



General Water/Sewer Category Amendment 15-CKB-01G



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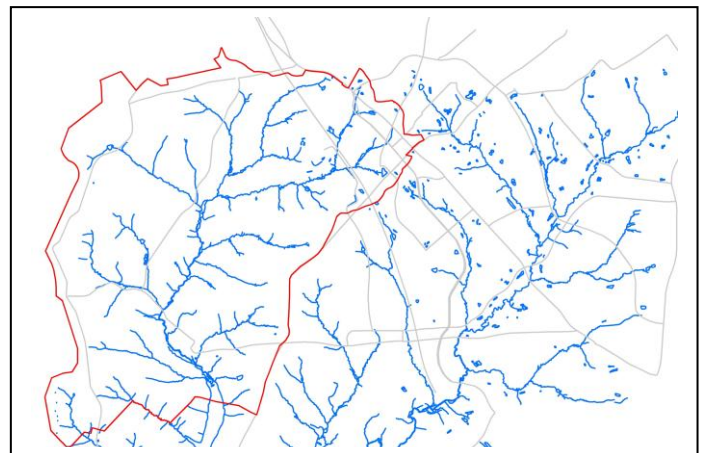
Staff Report Date: 1/8/2015

Description

General Water/Sewer Category Amendment 15-CKB-01G

Staff Recommendation

Transmit recommendations to County Council



Summary

This General Water and Sewer Service Category Amendment proposes changes in water and sewer service categories for 26 properties or areas in the Ten Mile Creek Watershed. These areas were designated as development Stage 4 by the 1994 Clarksburg Master Plan, which created a staging mechanism to implement the Plan recommendations. Part of that mechanism used the county's Comprehensive Water Supply and Sewerage Systems Plan to manage provision of water and sewer infrastructure in Clarksburg. The Plan recommended that general service category amendments be used to approve category changes associated with recommended development. This General Category Amendment implements that recommendation for Stage 4.

The County Council has scheduled a Public Hearing on this Amendment for January 20.

Recommendation

The Planning Board should transmit a recommendation of approval to the County Council. The Board should also recommend that open space associated with development in the Clarksburg East Environmental Overlay Zone should be placed in Water Category W-6 and Sewer Category S-6 following development.

Background

The 1994 Clarksburg Master Plan created a complex staging mechanism to implement the Plan's recommendations. Part of the mechanism included use of the county's Comprehensive Water Supply and Sewerage Systems Plan to help manage the relationship between the timing of private development and the provision of water and sewer infrastructure in Clarksburg. The Plan recommended use of comprehensive amendments to the Water Supply and Sewerage Systems Plan to ensure that category changes to support private development would occur as events triggered the four development stages outlined in the Plan. The Plan included a map, "Recommended Sewer and Water Staging for Clarksburg," that showed future service areas.

The 10 Mile Creek Limited Amendment, approved last year, made land use and zoning recommendations premised on the provision of water and sewer service to the area designated in 1994 as Stage 4. The Amendment states that "provision of public sewer service will help to reduce the potential for existing and future septic systems to impact the watershed," protection of which was an overriding goal of the Amendment. The Amendment recommended that the County Council approve a comprehensive amendment to the Water Supply and Sewerage Systems Plan that would support the Amendment's land use recommendations for mixed uses in the CRN and CRT zones and residential development in the RNC, R-200 and R-90 zones.

The Executive has prepared General Water/Sewer Category Amendment 15-CKB-01G to bring water and sewer categories in the Stage 4 area into line with the Limited Amendment's recommendations. The proposed categories will facilitate appropriate development that is consistent with both the land use plans for Clarksburg and county policies for provision of water and sewer service. The Executive has forwarded the Category Amendment to the Planning Board for a recommendation.

The accompanying table analyzes each of the 26 water and sewer category changes proposed in the Comprehensive Amendment. The analysis considered each proposal for consistency with the 1994 Plan's recommended future service areas and evaluated how the proposal would further or facilitate policies or land uses recommended in the 1994 Plan and the Limited Amendment. The analysis concluded that the proposed changes are consistent with the 1994 Clarksburg Master Plan and the 10 Mile Creek Limited Amendment. Individual consistency findings are included with each area's analysis.

The Executive's proposal for category changes associated with optional method cluster development in the Rural Neighborhood Cluster Zone states that, following development, service categories W-3 and S-3 will be retained for residentially developed properties while open space properties will be reclassified to W-6 and S-6. Because the Clarksburg East Environmental Overlay Zone, developed to implement Limited

Amendment recommendations that are designed to reduce imperviousness in the 10 Mile Creek watershed, includes an 80 percent open space requirement that is based on the RNC rural open space standards, planning staff recommends that water and sewer categories in the East Overlay Zone be similarly treated, with open space properties reverting to categories W-6 and S-6 following development.

Next Steps

The County Council will hold a public hearing on the Comprehensive Amendment on January 20. The Transportation, Infrastructure, Energy and Environment Committee will hold a worksession on the Amendment in February, which will be followed by County Council action.

