, CLOSET, AND PANELING). USE THE SPACE AS LIMITED OFFICE AND STORAGE SPACE, TO THE EXTENT THAT MAY BE ALLOWED BY CODE.

FACILITY PLAN PROPOSAL

3 CONVERT TO OFFICE USE.



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	DESIG
Landscape Architect	
Architect	
Engineer	

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Josiah Henson Park - Facility Plan 420 Old Georgetown Road, Rockville, MD 20852

SECOND FLOOR PLAN

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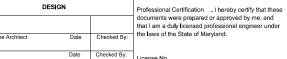
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SHT.# 22 of 52 MAY 28, 2013













1 FIRST FLOOR RCP SCALE: 1/4" = 1"-0"



LIVING ROOM 102

♠ EXISTING
8'-6"

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WEST WING EXHIBIT SPACE ◆ EXISTING
7'-10"

> STUDY 103 ◆ EXISTING
> 8'-6"

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LOG KITCHEN

Josiah Henson Park - Facility Plan 11420 Old Georgetown Road, Rockville, MD 20852 RFP #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

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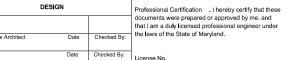
NOT FOR CONSTRUCTION The Maryland-Na Park and Planning Montgomery County Departm 9500 Brunett Avenu Silver Spring, Maryland (301) 495-2535 FIRST FLOOR REFLECTED CEILING PLAN















SECOND FLOOR RCP

132 SCALE: 1/4" = 1'-0"



- SLOPED

EXISTING 8'-4"

EXISTING

SLOPED

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Josiah Henson Park - Facility Plan 11420 Old Georgetown Road, Rockville, MD 20852 RFP #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

SECOND FLOOR REFLECTED CEILING PLAN

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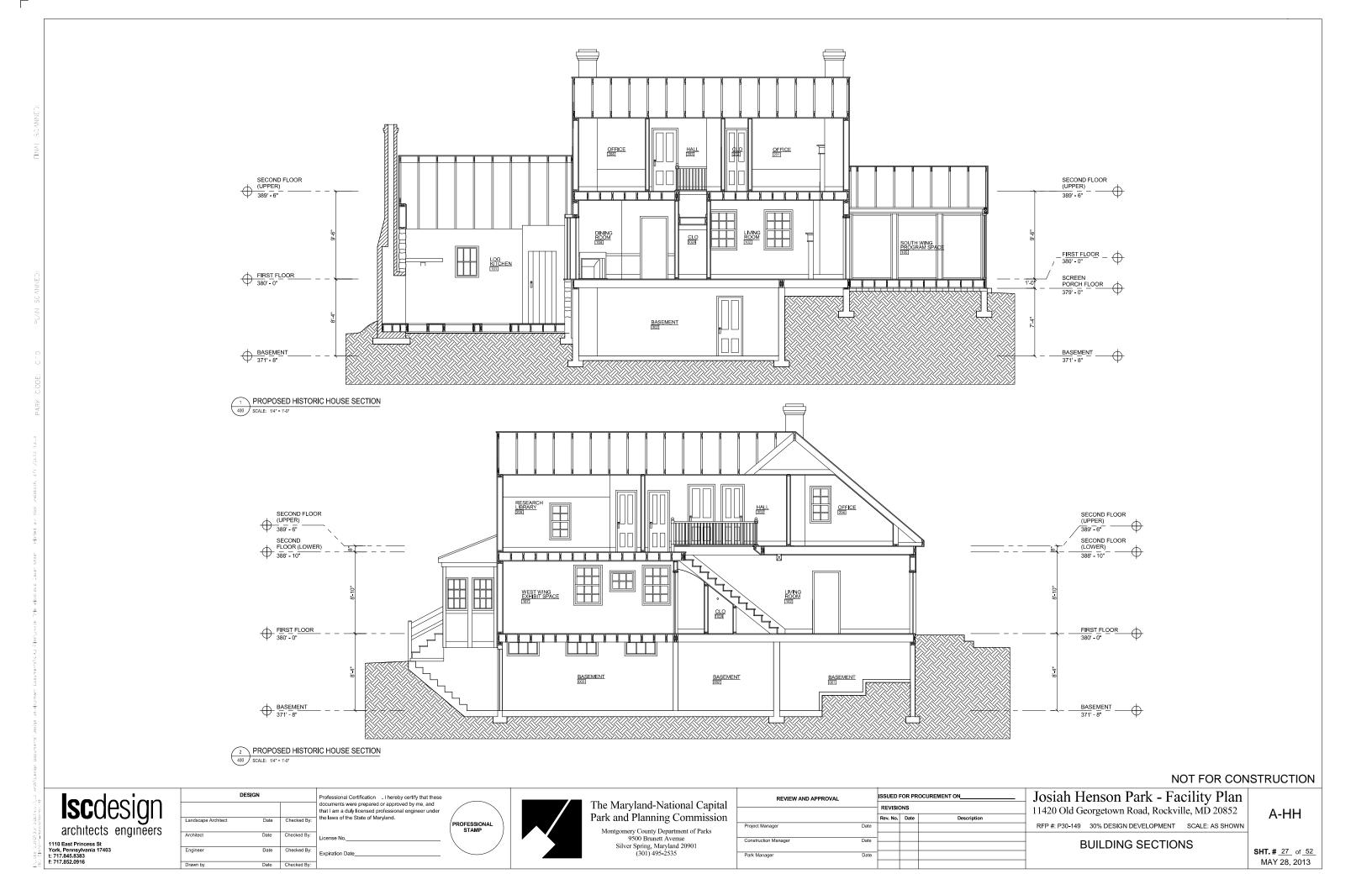
Josiah Henson Park - Facility Plan 1420 Old Georgetown Road, Rockville, MD 20852

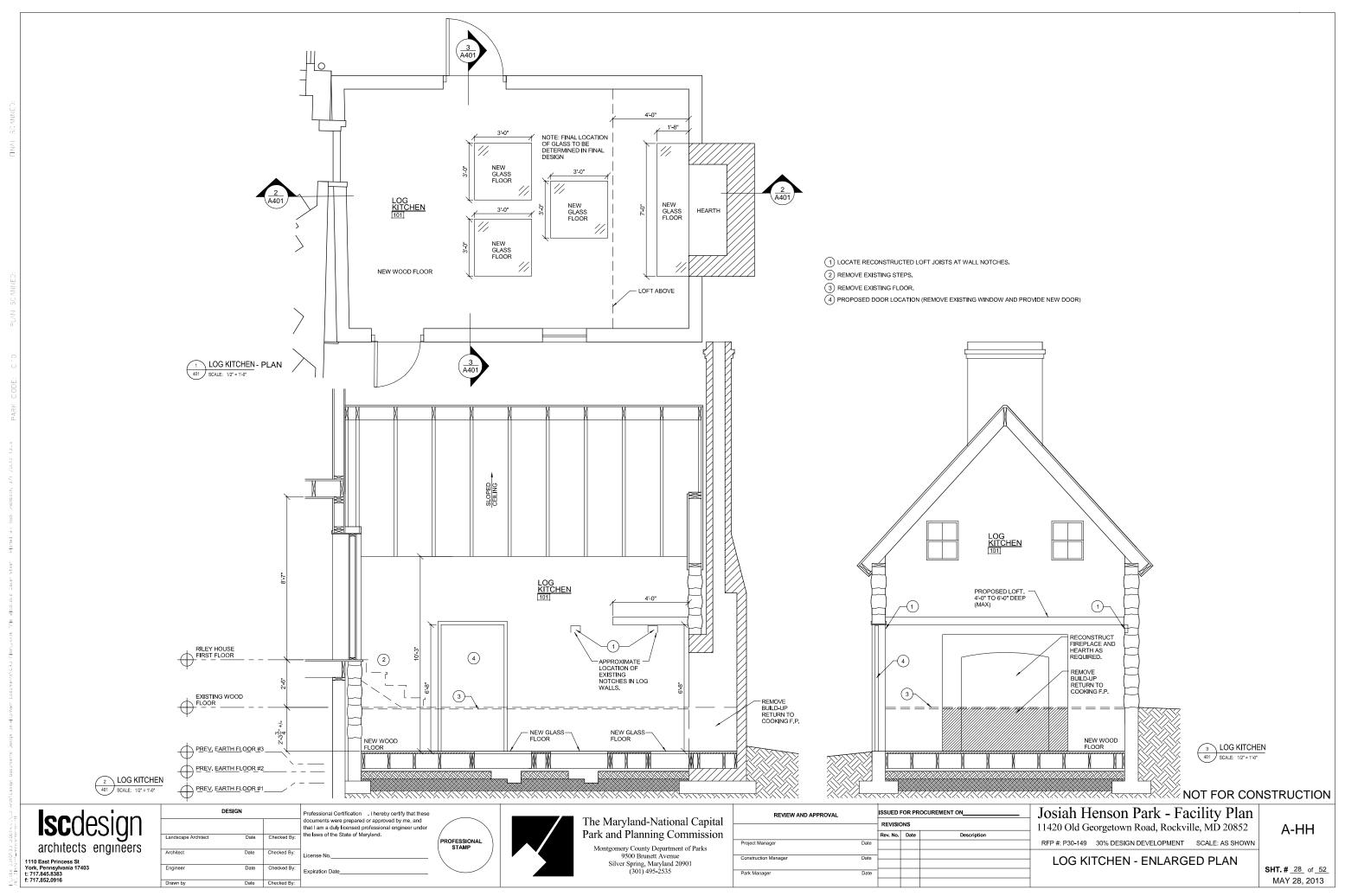
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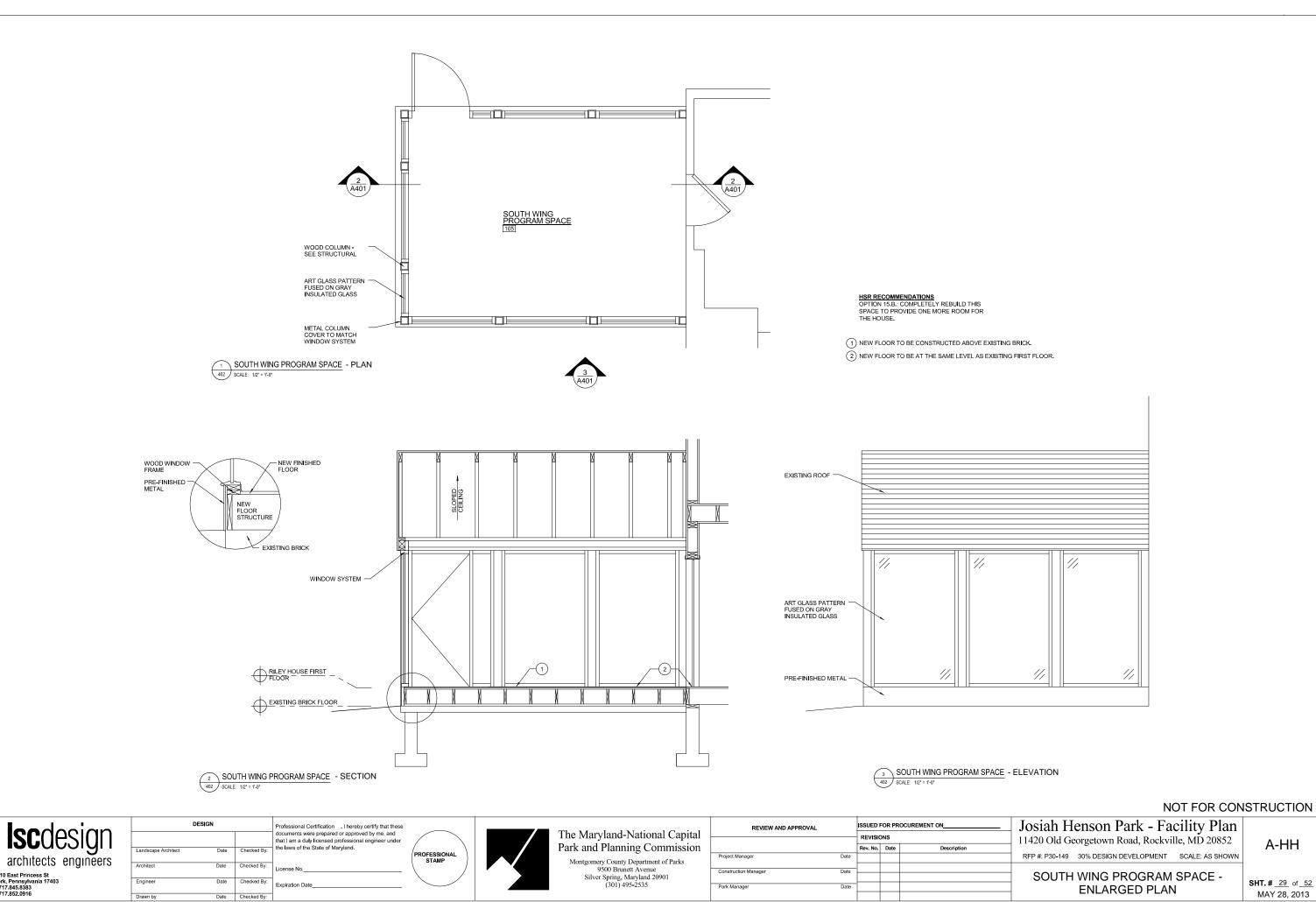
INTERIOR ELEVATIONS