Comprehensive Water/Sewer Category Map Amendment for 10 Mile Creek—15-CKB-01G

Area	Description	Zone	Existing Category	Proposed Category	Consistent with Plans?
A1	Historic District	CRT 0.5	W-1, S-1	W-1, S-1	Yes; Historic District included in 94 Plan water/sewer staging area; service facilitates mixed-use infill development that can invigorate the Historic District, part of the 1994 Plan’s goal for the Town Center
A2	Historic District	CRT 0.5	W-1, S-3	W-1, S-3	Yes; Historic District included in 94 Plan water/sewer staging area; service facilitates mixed-use infill development that can invigorate the Historic District, part of the 1994 Plan’s goal for the Town Center
A3	Historic District	CRT 0.5	W-1, S-6	W-1, S-3	Yes; Historic District included in 94 Plan water/sewer staging area; service facilitates mixed-use infill development that can invigorate the Historic District, part of the 1994 Plan’s goal for the Town Center
B1	Town Center	CRT 0.75, overlay	W-1, S-6	W-1, S-3	Yes; area included in 94 Plan water/sewer staging area; service facilitates logical extension of existing Town Center development
B2	Town Center	CRT 0.25, overlay	W-1, S-6	W-1, S-3	Yes; area included in 94 Plan water/sewer staging area; service facilitates mixed-use infill development that can invigorate this area along with the Historic District, part of the 1994 Plan’s goal for the Town Center
B3	Town Center	CRT 0.25, overlay	W-1, S-6	W-1, S-3	Yes; area included in 94 Plan water/sewer staging area; service facilitates mixed-use infill or public development that can invigorate this area along with the Historic District, part of the 1994 Plan’s goal for the Town Center
C1	Town Center	CRT 0.75, overlay	W-1, S-6	W-1, S-3	Yes; area included in 94 Plan water/sewer staging area; service facilitates Town Center development recommended in 94 Plan
C2	Town Center	R-90, overlay	W-6, S-6	W-3, S-3	Yes; area included in 94 Plan water/sewer staging area; service facilitates varied unit types and reduced imperviousness under overlay zone recommended in Limited Amendment

Comprehensive Water/Sewer Category Map Amendment for 10 Mile Creek—15-CKB-01G

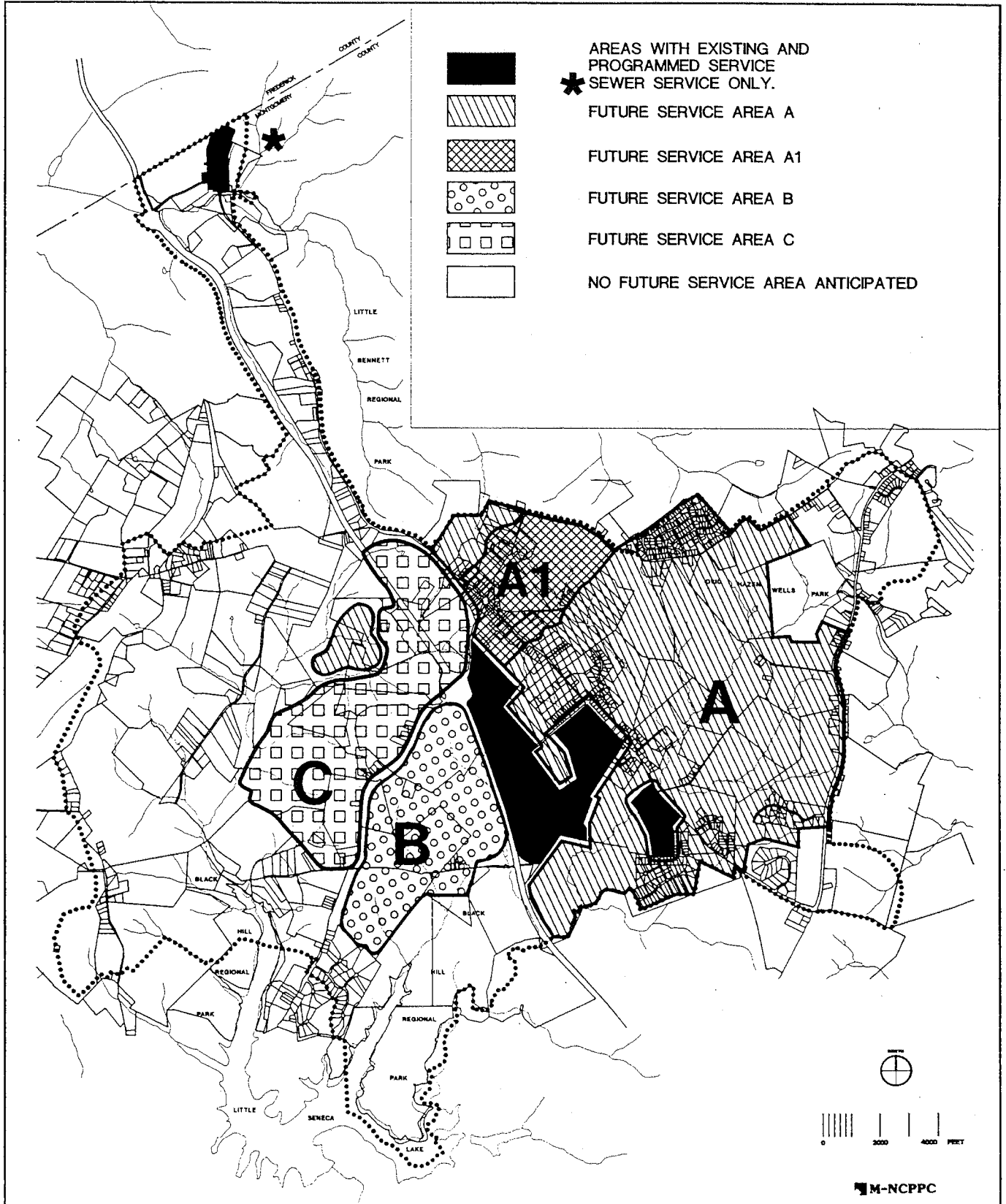
Area	Description	Zone	Existing Category	Proposed Category	Consistent with Plans?
C3	Town Center	R-90, overlay	W-6, S-6	W-3, S-3	Yes ; area included in 94 Plan water/sewer staging area; service facilitates logical inclusion of property with larger, adjacent parcels
C	Town Center/Miles-Coppola	R-90, CRT 2.0, overlay	W-6, S-6	W-3, S-3	Yes ; area included in 94 Plan water/sewer staging area; service to CRT area facilitates mixed-use development ; service to R-90 portion facilitates varied unit types and reduced imperviousness under overlay zone recommended in Limited Amendment; <i>DEP should consider recategorizing 80 percent required open space to W-6, S-6 following development</i>
D1	Town Center	R-90, overlay	W-6, S-6	W-3, S-3	Yes ; area included in 94 Plan water/sewer staging area; service facilitates varied unit types and reduced imperviousness under overlay zone recommended in Limited Amendment
D2	Town Center	R-200	W-4, S-6	W-3, S-3	Partially ; area not included in 94 Plan water/sewer staging area, but recommended for two-four units per acre densities likely to require water/sewer service; Limited Amendment recommends R-200 Zone, eligible for service under Comprehensive W/S Plan
D	Town Center/Egan-Mattlyn	R-90, overlay	W-4, S-1 (1 hookup)	W-3, S-3	Yes ; area included in 94 Plan water/sewer staging area; service facilitates varied unit types and reduced imperviousness under overlay zone recommended in Limited Amendment; <i>DEP should consider recategorizing 80 percent required open space to W-6, S-6 following development</i>

Comprehensive Water/Sewer Category Map Amendment for 10 Mile Creek—15-CKB-01G

Area	Description	Zone	Existing Category	Proposed Category	Consistent with Plans?
E1-E6	Pulte-King area	RE-1	W-6, S-6	W-6, S-6	Yes ; properties included in 94 Plan water/sewer staging area; Limited Amendment retains RE-1 Zone, eligible for case-by-case w/s evaluation
E	Pulte-King properties	RNC	W-6, S-6	W-3, S-3	Yes ; area included in 94 Plan water/sewer staging area; service facilitates varied unit types and reduced imperviousness under RNC cluster development and overlay zone recommended in Limited Amendment; DEP plan to recategorize rural open space to W-6, S-6 following development is also consistent with Limited Amendment
F	Montgomery County properties	EOF 0.75, RE-1/TDR, R-200, overlay	W-6, S-6	W-6, S-6	Yes ; area included in 94 Plan water/sewer staging area; Limited Amendment recommends no development on these properties and Executive Branch has committed to leaving properties undeveloped, with no impervious surface
G1	Montgomery County properties	Rural	W-1, S-1	W-6, S-6	Yes ; area included in 94 Plan water/sewer staging area; area identified for protection through Legacy Open Space
G	Montgomery County properties/correctional facility	EOF 0.75, R-200, Rural, overlay	W-1, S-1	W-1, S-1	Yes ; area included in 94 Plan water/sewer staging area; 94 Plan acknowledged public use of property
H	Montgomery County properties	Rural	W-4, S-4	W-6, S-6	Yes ; parts of area included in 94 Plan water/sewer staging area; area identified for protection through Legacy Open Space
I	Properties in RE-1 and RE-2 zones	RE-1, RE-2	W-6, S-6	W-6, S-6	Yes ; area not part of 94 Plan water/sewer staging area; Limited Amendment does not discuss this area, but land use and zoning plans retain existing uses and zones recommended in 94 Plan
J	Properties in Rural and AR zones	Rural, AR	W-6, S-6	W-6, S-6	Yes ; area not part of 94 Plan water/sewer staging area; Limited Amendment does not discuss this area, but land use and zoning plans retain existing uses and zones recommended in 94 Plan

Recommended Sewer & Water Staging for Clarksburg

Figure 51






OFFICE OF THE COUNTY EXECUTIVE
ROCKVILLE, MARYLAND 20850

Isiah Leggett
County Executive

MEMORANDUM

December 3, 2014

TO: George Leventhal, President, Montgomery County Council

FROM: Isiah Leggett, Montgomery County Executive 

SUBJECT: Transmittal of and Recommendations on the Ten Mile Creek Area Proposed Comprehensive Amendment to the Ten-Year Water Supply and Sewerage Systems Plan


Pursuant to the requirements of the Environmental Article, Sections 9-503 through 9-506 and 9-515 through 9-516, of the Annotated Code of Maryland, I am transmitting my recommendation for a proposed amendment to the County's *Comprehensive Water Supply and Sewerage Systems Plan*. This amendment proposes comprehensive water and sewer category changes consistent the recommendations provided in the Ten Mile Creek Limited Master Plan Amendment (2014) and consistent with the adopted policies and guidelines included in the *Water and Sewer Plan*. The recommendations and supporting documentation addressing this amendment are included in the attached staff report.

Staff from DEP will be available to discuss this amendment at worksessions with the Transportation, Infrastructure, Energy, and Environment Committee and with the full Council.

IL:as

Attachment

cc: Jay Sakai, Director, Water Management Administration, Maryland Department of the Environment
Richard Eberhart Hall, Secretary, Maryland Department of Planning
Casey Anderson, Chair, Montgomery County Planning Board
Jerry Johnson, General Manager, Washington Suburban Sanitary Commission
Fariba Kassiri, Acting Director, Department of Environmental Protection
Diane Schwartz Jones, Director, Department of Permitting Services



**Proposed Amendment:
Montgomery County
Comprehensive Water Supply
and Sewerage Systems Plan**

**County Executive's
December 2014 Amendment Transmittal
to the County Council**

**COMPREHENSIVE WATER/SEWER CATEGORY MAP
AMENDMENT FOR THE TEN MILE CREEK LIMITED
MASTER PLAN AMENDMENT AREA (2014)**

**Executive Staff Report
(12/2/14)**

Montgomery County Comprehensive Water Supply and Sewerage Systems Plan Proposed Category Map Amendment