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SHT. # 29 of 52

MAY 28, 2013

- 2. Refer to the Design Loads and Factors table, this sheet, for code required
- 3. Contractor shall be solely responsible for means and methods and protecting adjacent structures during the course of the work. Contractor shall not damage or endanger the structural integrity of the Work or Existing Structure.
- Contractor shall be responsible for the proper and safe design of shoring systems for trenches and excavations.
- Contractor shall locate and mark all underground utility lines before starting work and call all local jurisdictions having authority.
- Notify Engineer in case of discrepancies between drawings, and these notes, and Project Manual before proceeding with the work.
- Contractor shall use architectural drawings and drawings of other trades in conjunction with the structural drawings to properly perform the work.
- 8. If conditions disclosed during excavation and demolition reveal unforeseen
- conditions, Contractor shall notify Architect of these conditions. Contractor shall be responsible for coordinating between trades

- A. Contractor shall verify all dimensions and accurately locate all existing columns, bearing walls and other structural members before beginning work.
- Sections and details shown, while drawn for specific locations, are intended to establish the general types of details to be used throughout.
- 13. The Engineer's review of a shop drawing or submittal shall not relieve the Contractor of his responsibility to follow the intent of the contract drawings.

EXISTING BUILDING/STRUCTURE NOTES

- Contractor shall verify all existing dimensions and elevations before beginning
- Utmost care shall be exercised at all times when working on existing structural members to avoid impairing the carrying capacity of the existing structure.
- A. Should the Architect determine that the carrying capacity of the existing structure has been impaired by, or as a result of, the operations of the Contractor, or is otherwise not in conformance with the contract documents, appropriate remedial work shall be required.
- B. Any damage resulting from the operations of the Contractor shall be repaired as directed by the Owner's representative at no additional cost to
- structure not indicated to be modified or demolished.
- Burning or welding in the building is strictly prohibited.
- Contractor shall coordinate locations and dimensions of all penetrations through existing masonry walls with mechanical/electrical/plumbing drawings and provide lintels or sleeves per structural details. The contractor shall provide an allowance in their bid/pricing for this work.
- 6. Contractor shall infill all abandoned mechanical/electrical/plumbing penetrations in existing walls to the satisfaction of the Architect. The masonry and carpentry 4. sub-contractor shall provide an allowance in their bid/pricing for this work. Coordinate with existing conditions, architectural, demo and mechanical/electrical/plumbing drawings.

- 1. Foundations are designed for a bearing pressure of 2000 psf based on a subsurface exploration program conducted by HILLIS—CARNES ENGINEERING ASSOCIATES, INC., and described in report dated September 27, 2012. Contractor shall notify the Geotechnical Engineer before placing any footings.
- Geotechnical engineer shall inspect and report on adequacy of bearing material
- Footings should be cast on the same day in which excavation for them is completed. If placing of concrete is delayed, footing bottom shall be trimmed to firm material immediately before casting.
- A. Elevation of top of footing shown thus TF +
- Where pipes pass under wall footings, excavation below bottom of footing shall be backfilled with concrete.

- 6. Footings shall be formed unless otherwise permitted by the Engineer
 - 7. Provide continuous keyway and dowels in top of wall footing supporting
 - 8. Provide keyway and dowels at construction joints in concrete walls.
 - Refer to specifications and architectural drawings for waterproofing details and procedures

 - A. Before backfilling walls, grout and/or concrete shall have attained design strength, and all slabs and beams that are necessary for the stability of the walls shall be in place.
 - B. Backfill shall be carried up evenly on both sides of wall to lower grade.
 - C. Backfill shall be placed in maximum of 8" loose lift thickness and compacted to 95% of Standard Proctor.
 - 11. Structural fill:
 - A. Shall be placed in maximum of 8" loose lift thickness and compacted to
 - B. On-site or imported granular fills including GW, GP, GM, SW, SP, ND, SM Classified in accordance with the Unified Soil Classification System (USCS) and within 2% of optimum moisture. Furthermore, the material to be utilized as structural fill should have a plasticity index (PI) less than 2, subject to final approval by the Geotechnical Engineer.
 - 12. Contractor shall be responsible for the proper and safe design and installation of all sheeting and shoring excavation support systems. All sheeting and shoring systems shall be designed by a professional engineer engaged by the Contractor and registered in the state of the project. Signed and sealed shop drawings and calculations shall be submitted to the Engineer for review.
 - 13. Permanent or abandoned timber lagging must be preservative treated prior to
 - 14. Perimeter perforated foundation drain shall be installed where shown. See drawings. Care must be exercised to avoid breaking perforated foundation drain tile when backfilling.

WATER CONTROL DURING CONSTRUCTION

- Concrete shall be placed in dry excavations. Contractor shall note soil and water conditions as shown by borings and depths of footings as shown on foundation plans. Pending approval by the Owner, Contractor may elect to conduct further subsurface investigations at his own expense.

REINFORCED CONCRETE

- Concrete construction shall follow requirements of the project specifications and ACI 301 "Specifications for Structural Concrete".
- Reinforcing for concrete shall be detailed, fabricated, and placed in accordance with the provisions set forth by the American Concrete Institute and the CRSI "Manual of Standard Practice."
- Reinforcing steel shall conform to ASTM A615, Grade 60. Epoxy coated reinforcing bars shall conform to ASTM A775. Length of reinforcing bars shown does not include hooks.
- Welded wire fabric shall conform to ASTM A185.
- Concrete properties: See schedule on sheet S000.
- Clear cover for cast-in-place concrete reinforcing: See schedule on sheet
- Reinforcement not shown on sections and plans is the same as that shown in similar sections and at similar locations.
- 8. Between all separate concrete pours, provide dowels equal in size and number to bars in the doweled member. Develop or splice dowels on each side of cold joint according to the reinforcing development length tables on SXXX and
- 9. At wall intersections, provide corner bars equal in size and spacing to normal

- A. Unless otherwise noted, slab on grade shall be reinforced with 6x6, W2.0 x W2.0 WWF, lapped 6" on all sides, set 1" below top of slab, unless noted otherwise on the plans.
- B. Unless otherwise noted, construction joints in slabs on grade shall be keyed and dowels shall pass through the joint.
- C. Slab on grade shall be thickened 4" underpartition walls and be reinforced with 2-#4 bars under wall.
- D. Provide premolded joint filler where slab abuts vertical surface.
- 11. See other drawings in this project for size and location of equipment pads, curbs, inserts and embedded items.
- 12. Contractor shall notify Owner's inspection agency before placement of concrete to allow for inspection.
- 13. Refer to project specifications, ACI 301, and special inspections table for

- Stairs shall be designed by a professional engineer (engaged by the Contractor)
- Contractor shall submit signed and sealed shop drawings and calculations to the design team for review prior to fabrication.
- See architectural drawings for stair locations, dimensions and details.

STRUCTURAL WOOD FRAMING

- All wood framing, including details for bridging, blocking, fire stopping, etc., shall be in accordance with the following standards (latest edition):
- A. American Forest & Paper Association (AFPA) "National Design Specification for Wood Construction (NDS)" and its supplements.
- Framing lumber shall be of the following species and minimum grade:
- A. Rafters: Southern Pine, No. 2 or better. Fb = 1200 psi, Fc = 1550 psi, Fv = 175 psi, E = 1,600,000 psi
- B. Joists: Southern Pine, No. 2 or better. Fb = 1200 psi, Fc = 1550 psi, Fv = 175 psi, E = 1,600,000 psi
- C. Studs: Hem Fir, stud grade or better. Fb = 675 psi, Fc = 800 psi, Fv = 150 psi, E = 1,200,000 psi.
- D. Plates: Hem Fir, stud grade or better. Fb = 675 psi, Fc = 800 psi, Fv = 150 psi, E = 1,200,000 psi.
- E. Truss Chords: Southern Pine, No. 1 or better. Fb = 1500 psi, Fc = 1650 psi, Ft = 825 psi, Fv = 175 psi, E = 1,700,000 psi, Emin = 620,000 psi.
- F. Truss Webs: Southern Pine, No. 2 or better. Fb = 1,250 psi, Fc = 1,600 psi, Ft = 725 psi, Fv = 175 psi, E = 1,600,000 psi, Emin = 580,000 psi
- Factory mark each piece of framing lumber with grade stamp of, or certificate of inspection issued by, an approved grading or inspection agency.
- 4. Framing lumber shall be surface dry, except studs, which shall be kiln-dried. Preservative—treated wood: Provide preservative—treated lumber at all exterior locations, and for all lumber in contact with slab on grade, concrete or masonry, or as otherwise indicated on architectural or structural drawings.
- Treatment shall be in accordance with industry standard practice. Where solid sawn framing lumber is flush framed to Microllam, Glulam, Parallam girders, set the girders 1/4" clear below top of framing lumber to allow for
- Stud bearing walls are to be 2x6 @ 16" o.c. with single bottom plate and double top plate, unless noted otherwise on plan.
- directly with studs below. Install additional studs where required.
- Provide double studs at the ends of walls and at the ends of wall openings. 10. Lap all top plates at corners and at intersection of partitions.
- 11. Stagger lap splices 32" minimum in straight wall runs. Do not splice or lap top plates within 4'-0" of corners.
- 12. Unless noted otherwise on plans, provide headers per the following

- Rough Opening Width 2x6 Wall Jack Studs @ Each Jamb Less than 3'-0" (3) 2x8 3'-1" to 4'-0" (3) 2x8 4'-1" to 6'-0" (3) 2x10 6'-1" to 8'-0"(3) 2x12 Over 8'-0" See plans
- Unless noted otherwise, at the ends of all beams and girders, provide a built-up or solid post whose width is at least equal to the width of the member it is supporting and whose depth is 6" (nominal).
- exceed 8'-0" o.c.
- 15. Do not cut or notch new or existing beams and joists without written approval from the Engineer.
- 16. Stud bearing walls shall have bridging at mid-height or 8'-0" o.c. max.
- not install lag screws with impact drivers.
- Notching, boring and surfacing of existing wood members in preparation for structural steel connections shall be performed by carpenters only.
- 19. Refer to sheet S400 for wood truss notes and loading diagrams.

WOOD CONNECTORS AND FASTENING

- All joist hangers, cross bridging, and all connectors for wood construction shall be galvanized steel as manufactured by Simpson Strong Tie or approved equal. Special nails as supplied by the manufacturer shall be used for connector to the connector to the
- 2. Connectors shall be of type and size shown on details.
- 3. Fastening shall be in accordance with the most restrictive of the International Residential Code (Latest Edition), IBC fastening schedule Table 2304.9.1, and relevant manufacturer's requirements.
- 4. All nails shall meet the requirements of ASTM F1667. Wood screws shall meet the requirements of ANSI/ASME B18.6.1. Bolts and lag screws shall meet the requirements of ANSI/ASME B18.2.1.
- Where rough carpentry is exposed to weather, in contact with ground, and/or preservative—treated, fasteners shall be stainless steel or hot—dip galvanized complying with ASTM A153; connectors shall be hot-dip galvanized complying with ASTM A653, G185 coating designation.
- All flush framed connections shall be made with approved galvanized steel joist or beam hangers, 18 gage minimum, installed in accordance with manufacturer's recommendations.
- Install metal framing connectors to comply with manufacturer's guidelines.
 Provide I-joist web stiffeners, both sides, if top flange is not laterally supported by hanger per manufacturer's guidelines.
- Connectors in contact with preservative treated members shall be ASTM A653 G185 galvanized. Fasteners shall match the selected hanger finish and material.
- 10. For wall and roof sheathing panels, provide fasteners with corrosion-protective coating having a salt-spray resistance of more than 800 hours according to ASTM B117.
- Where cantilevered beams are indicated, the back span connector shall be capable of resisting an uplift of 1000 lbs minimum, unless noted otherwise. 12. Joist hangers shall develop the full shear capacity of the member, and shall be
- installed per the manufacturer's requirements and installation guidelines. ENGINEERED WOOD FRAMING - DESIGN PROPERTIES
- 13. "Laminated Veneer Lumber, LVL" beam minimum properties: Fb =2600 psi, Fc = 2510 psi, Fv = 285 psi, E = 1,900,000 psi as manufactured by iLevel
- 4. "Wood I—joist" members shall be as shown on plan as manufactured by iLevel TrusJoist or equal. Install in strict compliance with the manufacturer's standard recommendations and details, including construction bracing, minimum bearing lengths, web stiffeners, squash blocks, blocking, knockouts, notches,
- Factory mark each piece of and engineered wood product with grade stamp of, or certificate of inspection issued by, an approved grading or inspection agency.
- 16. Allowable penetrations, notches and/or alterations in engineered wood products shall comply with manufacturer's guidelines.