County Executive's November 2014 Amendment Transmittal to the County Council

- **Comprehensive Water/Sewer Category Change For the
Ten Mile Creek Limited Master Plan Amendment Area**

Prepared by

The Department of Environmental Protection

Fariba Kassiri, Acting Director

David Lake, Manager, Water and Wastewater Policy Group

Alan Soukup, Senior Planner, Water and Wastewater Policy Group

**We acknowledge and appreciate the assistance of the following
agencies in the preparation of this amendment packet:**

Washington Suburban Sanitary Commission

Maryland - National Capital Park and Planning Commission

Montgomery County Department of Permitting Services

COMPREHENSIVE WATER SUPPLY AND SEWERAGE SYSTEMS PLAN AMENDMENTS
County Executive’s December 2014 Transmittal Packet
General Water/Sewer Category Amendment 15-CKB-01G: ten Mile Creek Master Plan Area

Executive Summary: Proposed Comprehensive Map Amendment And Recommendations

Plan Amendment No.	Proposed Category Changes	Executive Recommendation & Policy Summary
CLARKSBURG PLANNING AREA		
WSSCR/GWSMA 15-CKB-01G Initiated by Mont. Co. DEP Ten Mile Creek Limited Master Plan Amendment Area (2014) Clarksburg Master Plan Area (1994)	<i>See table starting on pg. 12 and category maps starting on pg. 18</i>	Approve water and sewer categories as recommended in the following staff report. The recommendations provided in this amendment are consistent with Water and Sewer Plan policies, existing zoning, and master plan recommendations.

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COMPREHENSIVE WATER SUPPLY AND SEWERAGE SYSTEMS PLAN AMENDMENTS
County Executive's December 2014 Transmittal Packet
General Water/Sewer Category Amendment 15-CKB-01G: ten Mile Creek Master Plan Area

WATER/SEWER SERVICE AREA CATEGORIES INFORMATION

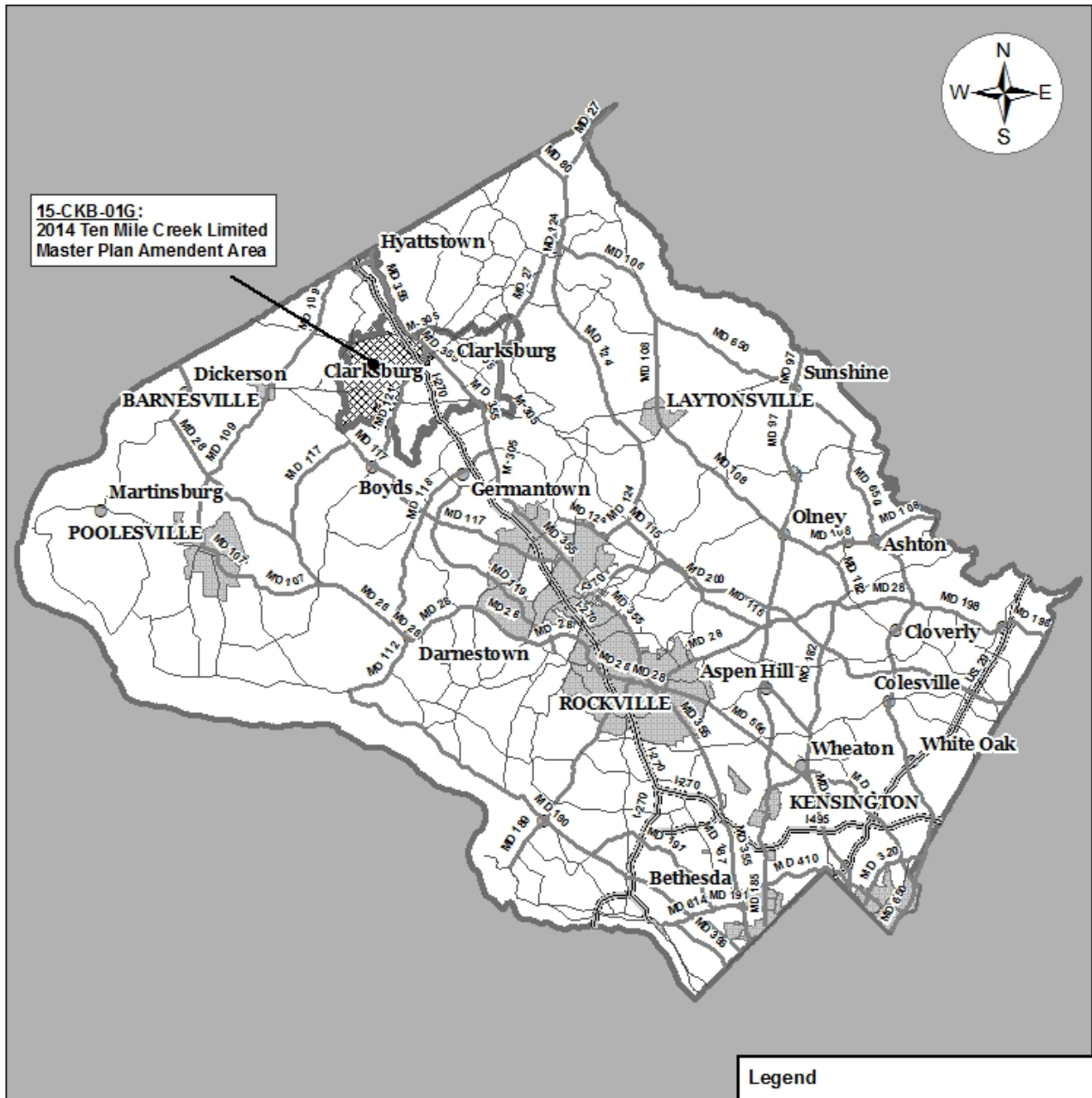
The Montgomery County Ten-Year Comprehensive Water Supply and Sewerage Systems Plan designates water and sewer service area categories for each property within the county. These service area categories determine a property's eligibility to receive public water and/or sewer service or to use private, on-site wells and/or septic systems. As appropriate, service area categories also indicate when the County and the sanitary utility (usually the Washington Suburban Sanitary Commission (WSSC)) should program water and sewerage facilities to serve those properties. (The actual provision of public service is often dependent on an applicant's own development schedule.) The Water and Sewer Plan is adopted and amended by the County Council; it is administered by the County Executive through the Department of Environmental Protection (DEP).

Water and Sewer Service Area Categories Table

Service Area Categories	Category Definition and General Description	Service Comments
W-1 and S-1	Areas served by community (public) systems which are either existing or under construction. <ul style="list-style-type: none"> This may include properties or areas for which community system mains are not immediately available or which have not yet connected to existing community service. 	Properties designated as categories 1 and 3 are eligible for to receive public water and/or sewer service. New development and properties needing the replacement of existing wells or septic systems are generally required to use public service. Properties with wells or septic systems on interim permits are required to connect to public service within one year of its availability.
W-2 and S-2	Categories W-2 and S-2 are not used in the Montgomery County Water and Sewer Plan. (State's definition: Areas served by extensions of existing community and multi-use systems which are in the final planning stages.)	Where water and/or sewer mains are financed under the front foot benefit system, WSSC will assess front foot benefit charges for mains abutting these properties unless the property has a functioning well and/or septic system. WSSC provides public water and sewer service throughout the county, except where service is provided by systems owned by the City of Rockville or the Town of Poolesville.
W-3 and S-3	Areas where improvements to or construction of new community systems will be given immediate priority and service will generally be provided within two years or as development and requests for community service are planned and scheduled.	WSSC will not serve properties designated as categories 4 or 5, but will work to program water and/or sewer projects needed to serve these areas. Permits for new wells and/or septic systems for category 4 properties will be interim permits. (See above for further information.) MCDEP may require that development proceeding on interim wells and septic systems in category 4 areas also provide dry water and sewer mains and connections.
W-4 and S-4	Areas where improvements to or construction of new community systems will be programmed for the three- through six-year period. <ul style="list-style-type: none"> This includes areas generally requiring the approval of CIP projects before service can be provided. 	Where water and/or sewer mains are financed under the front foot benefit system, WSSC will assess front foot benefit charges for abutting properties designated as category 4 unless the property has a functioning well and/or septic system. WSSC will not assess front foot charges for properties designated as category 5.
W-5 and S-5	Areas where improvements to or construction of new community systems are planned for the seven- through ten-year period. <ul style="list-style-type: none"> This category is frequently used to identify areas where land use plans recommend future service staged beyond the scope of the six-year CIP planning period. 	WSSC will neither provide service to nor assess front foot benefit charges for properties designated as category 6. Development in category 6 areas is expected to use private, on-site systems, such as wells and septic systems.
W-6 and S-6	Areas where there is no planned community service either within the ten-year scope of this plan or beyond that time period. This includes all areas not designated as categories 1 through 5. <ul style="list-style-type: none"> Category 6 includes areas that are planned or staged for community service beyond the scope of the plan's ten-year planning period, and areas that are not ever expected for community service on the basis of adopted plans. 	

Please note that the County does not necessarily assign water and sewer categories in tandem (i.e. W-3 and S-3, or W-5 and S-5), due to differences in water and sewer service policies or to actual water or sewer service availability. Therefore, it is important to know *both* the water *and* sewer service area categories for a property.

Water and Sewer Plan Map
Ten Mile Creek Area General Water & Sewer Category Amendment Locator



15-CKB-01G:
 2014 Ten Mile Creek Limited
 Master Plan Amendment Area

Legend

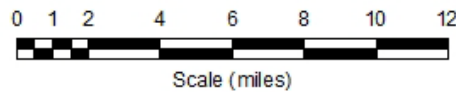
- Major Roads & Highways
- County Roads
- State Roads & Highways
- US Highways & Interstates
- 1994 Clarksburg Master Plan Area
- General Category Map Amendment Area
- Municipalities
- Localities



DEP
 Water and Wastewater
 Policy Group



10/23/14



Montgomery County, Maryland
 Draft 2014 Comprehensive Water Supply
 and Sewerage Systems Plan

GENERAL WATER/SEWER CATEGORY MAP AMENDMENT 15-CKB-01G

County Executive's Recommendation: Approve the water and sewer service area category recommendations included in the following table and maps for the Ten Mile Creek Master Plan Area.

Executive Staff Report

As recommended in the 2014 Ten Mile Creek Limited Master Plan Amendment, the Department of Environmental Protection (DEP) has prepared a general amendment to the County's water and sewer service area category maps. This comprehensive map amendment begins implementation of the master plan's recommendations for public water and sewer service and private, on-site well and septic system service throughout this part of the Clarksburg Planning Area. DEP and the Washington Suburban Sanitary Commission (WSSC) are conducting a study to develop planning-level recommendations for the needed sewer infrastructure to serve the properties within this area planned for public sewer service.

Background

Major development in the Clarksburg area was planned to proceed through four stages as envisioned in the 1994 Clarksburg Master Plan. Each development stage was required to satisfy specific staging triggers, which included planning for necessary sewerage system infrastructure to serve that stage. As each stage moved forward, the County Executive has prepared related comprehensive water and sewer category map amendments to implement the master plan's water and sewer service recommendations. This comprehensive map amendment addresses service area categories for the final stage in this process: development stage 4.