- 1. Plywood sheathing shall conform to the Department of Commerce Voluntary Product Standard PS1 "Structural Plywood" (DOC PS1); oriented strand board (OSB) shall conform to the Department of Commerce Voluntary Product Standard PS2 (DOC PS2)
- 2. Sheathing shall be of the following thickness and properties:
 - A. Roof: 3/4" with 48/24 span rating, APA rated EXP 1. Use ply clips or other edge support as required for installation.
 - B. Floor: 1" or 1-1/8", APA rated Exposure 1, Underlayment.
- C. Wall: 1/2" 32/16 span rating, APA rated EXP 1
- 4. Sheathing shall be nailed to framing; stagger joints.
- 5. Sheathing shall be installed such that the long direction is perpendicular to the
- Provide AWPA C9 preservative—treated plywood as indicated on drawings and at plywood in contact with masonry and/or concrete or used with roofing, flashing, vapor barriers, and waterproofing.

MASONRY

- 1. Masonry shall be constructed in accordance with ACI 530.1.
- All concrete masonry units shall conform to ASTM C90. Provide two-cell units, unless noted otherwise on plans.
- 1500 psi at 28 days.
- 4. Concrete Unit Masonry Strength: Compressive strength of concrete unit masonry (f'm) may be determined either by strength or individual units, grout strength, and mortar type in accordance with ACI 530.1 article 1.4.B.2.b or by prism test method in accordance with ACI 530.1 article 1.4.B.3. Submit data and test results to validate masonry system strength via one of the two referenced
- 5. Mortar for use below grade shall conform to ASTM C270, Type S.
- 6. Lay fully-grouted CMU walls with only face shells fully bedded
- Grout for masonry shall conform to ASTM C476 with a minimum 2000 psi compressive strength at 28 days. Provide coarse grout unless dimensions of grout spaces and pour heights dictate fine grout according to Table 7 in ACI 530.1.
- 9. See architectural drawings for other masonry requirements.
- 10. Provide continuous bond beam at top of wall. Reinforce bond beams with
- 11. Install ladder-type joint reinforcement at 16" o.c.. Discontinue joint reinforcing

SHORING/SCAFFOLDING

- The contractor shall submit shoring/scaffolding shop drawings and calculations, prepared and sealed by a professional engineer licensed in the state of Maryland for the following:
- A. Earthwork sheeting and shoring.
- B. Building/structure support shoring
- 2. Shoring and scaffolding shall comply with O.S.H.A. regulations
- The structural engineer of record (SER) will review shoring/scaffolding submittals only for loads transmitted to the building structure. Submittals shall clearly indicate the location and magnitude of all loads applied to the building or structure. The contractor is responsible for design and performance of the

CAST-IN-PLACE CONCRETE PROPERTIES SCHEDULE NOMINAL AGGREGATE SIZE MAXIMUM *AIR CONTENT TYPE W/C RATIO (±1%) STRENGTH (ASTM C33 GRADING INTERIOR SLABS 5" THICK & LESS 4.000 psi 0.50 1" (#57) SLABS ON DECK (LW) 0.50 34" (#67) FOUNDATIONS 3,000 psi 0.55 6% 1½" (#467) 1" (#57) SITE SLABS & WALL 4,000 psi 0.45 6% 1½" (#467) SITE FOUNDATIONS 4,000 psi 0.45

* AIR-ENTRAIN CONCRETE SUBJECTED TO FREEZE-THAW ENVIRONMENTS

DO NOT ALLOW AIR CONTENT OF TROWELED FINISHED FLOORS TO EXCEED 3%.

DESIGN CODE: INTERNATIONAL BUILDING CODE 2012 EL LIVE LOAD DATA SNOW LOAD DATA WIND LOAD DATA EARTHQUAKE DESIGN DATA FLOOR OR ROOF AREA ROOF AREA FACTOR GROUND FLOOR 100 GROUND SNOW LOAD (Pa) 25 BASIC WIND SPEED (V3s) (MPH) 115 SEISMIC IMPORTANCE FACTOR (IE) 1.0 STAIRS 100 || FLAT ROOF SNOW LOAD (Pf) 20 RISK CATEGOR WIND IMPORTANCE (Iw) 20 VARIES RISK CATEGORY 0.156 SPECTRAL RESPONSE ACCELERATION 0.2 SEC (S_S) WIND EXPOSURE SPECTRAL RESPONSE ACCELERATION 1.0 SEC (S₁) 0.051 SITE CLASS (ASSUMED SNOW EXPOSURE (Ce) 1.0 DESIGN SPECTRAL RESPONSE COEFFICIENT (SDS) 0.167 1.0 * CALCULATED PRESSURES TO DESIGN SPECTRAL RESPONSE COEFFICIENT (SD1) 0.082 SNOW LOAD IMPORTANCE (%) BE DETERMINED BY COMPONENT SEISMIC DESIGN CATEGOR THERMAL FACTOR (C+) AND CLADDING PROVIDER.

DESIGN LOADS AND FACTORS

* SEISMIC FORCE RESISTING SYSTEM: LIGHT-FRAMED WALLS SHEATHED W/ WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE.

Josiah Henson Park - Facility Plan 11420 Old Georgetown Road, Rockville, MD 20852 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

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STRUCTURAL DRAWING LIST

DRAWING TITLE

S000 General Notes & Drawing List

S041 Log Kitchen Plan & Elevation

S042 | Screen Porch Plan & Elevation

S112 Roof Plan - Visitor Center

S300 Sections & Details

S400 Truss Elevations

S110 Basement Plan - Visitor Center

S111 | First Floor Plan — Visitor Center

S011 First Floor Plan - Historic House

S012 Second Floor Plan - Historic House

SHT.#<u>30</u> of <u>52</u> MAY 28, 2013

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architects engineers

110 East Princess St

717.845.8383

ork. Pennsylvania 17403

KEAST & HOOD CO.

Date

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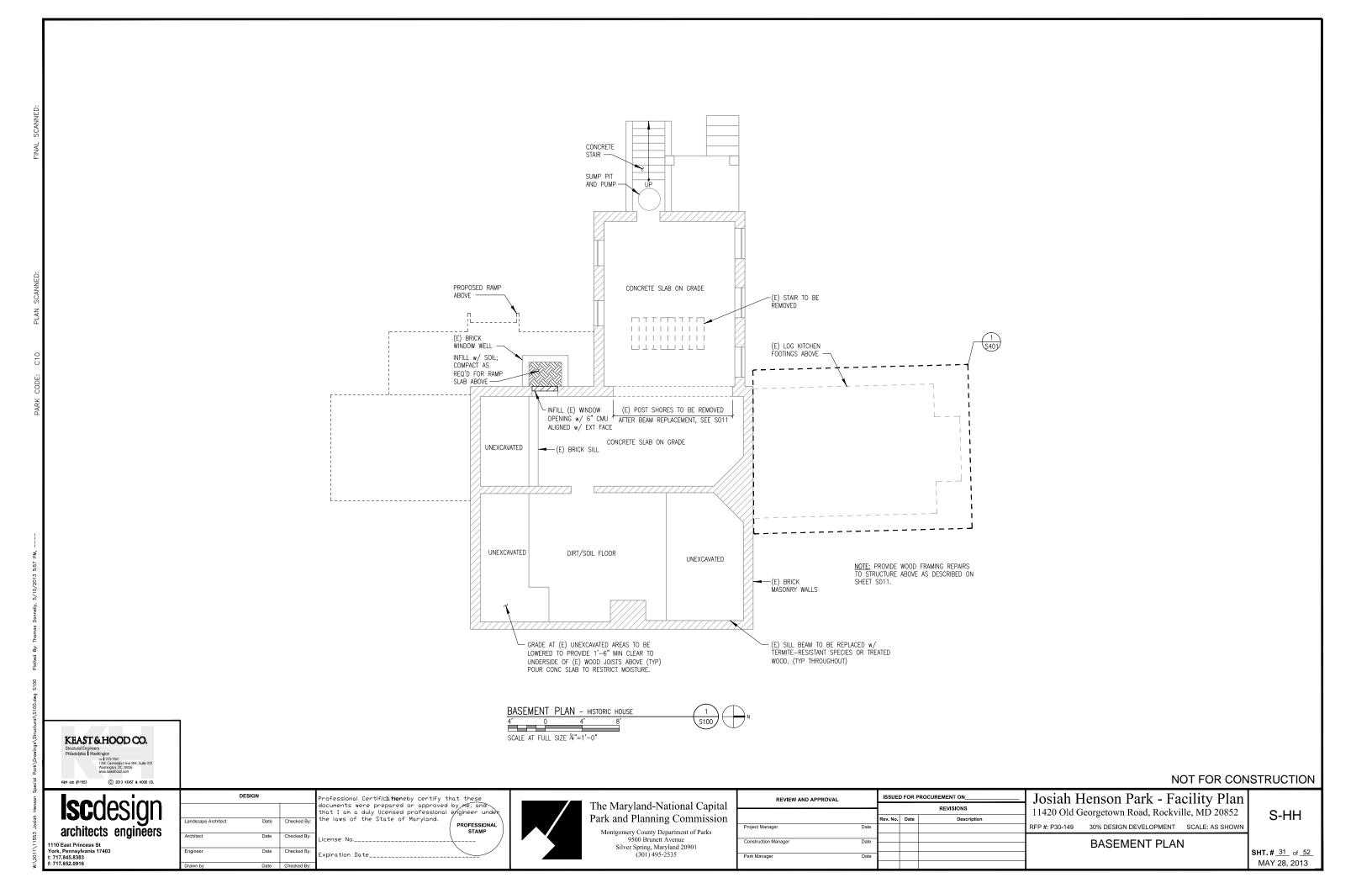
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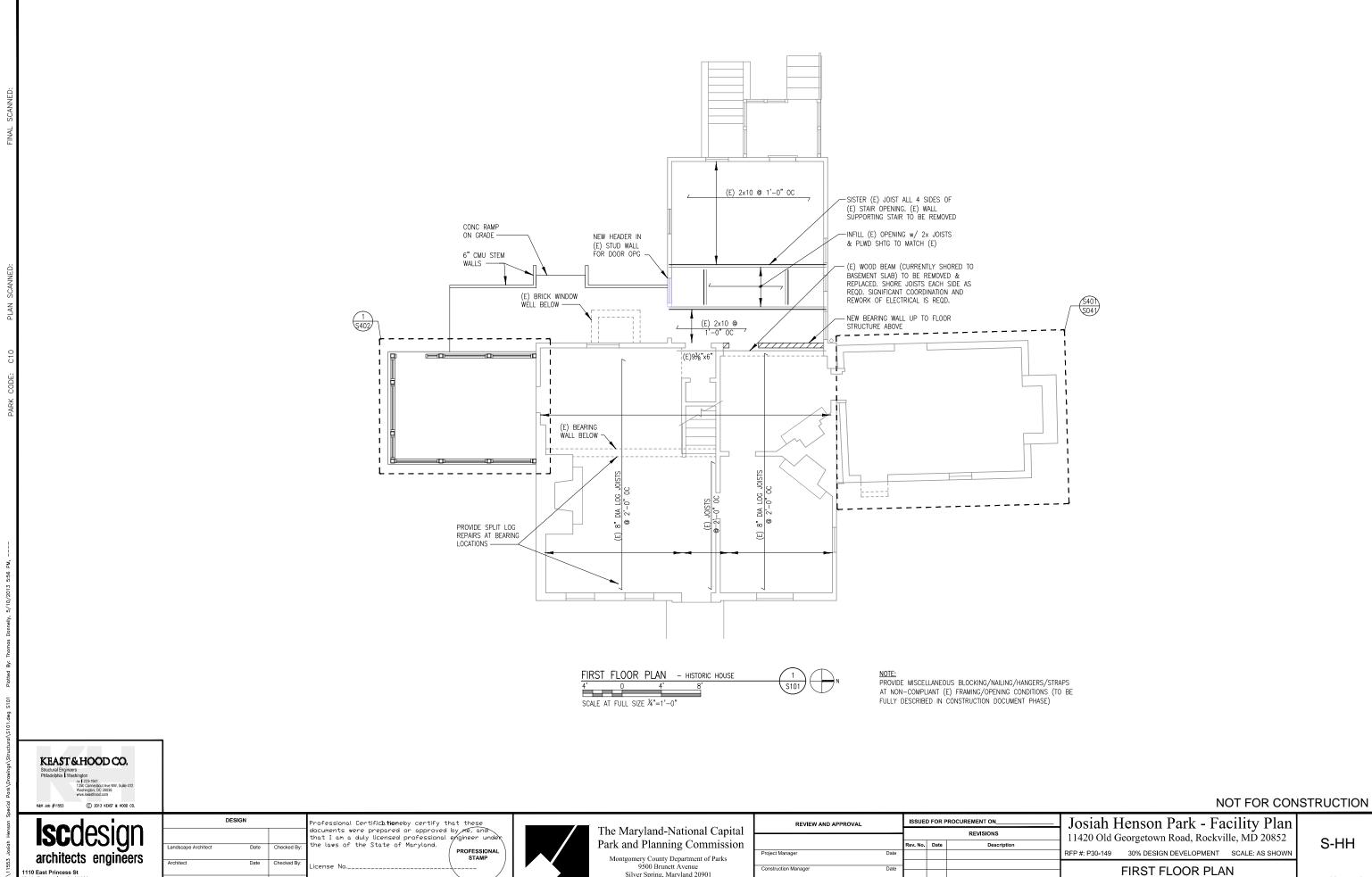
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GENERAL NOTES & DRAWING LIST





110 East Princess St York, Pennsylvania 17403 : 717.845.8383 : 717.852.0916

Date

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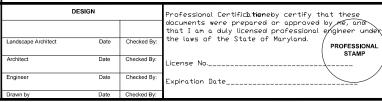
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ROOF PLAN

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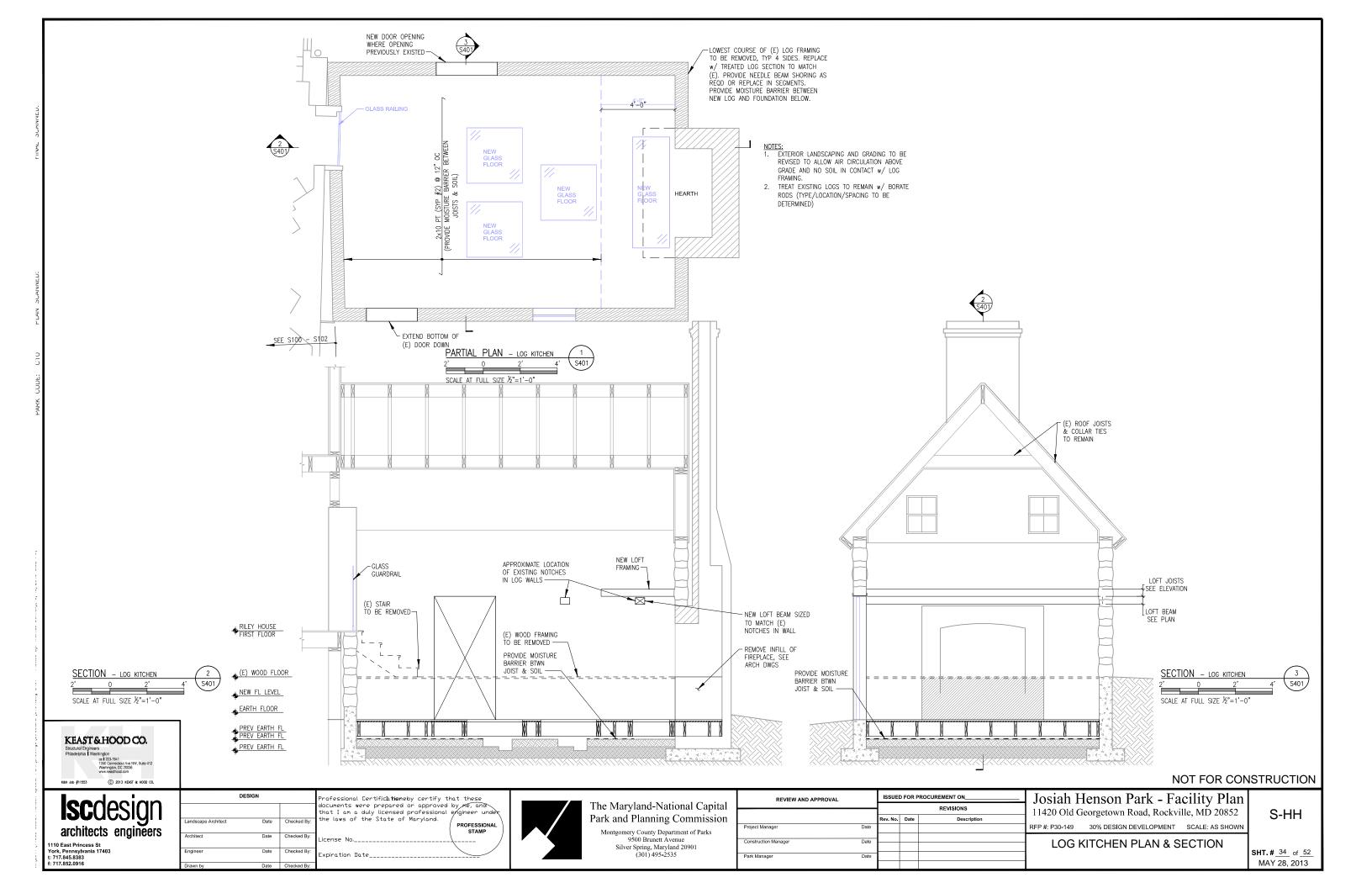
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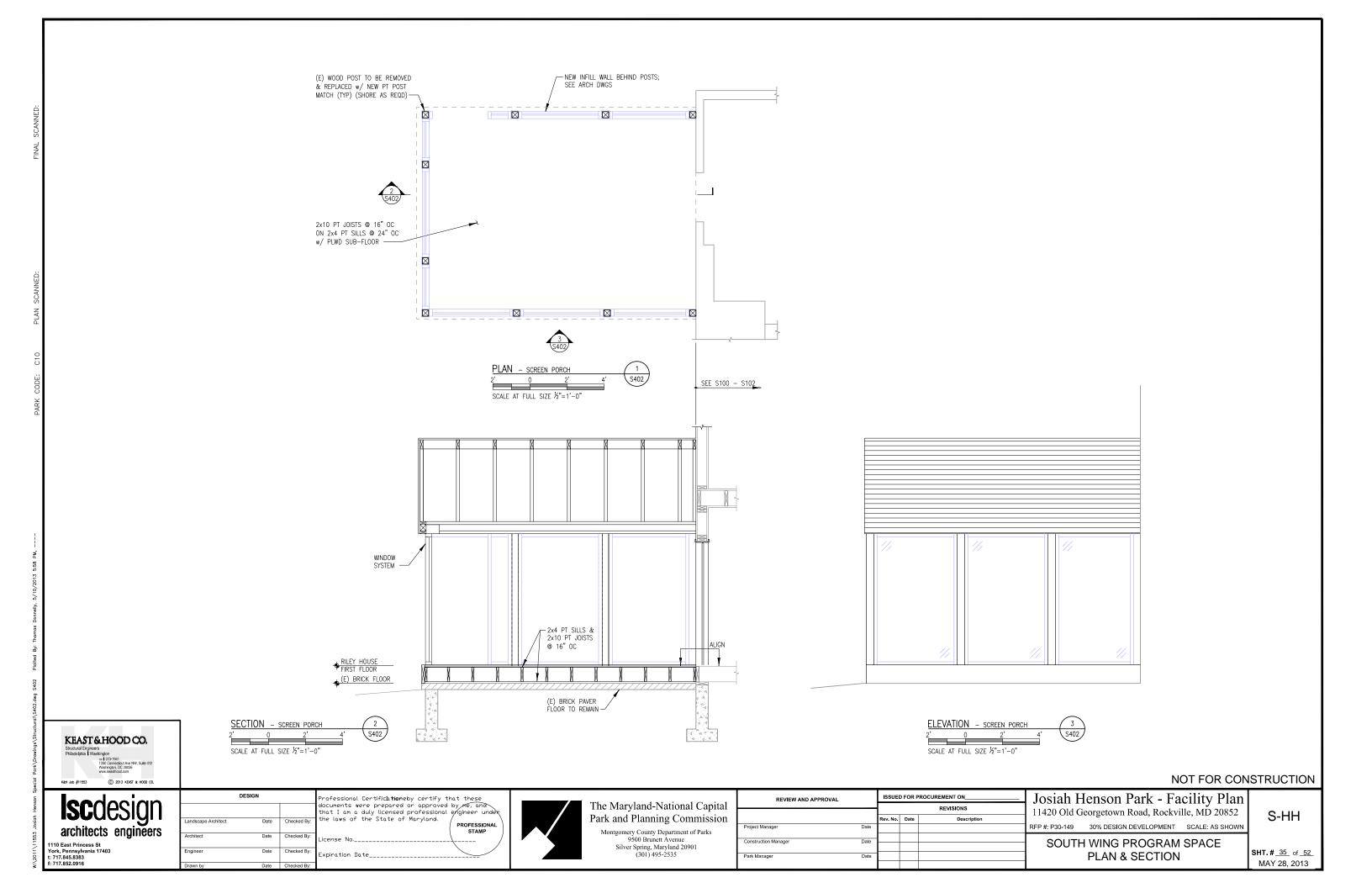
(E) 2x10 @12" OC (E) BEAM (E) 5"x10" SUMMER BEAM