In addressing the 1994 Clarksburg Master Plan's triggers for stage 4, the County Council determined the need to prepare a limited amendment to the 1994 master plan to address development and water quality issues in the Ten Mile Creek watershed. The Ten Mile Creek Limited Master Plan Amendment was completed and approved in 2014. The master plan amendment includes the majority of the Ten Mile Creek watershed, a tributary of Little Seneca Creek and Little Seneca Lake. The map on page 2 shows both the 1994 and 2014 master plan areas. The map on page 3 shows Ten Mile Creek and nearby watersheds.

The preparation of this comprehensive water and sewer category map amendment follows the completion and adoption of the Council's limited master plan amendment and a related sectional zoning map amendment.

Public vs. Private Systems Service

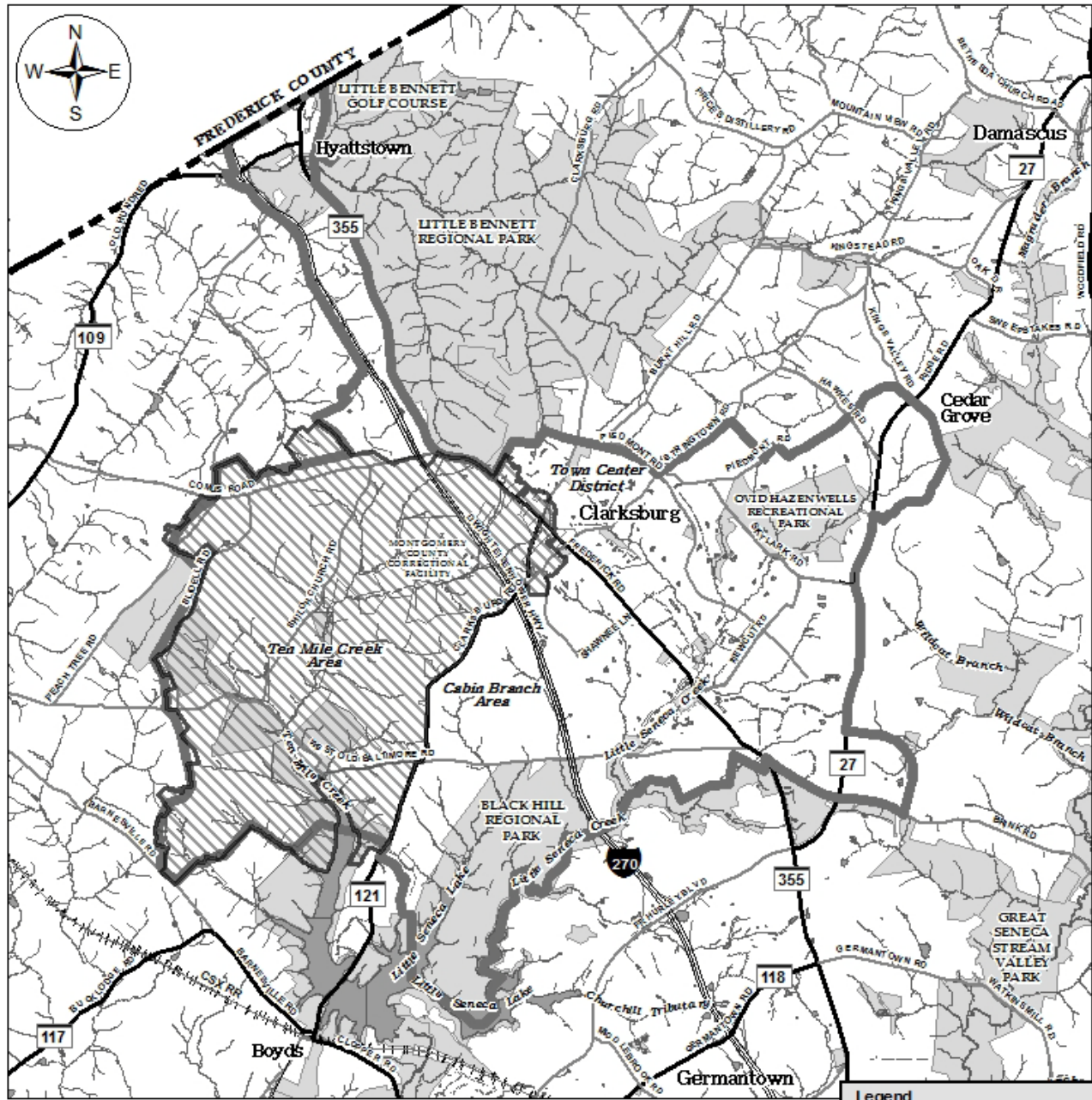
The 2014 master plan recommends the use of public and private water and sewer service in a manner that is consistent with general Water and Sewer Plan service policies. Public service is planned for those areas zoned for higher-density development which cannot be accomplished without the use of public service. This includes areas zoned CRN and CRT, CRT (former RMX-2), RNC, and R-90 and R200. The provision of public water and sewer service was planned for the following areas:

- The Clarksburg Historic District and adjacent properties; most of these properties are already served by or have access to existing public water service. A few properties within the Historic District also have existing public sewer service.
- The Egan and Miles-Coppola Project sites and adjacent properties.
- The Pulte-King Project site.
- The County Correctional Facility site; already served by public water and sewer systems.