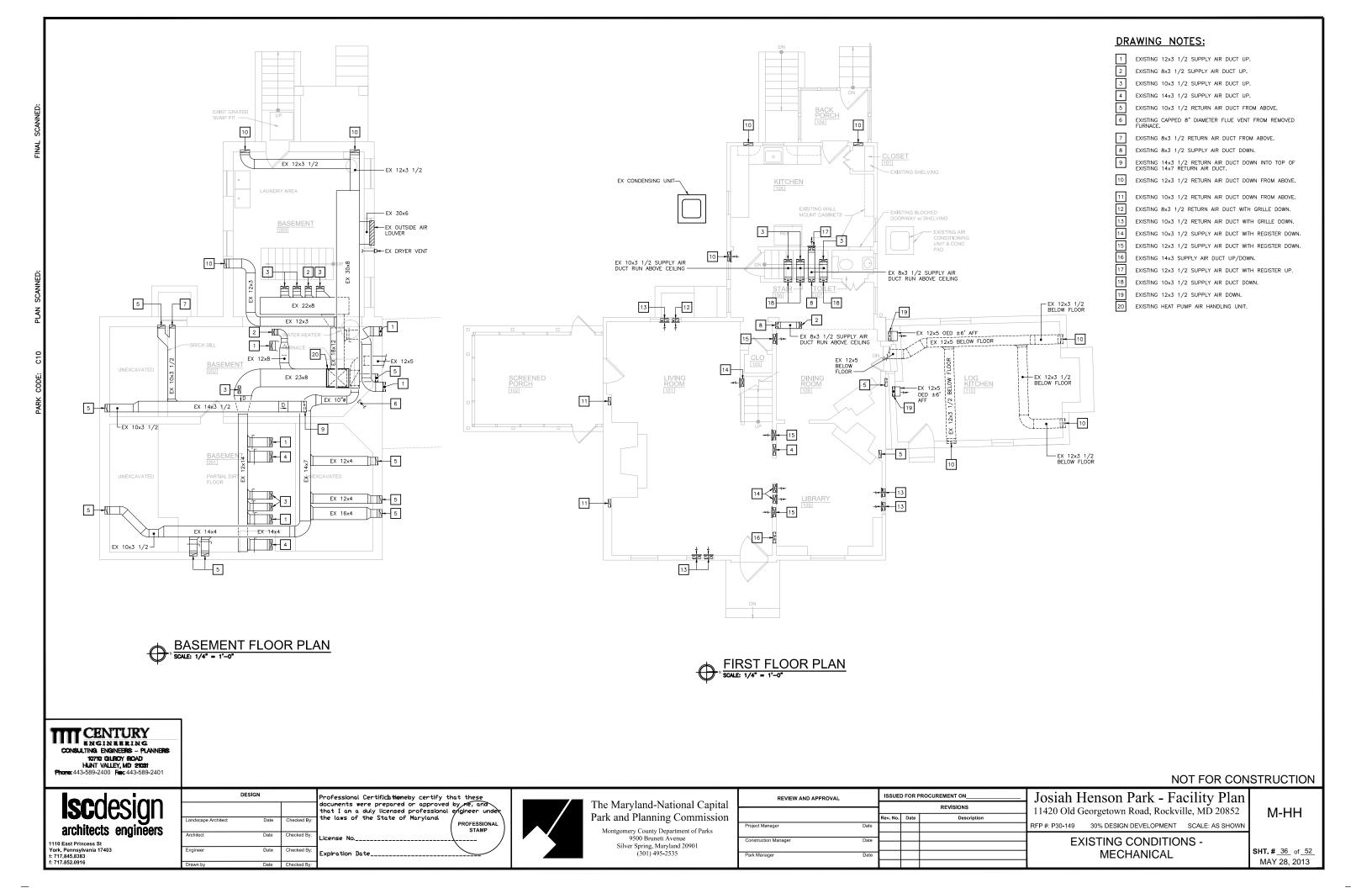
> SECOND FLOOR PLAN - HISTORIC HOUSE $1 \\ S102$ N 7 0 7

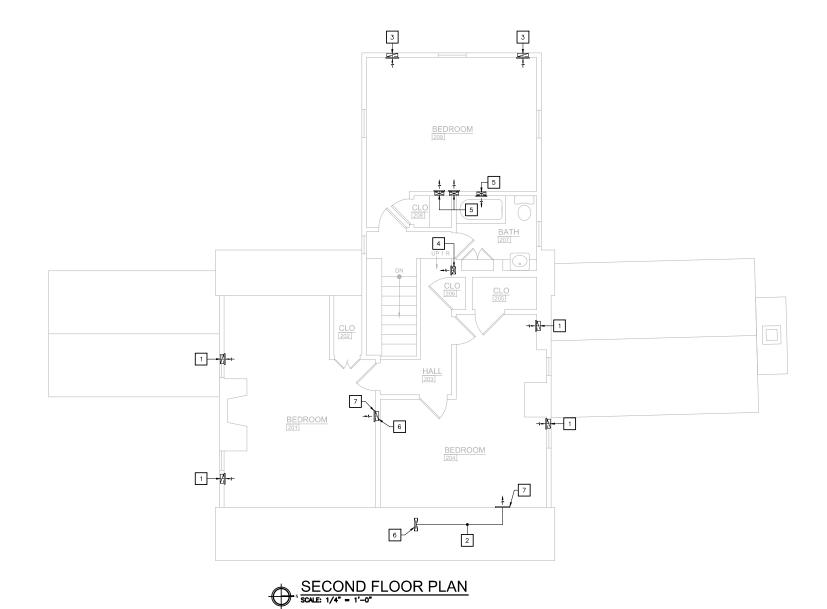
SCALE AT FULL SIZE 1/4"=1'-0"

RESTRICT ACCESS AND OTHER FURNITURE/ STORAGE AT 2nd FLOOR SUCH THAT LIVE LOAD ON FLOORS LIMITED TO MAXIMUM VALUES ON PLAN (TO BE FINALIZED IN CONSTITUTION DOCUMENT PHASE)









DRAWING NOTES:

- EXISTING 10x3 1/2 RETURN AIR DUCT WITH GRILLE DOWN.

- EXISTING 14x3 1/2 SUPPLY AIR DUCT BELOW.
- EXISTING SUPPLY AIR REGISTER.

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osiah Henson Park - Facility Plan 420 Old Georgetown Road, Rockville, MD 20852 #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

EXISTING CONDITIONS -

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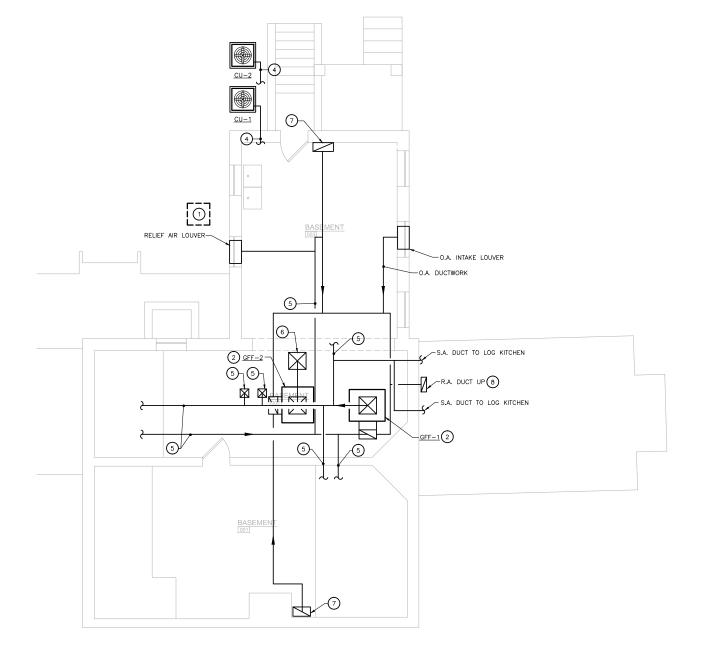
SHT. # 37 of 52 MAY 28, 2013

GENERAL NOTES:

 REMOVE EXISTING HVAC EQUIPMENT, DUCTWORK, FUEL-OIL PIPING, AND FLUE TO EXISTING CHIMNEY.

DRAWING REFERENCE NOTES:

- 1) REMOVE EXISTING CONDENSING UNIT. RE-USE EXISTING DUCT ROUTING
- 2) HIGH EFFICIENCY GAS FIRED FURNACE WITH ELECTROSTATIC AIR CLEANER, AIR FILTERS AND HUMIDIFIER.
- 3 CONDENSING UNITS AT GRADE ON CONCRETE EQUIPMENT PADS.
- 4) REFRIGERANT PIPING TO FURNACES.
- (5) SA AND RA DUCTWORK TO FIRST FLOOR SPACES.
- 6 SA DUCTWORK UP TO SECOND FLOOR.
- 7) RA DUCTWORK UP TO SECOND FLOOR.
- 8 REMOVE EXISTING FUEL-OIL TANK AND CONDENSING UNIT.



BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



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Josiah Henson Park - Facility Plan

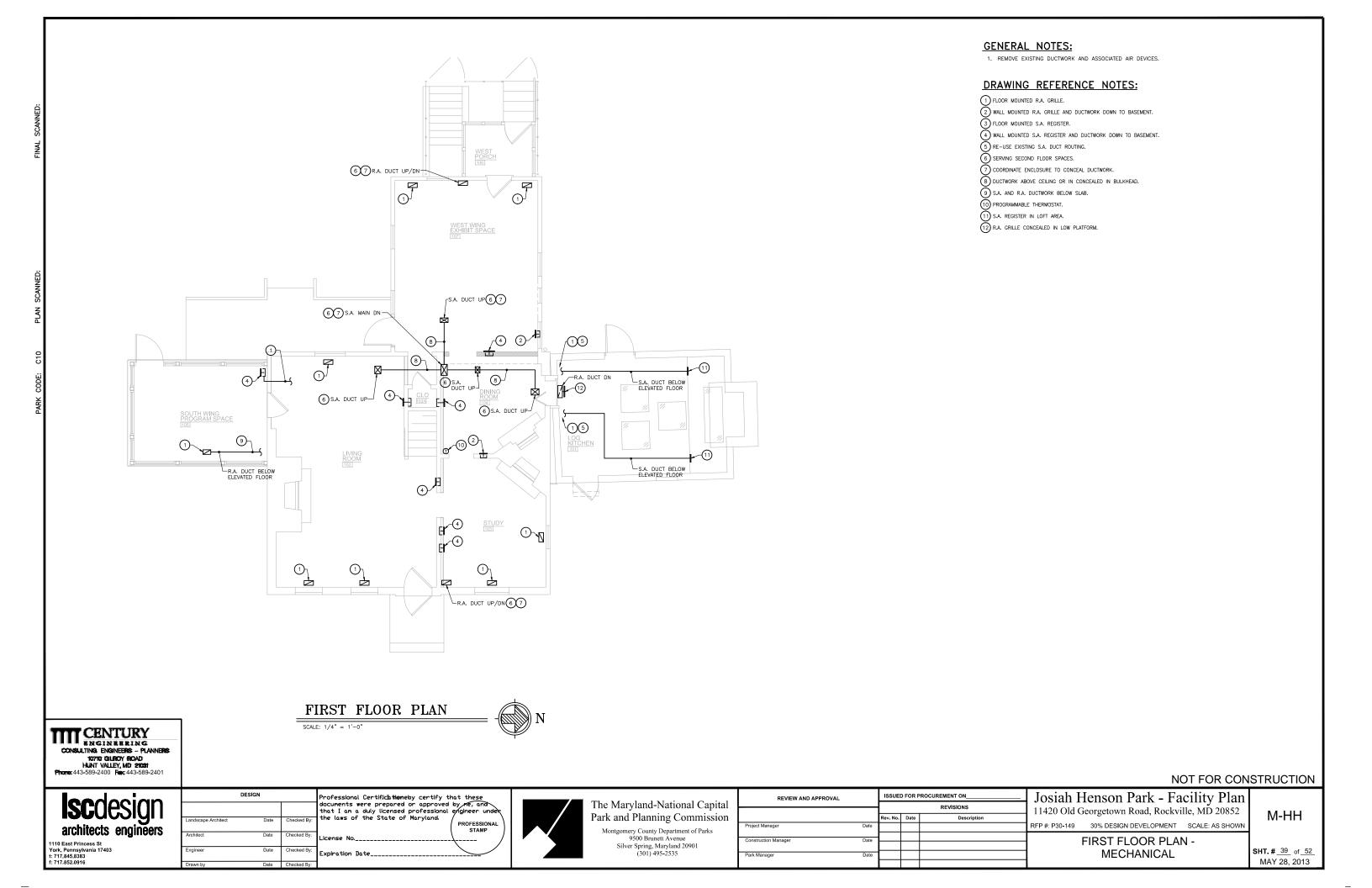
11420 Old Georgetown Road, Rockville, MD 20852
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BASEMENT FLOOR PLAN -

MECHANICAL

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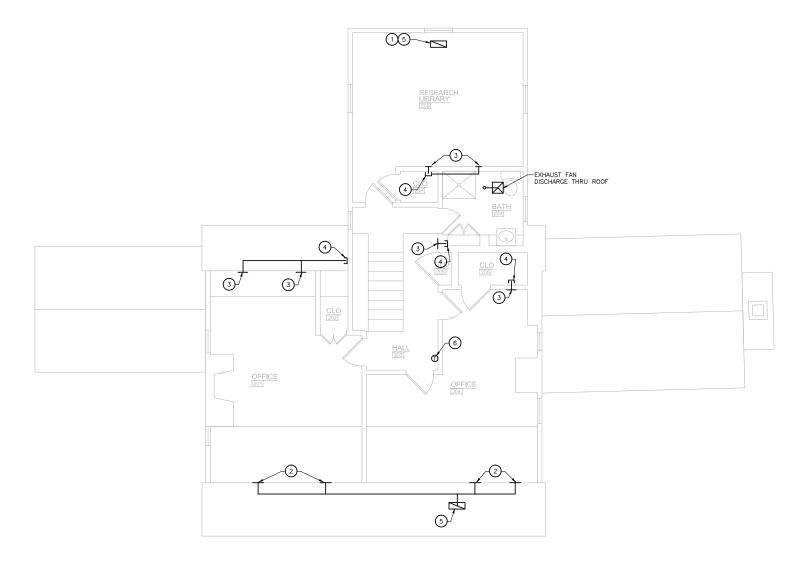


GENERAL NOTES:

1. REMOVE EXISTING DUCTWORK AND ASSOCIATED DEVICES.

DRAWING REFERENCE NOTES:

- 1) FLOOR MOUNTED RA GRILLE.
- 2 WALL MOUNTED RA GRILLE.
- (3) WALL MOUNTED SA REGISTER.
- $\overline{\stackrel{-}{4}}$ SA DUCT DN TO SPACE BELOW.
- (5) RA DUCT DN TO SPACE BELOW.
- 6 PROGRAMMABLE THERMOSTAT.



SECOND FLOOR PLAN



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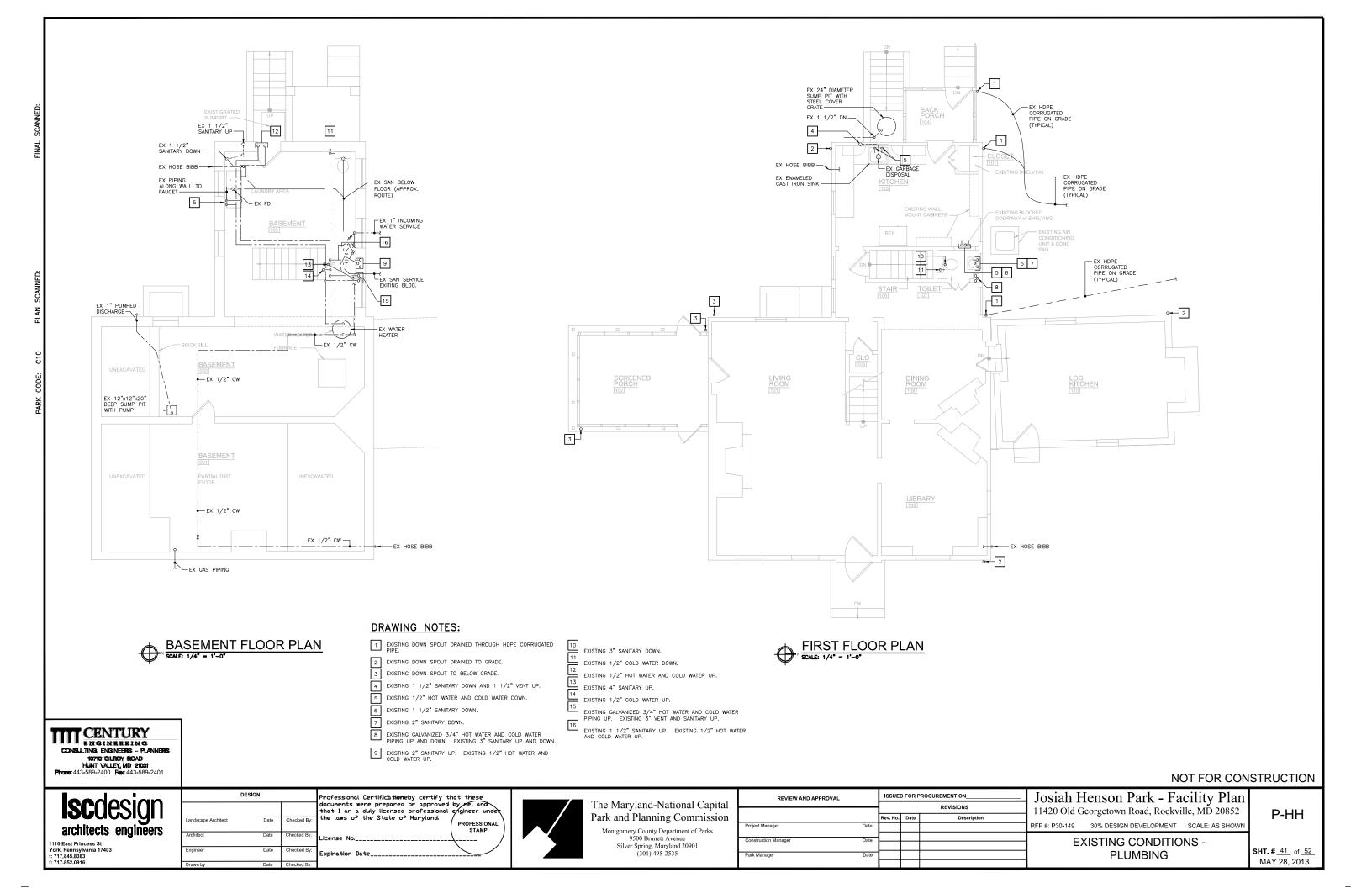
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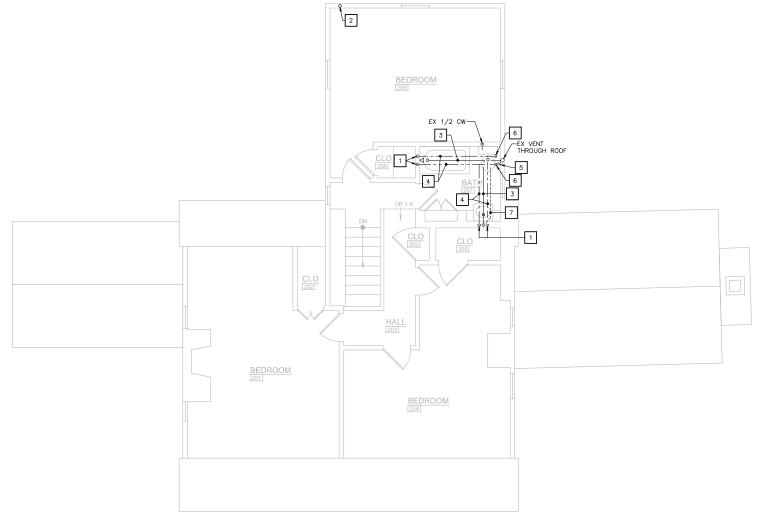
Josiah Henson Park - Facility Plan 1420 Old Georgetown Road, Rockville, MD 20852 FP #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

SECOND FLOOR PLAN -**MECHANICAL**

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SECOND FLOOR PLAN SCAE: 1/4" = 1'-0"

DRAWING NOTES:

- 1 EXISTING 1/2" COLD WATER AND HOT WATER DOWN.
 2 EXISTING 1-1/2" VENT UP TO VTR AND DOWN.
 3 EXISTING 2" SANITARY BELOW FLOOR.
 4 EXISTING 1/2" COLD WATER & HOT WATER PIPING BELOW FLOOR.
- EXISTING 3" SANITARY DOWN.
 EXISTING HOT WATER AND COLD WATER DOWN.
 VENT PIPE IN ATTIC SPACE ABOVE.

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EXISTING CONDITIONS -PLUMBING

SHT. # 42 of 52 MAY 28, 2013

BASEMENT FLOOR PLAN - PLUMBING & FIRE PROTECTION

-GAS SERVICE(7)(1)

SCALE: 1/4" = 1'-0"



GENERAL NOTES:

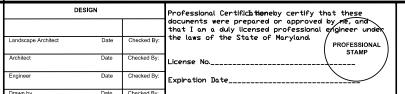
- REPLACE EXISTING DOMESTIC WATER, SANITARY AND VENT PIPING.
- PROVIDE SPRINKLER PROTECTION PER NFPA-13 ORDINARY HAZARD GROUP 2 OCCUPANCY.

DRAWING REFERENCE NOTES:

- 1 SEE CIVIL DRAWINGS FOR CONTINUATION
- 2 SEE DETAIL ON DRAWING P-201
- (3) HW & CW PIPING TO PLUMBING FIXTURES.
- (4) TO HYDRAULICALLY DESIGNED SPRINKLER SYSTEM.
- (5) EXISTING TO REMAIN SUMP PUMP SYSTEM PROVIDE HIGH WATER ALARM.
- 6 EXISTING TO REMAIN LAUNDRY SINK. PROVIDE NEW FAUCET & TRIM.
- (7) NATURAL GAS SERVICE AND METER BY UTILITY.
- 8 TO HVAC EQUIPMENT.

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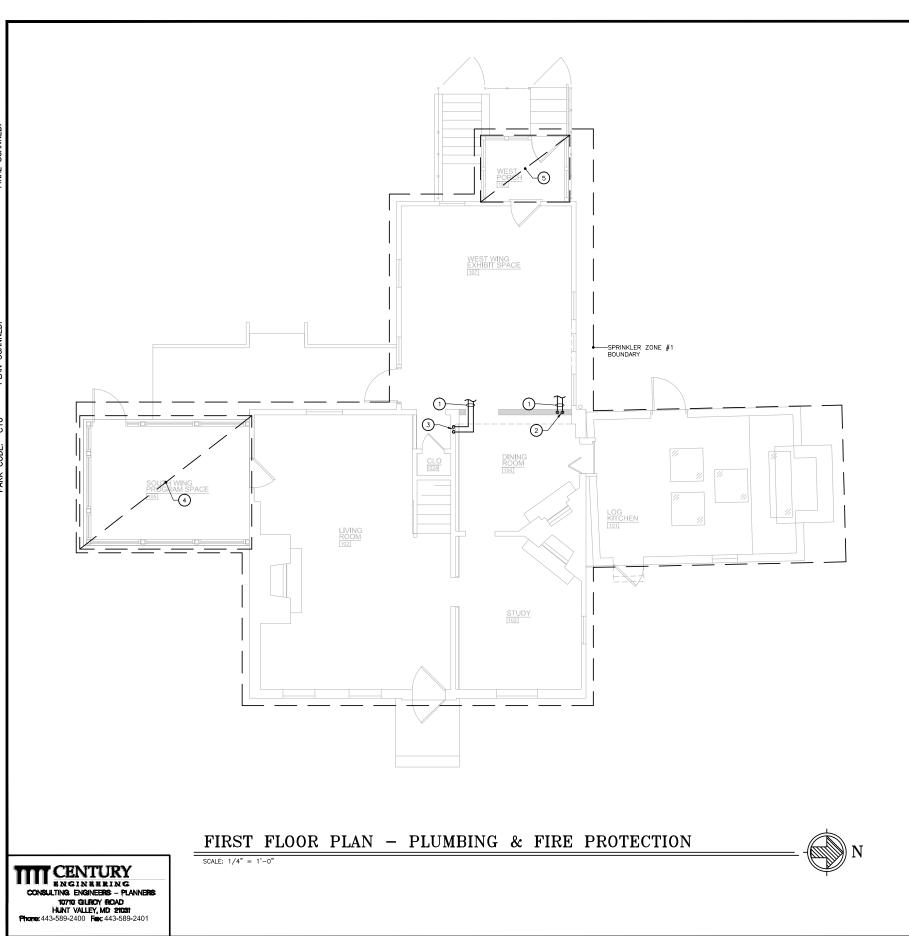
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11420 Old Georgetown Road, Rockville, MD 20852

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BASEMENT FLOOR PLAN -PLUMBING & FIRE PROTECTION P-HH

SHT.# 43 of 52 MAY 28, 2013



GENERAL NOTES:

- 1. REMOVE EXISTING PLUMBING FIXTURES AND ALL ASSOCIATED PIPING.
- PROVIDE SPRINKLER PROTECTION PER NFPA-13 LIGHT HAZARD OCCUPANCY.

DRAWING REFERENCE NOTES:

- (1) SANITARY, VENT, HW&CW PIPING ABOVE CLG TO SECOND FLOOR BATHROOM.

- (4) PROTECT AREA UTILIZING SIDE-WALL SPRINKLER HEADS.
- 5 PROTECT AREA USING DRY-PENDANT SPRINKLER HEAD EXTENDING FROM WESTWING EXHIBIT SPACE.

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FIRST FLOOR PLAN - PLUMBING & FIRE PROTECTION

SHT. # 44 of 52 MAY 28, 2013

SECOND FLOOR PLAN - PLUMBING & FIRE PROTECTION

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-SPRINKLER ZONE #2 BOUNDARY AND ATTIC SPRINKLER SYSTEM ABOVE

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ISSUED FOR PROCUREMENT ON_ REVIEW AND APPROVAL REVISIONS Park Manager

GENERAL NOTES:

 REMOVE EXISTING PLUMBING FIXTURES AND ALL ASSOCIATED PIPING. PROVIDE SPRINKLER PROTECTION PER NFPA-13 LIGHT HAZARD OCCUPANCY, PROTECT OCCUPIED AREAS WITH SIDEWALL SPRINKLER HEADS EXTENDING SUPPLY PIPING FROM BELOW.