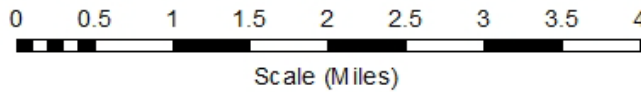
The remainder of the master plan area, primarily those areas zoned for lower-density residential development and agricultural uses—RE-1, RE-2, Rural, and AR (former RDT)--are intended to use private on-site wells and septic systems.

A table summarizing proposed service areas for public water and sewer systems versus private well and septic systems begins on page 4. A map showing the public service versus private, on-site service areas follows on page 5.

Clarksburg Master Plan (1994) and Ten Mile Creek Master Plan (2014) Locator
 Water & Sewer Plan Map: General Water/Sewer Category Map Amendment 15-CKB-01G

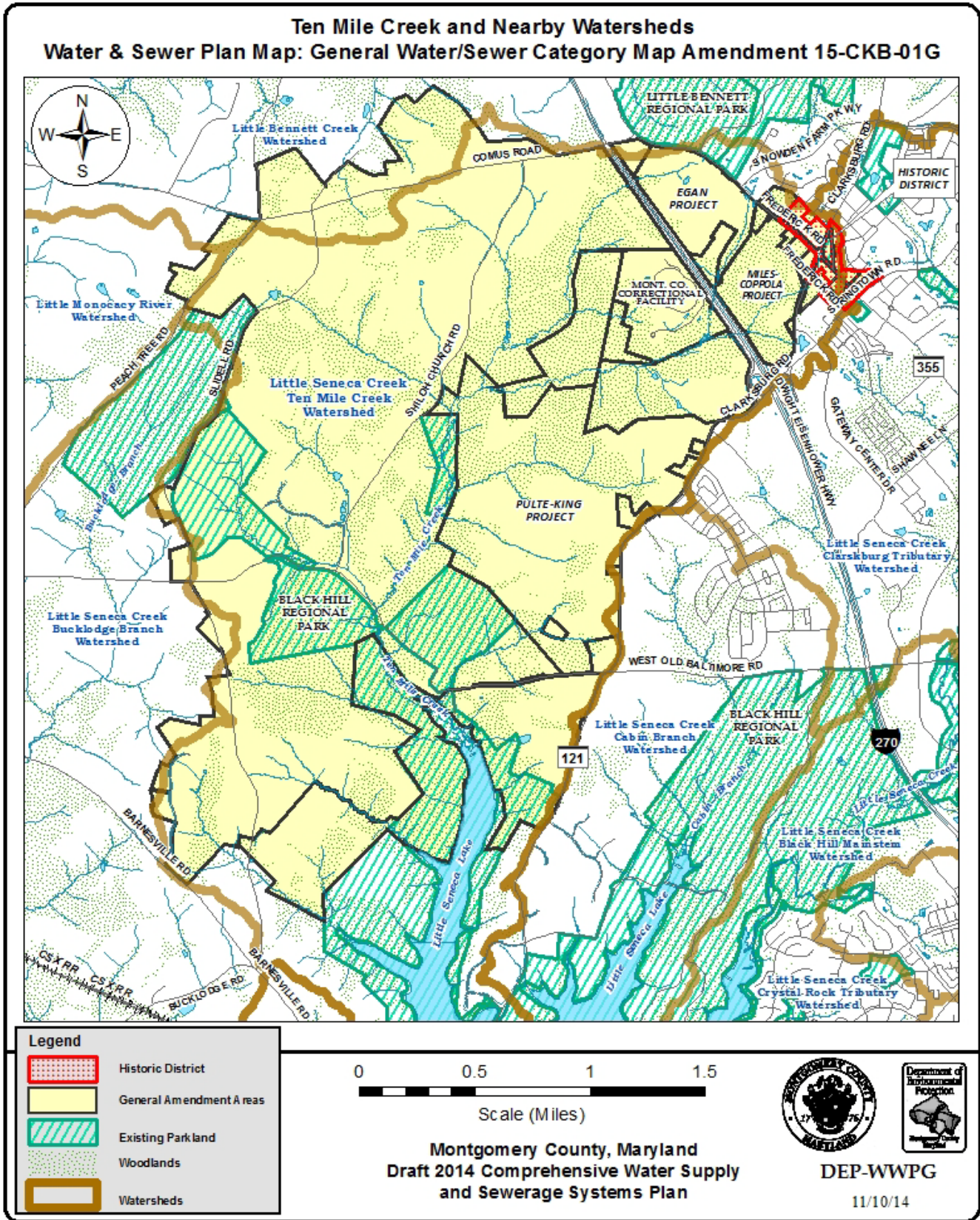


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Montgomery County, Maryland
 Draft 2014 Comprehensive Water Supply
 and Sewerage Systems Plan