REMOVE EXISTING PLUMBING FIXTURES AND REPLACE WITH HIGH EFFICIENCY WATER CONSERVING FIXTURES. 2) FILL VOID SPACE WITH NON-COMBUSTIBLE INSULATION IN LIEU OF SPRINKLER INSTALLATION IN CONCEALED COMBUSTIBLE SPACE PER NFPA-13. 3 PROVIDE DRY-PIPE SPRINKLER PROTECTION FOR ATTIC SPACES ABOVE. OPTION: FILL ATTIC SPACES WITH NON-COMBUSTIBLE INSULATION OR COMPARTMENTALIZE ATTIC VOLUME PER NFPA-13 IN LIEU OF SPRINKLER PROTECTION.

DRAWING REFERENCE NOTES:

NOT FOR CONSTRUCTION

Josiah Henson Park - Facility Plan 11420 Old Georgetown Road, Rockville, MD 20852

RFP #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN SECOND FLOOR PLAN -

PLUMBING & FIRE PROTECTION

P-HH

SHT. # 45 of 52 MAY 28, 2013

architects engineers

1)P-2A

GENERAL NOTES - ELECTRICAL WORK

- A. DRAWINGS SHALL NOT BE SCALED. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS AND MOUNTING HEIGHTS OF FIXTURES AND DEVICES.
- B. THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF ALL OTHER TRADES. THE ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ALL OTHER DRAWINGS AND SPECIFICATIONS SHALL BE CONSULTED AND COORDINATED WITH PRIOR TO ROUGH—IN.
- C. WHEREVER POSSIBLE, THE CONTRACTOR SHALL OBTAIN ACTUAL ROUGH—IN DRAWINGS FOR THE ACTUAL ITEM OF EQUIPMENT TO BE INSTALLED PRIOR TO ROUGH—IN. THIS SHALL APPLY TO ALL EQUIPMENT, WHETHER IT IS TO BE INSTALLED BY THE CONTRACTOR OR BY THE OWNER.
- D. IT IS THE INTENT OF THESE DRAWINGS THAT ALL NEW ELECTRICAL WORK TO BE INSTALLED IN FINISHED AREAS, BE INSTALLED CONCEALED WITHIN NEW OR EXISTING WALLS, FLOORS OR CEILINGS. ANY AND ALL CUTTING AND PATCHING OF SUPFACES SHALL BE PROVIDED BY THE CONTRACTOR. SURFACE METAL RACEWAYS SHALL BE PERMITTED IN FINISHED AREAS ONLY WHERE SPECIFICALLY APPROVED IN THE FIELD BY THE ARCHITECT.
- E. PRIOR TO PURCHASE AND INSTALLATION OF ANY MOTOR CONTROL EQUIPMENT (STARTERS, ETC.), THE CONTRACTOR SHALL VERIFY THE ACTUAL MOTOR ELECTRICAL CHARACTERISTICS. STARTER OVERLOADS SHALL BE SIZED IN ACCORDANCE WITH THE ACTUAL MOTOR RUNNING LOAD AMPERES.
- F. PROVIDE EQUIPMENT GROUNDING CONDUCTORS FOR ALL FEEDERS AND CIRCUITS.
- G. WHERE CIRCUIT AND HOMERUN LINES ARE NOT SHOWN, PROVIDE MINIMUM 2#12+1#12 GROUND IN 3/4" CONDUIT. ALL CIRCUITS WITH SHARED NEUTRAL SHALL BE PROTECTED BY MULTI-POLE CIRCUIT BREAKERS PER NEC. PROVIDE ADDITIONAL CONDUCTORS FOR LIGHTING CIRCUITS FOR SWITCHLEGS, TRAVELLERS, FLUORESCENT DIMMING BALLASTS, ETC. REFER TO BRANCH CIRCUIT WIRE SIZING CHART FOR SIZING OF CONDUCTORS FOR LONG CIRCUITS.
- H. FOR DEDICATED RECEPTACLES, PROVIDE A SEPARATE NEUTRAL CONDUCTOR FOR EACH PHASE CONDUCTOR. SHARING OF NEUTRAL CONDUCTOR SHALL NOT BE
- I. COORDINATE NUMBER OF CONDUCTORS REQUIRED FOR DIMMING CIRCUITS WITH TYPE OF DIMMING BALLAST/DIMMER SWITCHES TO BE PROVIDED.
- J. FOR INTERIOR AND EXTERIOR LIGHTING FIXTURES WITH EMERGENCY BALLASTS, PROVIDE HOT CONDUCTOR IN ADDITION TO SWITCHLEG FROM WALL SWITCH, TIME CLOCK, CONTACTOR, ETC. THE ONLY EXCEPTION TO THIS IS FOR INTERIOR FIXTURES DESIGNATED AS NIGHT LIGHTS.
- K. CIRCUITS RATED 30 AMPERES AND LESS WHERE RUN CONCEALED MAY BE TYPE MC CABLE. FEEDERS AND BRANCH CIRCUITS GREATER THAN 30 AMPERES, OR WHERE RUN EXPOSED, SHALL BE TYPE THHN/THWN IN EMT.
- L. WHERE LIGHT SWITCHES ARE SHOWN GROUPED TOGETHER, THEY SHALL BE UNDER MULTIGANG PLATE. WHERE DIMMER SWITCHES ARE USED, SELECTION OF CAPACITY SHALL BE BASED ON LOAD SERVED AND ANY DERATING REQUIRED DUE TO GANGING OF SWITCHES.

GENERAL NOTES — ELECTRICAL DEMOLITION

1. ALL EXISTING WIRING SHALL BE REMOVED BACK TO ITS SOURCE.

3. CONDUIT WHICH REMAINS CONCEALED WITHIN WALLS OR SLABS SHALL BE ABANDONED IN PLACE AFTER REMOVAL OF ALL WIRING.

4. WHERE EXISTING CONDUIT STUBS THROUGH THE ROOF ARE NO LONGER REQUIRED, AND OCCUR IN AREAS WHERE THE EXISTING ROOF IS TO REMAIN, THE CONDUIT SHALL BE CUT OFF 6" ABOVE AND BELOW THE ROOF, FILLED WITH EXPANDABLE FOAM SEALANT (DOW CORNING SILICONE RIV OR APPROVE EQUAL). THE CONDUIT SHALL THEN BE CAPPED ABOVE THE ROOF AND MADE COMPLETELY WATERTIGHT.

WHEREVER EXISTING FLUSH MOUNTED BOXES WILL REMAIN EXPOSED. FURNISH AND INSTALL BLACK COVERPLATES ON THE EXISTING OUTLET BOXES.

6. ALL SURFACES WHICH ARE DISTURBED BY DEMOLITION UNDER THIS DIVISION SHALL BE PATCHED WITH MATERIALS TO MATCH THE EXISTING SURFACE. PATCHING SHALL MATCH THE EXISTING SUPROVIDIONS SURFACES, AND SHALL BE DONE TO THE COMPLETE SATISFACTION OF THE ARCHITECT.

. PRIOR TO REMOVAL OF ANY ELECTRICAL EQUIPMENT FROM THE PROJECT, THE CONTRACTOR SHALL DETERMINE WHETHER THE OWNER WISHES TO RETAIN THE MATERIAL. SHOULD THE OWNER DESIRE TO RETAIN AN ITEM, IT SHALL BE MOVED, BY THE CONTRACTOR, TO THE LOCATION ON SITE DIRECTED BY THE OWNER, SHOULD THE OWNER NOT DESIRE TO RETAIN THE ITEM, IT SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR.

1. REFER TO SPECIFICATIONS FOR REQUIREMENTS FOR OCCUPANCY SENSORS FOR AUTOMATIC

2. PROVIDE LOW VOLTAGE TRANSFORMERS AS REQUIRED FOR OCCUPANCY SENSORS FOR CONNECTION TO LOW VOLTAGE CONTROL RELAY. TRANSFORMERS SHALL BE RATED 120V PRIMARY AND SHALL BE CONNECTED TO SAME CIRCUIT SERVING FIXTURES BEING CONTROLLED. TRANSFORMERS SHALL BE CONNECTED ON LOAD SIDE OF WALL SWITCHES INDICATED. TRANSFORMER SECONDARY SHALL BE COMPATIBLE WITH LOW VOLTAGE CONTROL RELAY VOLTAGE.

GENERAL NOTES - OCCUPANCY SENSORS

A. ANY EXISTING ELECTRICAL WORK SHOWN ON THESE DRAWINGS IS INDICATED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE OWNER, ARCHITECT AND ENGINEER IN NO WAY WARRANT OR GUARANTEE EITHER THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. FINAL LOCATIONS AND QUANTITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR TO HIS OWN SATISFACTION.

B. THE EXTENT OF ELECTRICAL DEMOLITION SHALL BE AS GENERALLY NOTED ON THE DRAWINGS. SHOULD THERE BE ANY QUESTION AS TO THE DISPOSITION OF ANY EXISTING ELECTRICAL WORK, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE FINAL DISPOSITION OF SUCH WORK SHALL BE AS DIRECTED BY THE ARCHITECT.

C. WHEREVER EXISTING ELECTRICAL WORK IS INDICATED TO BE REMOVED, THE FOLLOWING NOTES SHALL APPLY:

2. ALL EXISTING CONDUIT WHICH IS EXPOSED, OR WHICH BECOMES EXPOSED AT ANY TIME DURING CONSTRUCTION SHALL BE REMOVED IN ITS ENTIRETY. CONDUIT STUBS FROM UNDER GROUND THROUGH THE FLOOR SHALL BE CUT OFF FLUSH WITH THE FLOOR SLAB, FILLED WITH CONCRETE, AND MAKE READY TO ACCEPT NEW FLOOR FINISHES WHERE

M. REFER TO ARCHITECTURAL DRAWINGS FOR COLORS AND FINISHES FOR WIRING DEVICES AND COVERPLATES.

- N. PROVIDE TYPED CIRCUIT DIRECTORIES FOR ALL PANELBOARDS (NEW AND EXISTING)
 TO INDICATE TYPE OF LOAD SERVED AND AREA SERVED (E.G. RECEPTACLES-OFFICE
 201). CONTRACTOR SHALL FIELD VERIFY EXISTING LOADS TO BE CONNECTED TO NEW AND EXISTING PANELBOARDS. THE LABEL "EXISTING CIRCUIT" SHALL NOT BE
- O. IN TYPE 3. 4 & 5 CONSTRUCTION AND WHERE ALLOWED BY CODE. CIRCUITS AND FEEDER'S MAY BE NONMETALLIC CABLE (NM OR SE) IN LIEU OF THHN/THNN IN CONDUIT OR MC CABLE. WHERE NM CABLE IS USED, THE CONTRACTOR SHALL MAINTAIN SPACING BETWEEN THE CABLES OR DETATE THEM PER THE REQUIREMENTS OF ARTICLE 334.80 IN THE NEC.
- P. UNLESS NOTED OTHERWISE, ALL CONDUCTORS SHOWN ON THESE DRAWINGS HAVE BEEN SIZED BASED ON COPPER IN ACCORDANCE WITH 75' C (167' F) INSULATION TYPE. FOR OTHER TYPES OF CABLE, SIZE ACCORDING TO NEC TABLE 310.16 FOR
- Q. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING FIRE RATING OF ANY FIRE RATED WALLS. WALL RECESSED ELECTRICAL BOXES THAT ARE ON OPPOSITE SIDES OF THESE RATED WALLS SHALL BE SEPARATED BY A MINIMUM OF 24". IF THIS SPACING CANNOT BE MET WHILE ADHERING TO NEC REQUIREMENTS, THE CONTRACTOR SHALL PROVIDE LISTED PUTTY PADS OR PROVIDE SOME OTHER MEANS OF ADHERING TO IBC SECTION 712.3.2.
- R. ON THE ROOF, PROVIDE ALL BRANCH CIRCUITS IN CONDUIT. CONDUIT SHALL BE SIZED BASED ON CONDUCTOR SIZE (MAXIMUM 40% FILL PER NEC). CONDUCTORS SHALL BE DERATED IN ACCORDANCE WITH NEC 2011 TABLES 310.15(B)(3)(c) AND 310.15(B)(2)(a). THIS ADJUSTMENT FACTOR IS DEPENDENT ON THE MEANS AND METHODS OF INSTALLING THE CONDUIT.
- S. FOR LIGHT FIXTURES THAT ARE CONTROLLED BY OCCUPANCY SENSORS, PROVIDE
- T. FLUORESCENT LIGHTING FIXTURES SHALL BE PROVIDED WITH INTEGRAL
- U. ALL CLOTH WRAPPED CONDUCTORS SHALL BE REPLACED WITH NEW CONDUCTORS UTILIZING THERMOPLASTIC INSULATION.
- V. ALL ALUMINUM BRANCH CIRCUITS SMALLER THAN 60A SHALL BE REPLACED WITH COPPER CONDUCTORS WITH THERMOPLASTIC INSULATION.
- W. ANY EXISTING CIRCUITS THAT DO NOT INCLUDE EQUIPMENT GROUND WIRES SHALL BE REPLACED WITH CIRCUITS THAT DO INCLUDE GROUND WIRES.

GENERAL NOTES -COMMUNICATIONS SYSTEM

- A. COMMUNICATIONS SYSTEM WIRING, JACKS, CONNECTIONS, RACKS, ETC. ARE NOT IN CONTRACT. PROVIDE EMPTY CONDUITS WITH PULLSTRINGS AND BOXES ONLY.
- B. PROVIDE 1-GANG BOX FOR TELEPHONE OUTLETS AND PROVIDE 1-GANS BOX FOR DATA/COMBINATION OUTLETS, IN HOLLOW WALLS, PROVIDE RING AND STRING, IN INSULATED OR MASONRY WALLS, PROVIDE 3/4" CONDUIT FOR TELEPHONE OUTLETS AND 1" CONDUIT FOR DATA/COMBINATION OUTLETS UP TO CEILING.
- C. ALL COMMUNICATIONS SYSTEM CONDUITS INCLUDING SERVICE CONDUITS, AND CONDUITS FROM OUTLETS, SYSTEMS FURNITURE CONNECTIONS, FLOOR BOXES, POKE-THRUS, ETC. SHALL HAVE ENDS BUSHED.

ELECTRICAL LEGEND

O O LIGHTING FIXTURE

OH LIGHTING FIXTURE, WALL MOUNTED

EMERGENCY LIGHTING FIXTURE, AS ABOVE, ON NIGHT LIGHT CIRCUIT

LIGHTING FIXTURE, CEILING MOUNTED

LIGHTING FIXTURE, PENDANT MOUNTED

EMERGENCY BATTERY TYPE LIGHTING FIXTURE, WALL MOUNT AT 7'-6" HD HEAT DETECTOR, 135F. RATE OF RISE TYPE. HARD WIRED, NON ADDRESSABLE TYPE. ╗

A.F.F. UNLESS NOTED OTHERWISE EXIT SIGN. SINGLE FACE: CEILING MOUNTED; WALL MOUNT AT 7'-6"

EXIT SIGN, DOUBLE FACE: CEILING MOUNTED; WALL MOUNT AT 7'-6" A.F.F. UNI ESS NOTED OTHERWISE

EXIT SIGN, AS ABOVE, WITH DIRECTIONAL ARROWS

SINGLE POLE SWITCH, MOUNT AT 48" A.F.F. U.N.O.

THREE WAY SWITCH, MOUNT AT 48" A.F.F. U.N.O.

FOUR WAY SWITCH, MOUNT AT 48" A.F.F. U.N.O.

LUTRON DIMMER SWITCH, MOUNT AT 48" A.F.F. U.N.O. — COORDINATE WITH TYPE OF FIXTURE AND LOAD — COORDINATE STYLE WITH ARCHITECT

OCCUPANCY SENSOR, CEILING MOUNT, 500 SF COVERAGE, 360 os OSW

OCCUPANCY SENSOR, WALL MOUNTED AT 48"AFF WITH AUTOMATIC AND MANUAL ON 125V.-20A. DUPLEX RECEPTACLE. NEMA CONFIGURATION 5-20R.

MOUNT AT 18" A.F.F. UNLESS NOTED OTHERWISE RECEPTACLE, MOUNT AS ABOVE, WITH WEATHERPROOF COVERPLATE

RECEPTACLE, MOUNT AS ABOVE, GROUND FAULT CIRCUIT INTERRUPTER TYPE

PANELBOARD, AS NOTED, MOUNT AT 6'-6" A.F.F. TO TOP

EQUIPMENT CABINET, AS NOTED, MOUNT AT 6'-6" A.F.F. TO TOP

- CONDUIT AND WIRE, CONCEALED IN WALLS OR ABOVE CEILINGS

EX- EXISTING CONDUIT AND WIRE TO REMAIN

RX- EXISTING CONDUIT AND WIRE TO BE REMOVED

ELECTRICAL ABBREVIATIONS

AMPERE(S)
ABOVE FINISHED FLOOR WP 1P WEATHERPROOF AMERICAN WIRE GAUGE SINGLE POLE CONDUIT DOUBLE POLE CATV CABLE TELEVISION THREE POLE **EXISTING** FOUR POLE FULL LOAD AMPERES

GROUND FAULT CIRCUIT INTERRUPTER GROUND HZ,∼ HERTZ

FSS

SHORT CIRCUIT INTERRUPING CAPACITY (RMS SYMMETRICAL AMPERES) Isc

FUSED SAFETY SWITCH

JUNCTION BOX

Kemil THOUSAND CIRCULAR MILLS KILO-VOLT-AMPERES KVA

KILOWATTS LIGHTING

MAIN CIRCUIT BREAKER MOUNTING HEIGHT MISC MISCELLANEOUS

MAIN LUGS ONLY NEC NATIONAL ELECTRICAL CODE NON-FUSED SAFETY SWITCH NFSS

NTS NOT TO SCALE ОН OVERHEAD

PHASE

RELOCATE EXISTING RUNNING LOAD AMPERES RI A

ROOT MEAN SQUARE RMS REMOVE EXISTING

SOLID NEUTRAL SPD

SURGE PROTECTION DEVICE SYM SYMMETRICAL

TYP TYPICAL

UG UNDERGROUND UNLESS NOTED OTHERWISE UNO

VOLTS VOLT-AMPERE

LENGTH OF RUN HOMERUN SIZE(2) CIRCUIT WIRE SIZE(3) 120 VOLT SYSTEM 100' - 175 175' - 300' 208 OR 240 VOLT SYSTEM ' — 125

BRANCH CIRCUIT WIRE SIZING
(20 AMPERE SINGLE PHASE CIRCUITS)(>)

#12 125' - 200' 200' - 300' #8 #10 277 VOLT SYSTEM 0' - 150' #12 150' - 275' #8 #10 275' - 400'

NOTES

COMMUNICATIONS SYSTEM

FIRE ALARM SYSTEM

FS SPRINKLER FLOW SWITCH

DC MAGNETIC DOOR CONTACT

MOTION DETECTOR

EL ELECTRIC LOCK

VTS SPRINKLER VALVE TAMPER SWITCH

INTRUSION DETECTION

SD

SC

MD

TELEPHONE OUTLET, WALL MOUNT AT 18" A.F.F. UNLESS NOTED OTHERWISE

SMOKE DETECTOR, CEILING MOUNTED. HARD WIRED, NON ADDRESSABLE TYPE.

COMBINATION CARBON MONOXIDE/SMOKE DETECTOR, CEILING MOUNTED

TV H CATV/MATV SYSTEM OUTLET, WALL MOUNT AT 18" A.F.F. UNLESS NOTED OTHERWISE

WINING FOR BRANCH CIRCUITS PROTECTED BY 20 AMPERE OVERCURRENT PROTECTIVE DEVICES SHALL BE SIZED IN ACCORDANCE WITH THE ABOVE TABLE. WIRING FOR OTHER BRANCH CIRCUITS SHALL BE SIZED AS SHOWN ON DRAWINGS. EQUIPMENT GROUNDING CONDUCTOR SHALL BE SIZED THE SAME AS THE HOMERUN/CIRCUIT CONDUCTOR.

HOMERUN LENGTH SHALL BE FROM THE PANELBOARD TO THE CLOSEST OUTLET, DEVICE OR FIXTURE ON THE CIRCUIT.

3 CIRCUIT LENGTH SHALL BE FROM THE CLOSEST TO THE FARTHEST OUTLET. DEVICE OR FIXTURE.

443-589-2400 443-589-2401

architects engineers

DESIGN

rofessional Certificationeby certify that the documents were prepared or approved by AS, and that I am a duly licensed professional engineer und the laws of the State of Maryland. PROFESSIONA xpiration Date



The Maryland-National Capital Park and Planning Commission

Montgomery County Department of Parks 9500 Brunett Avenue Silver Spring, Maryland 20901 (301) 495-2535

	REVIEW AND APPROVAL		ISSUED FOR PROCUREMENT ON			
				$\frac{1}{1142}$		
			Rev. No.	Date	Description	
	Project Manager	Date				RFP #:
	Construction Manager	Date				
	Park Manager	Date				

NOT FOR CONSTRUCTION

siah Henson Park - Facility Plan 20 Old Georgetown Road, Rockville, MD 20852

: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN ELECTRICAL NOTES, LEGEND,

& ABBREVIATIONS

E-HH

SHT.# 46 of 52 MAY 28, 2013

1110 East Princess St

· 717 845 8383

- NEW OCCUPANCY SENSOR OS MD SDEX MD OS WEX O OS EX OS MD PROVIDE NEW FLUORESCENT LIGHTING AND CONNECT TO EXISTING CIRCUITS (TYPICAL FOR ALL LTG ON THIS

RESIDENCE SECOND FLOOR PLAN - ELECTRICAL

SCALE: 1/8" = 1'-0"



CENTURY

ENGINEERING

CONSULTING ENGINEERS - PLANNERS 10716 GILROY ROAD HUNT VALLEY, MD 21031 Phone: 443-589-2400 Fex: 443-589-2401

DESIGN

Professional Certificationeby certify that these documents were prepared or approved by ME, and that I am a duly licensed professional engineer un PROFESSIONAL STAMP



The Maryland-National Capital Park and Planning Commission

Montgomery County Department of Parks 9500 Brunett Avenue Silver Spring, Maryland 20901 (301) 495-2535

			REVISIONS			
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	Project Manager Da	te				RFP#:
	Construction Manager Da	te				RΔ
	Park Manager Da	te				j FL

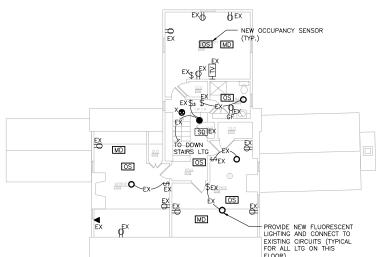
NOT FOR CONSTRUCTION Josiah Henson Park - Facility Plan

420 Old Georgetown Road, Rockville, MD 20852 #: P30-149 30% DESIGN DEVELOPMENT SCALE: AS SHOWN

ASEMENT, FIRST FLOOR & SECOND LOOR PLANS - LIGHTING & POWER

E-HH

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RESIDENCE BASEMENT FLOOR PLAN - ELECTRICAL SCALE: 1/8" = 1'-0"

NEW OCCUPANCY SENSOR

REMOVE ALL EXISTING LIGHTING & RECEPTACLES FROM BASEMENT.

EMER EGRESS-

0 HD EX NT ●

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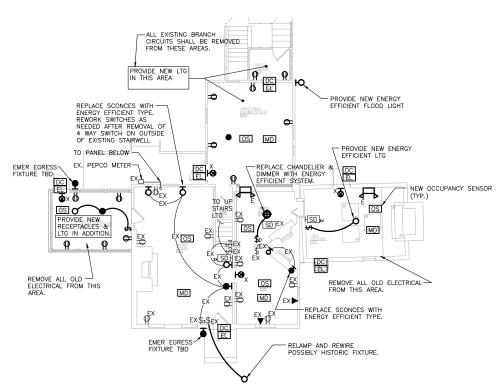
DHOH HDEX FS VTS

DHOH

NEW DIGITAL FIRE ALARM — PANEL WITH REMOTE DIALER

EXISTING TELEPHONE AND -ELECTRICAL PANELS TO REMAIN

CLOSET FOR I



RESIDENCE FIRST FLOOR PLAN - ELECTRICAL

SCALE: 1/8" = 1'-0"

REVIEW AND APPROVAL

ISSUED FOR PROCUREMENT ON

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