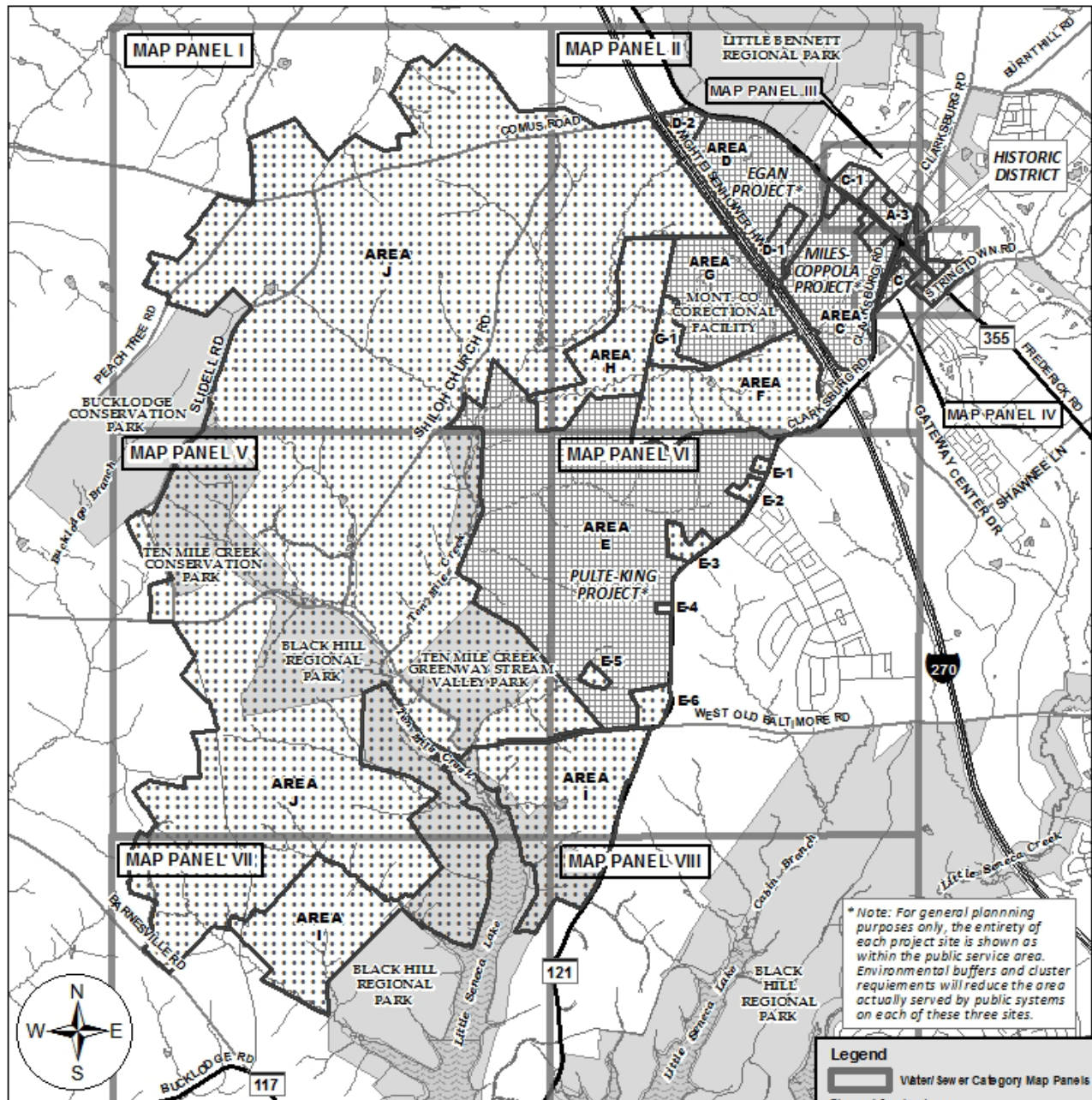
Legend	
	2014 Master Plan Area
	1994 Master Plan Area
	County Boundary
	Existing Parkland
	Major Roads
	County Roads
	State Roads
	U.S. Highways



COMPREHENSIVE WATER SUPPLY AND SEWERAGE SYSTEMS PLAN AMENDMENTS
County Executive's December 2014 Transmittal Packet
General Water/Sewer Category Amendment 15-CKB-01G: Ten Mile Creek Master Plan Area

General Amendment 15-CKB-01G Summary Table: Planned Water and Sewer Systems					
Category Amendment Area	Description	Water/Sewer Map Panels ^A	Zoning ^B	Acreage	Planned Water/Sewer Systems ^A
HISTORIC DISTRICT AND NEARBY PROPERTIES					
Areas A-1	Historic District properties approved for and with existing access to public sewer	III & IV	CRT-0.5	7.81 ac.	WSSC Public Water and Sewer
Areas A-2	Historic District properties approved public sewer	IV	CRT-0.5	8.95 ac.	WSSC Public Water and Sewer
Areas A-3	Historic District properties conditionally approved for public sewer	III & IV	CRT-0.5	19.60 ac.	WSSC Public Water and Sewer
Area B-1	Property adjacent to the Historic District	III	CRT (RMX-2)	1.13 ac.	WSSC Public Water and Sewer
Areas B-2 & B-3	Properties confronting the Historic District across Frederick Rd.	III & IV	CRN-0.25	11.44 ac.	WSSC Public Water and Sewer
MAJOR DEVELOPMENT SITES AND ADJACENT/CONFRONTING PROPERTIES					
Areas C	Miles-Coppola Project Site	II & IV	R-90 CRT-2.0	98.48 ac.	WSSC Public Water and Sewer
Area C-1	Properties confronting the Miles-Coppola Project site	III	CRT (RMX-2)	8.50 ac.	WSSC Public Water and Sewer
Areas C-2 & C-3	Properties adjacent to the Miles-Coppola Project site	II, III & IV	R-90 CRT-2.0	4.89 ac.	WSSC Public Water and Sewer
Area D	Egan (Mattlyn Ent.) Project Site	II & III	R-90	100.04 ac.	WSSC Public Water and Sewer
Area D-1	Properties adjacent to the Egan Project site	II	R-200	13.41 ac.	WSSC Public Water and Sewer
Area D-2	Properties between the Egan project site and Comus Rd.	II	R-200	9.25 ac.	WSSC Public Water and Sewer
Area E	Pulte-King Project Site	I, II, V & VI	RNC	539.82 ac.	WSSC Public Water and Sewer
Areas E-1-E6	Properties adjacent to the Pulte-King Project site zoned RE-1	VI	RE-1	31.86 ac.	Private On-Site Wells and Septic Systems
MONTGOMERY COUNTY PROPERTIES					
Area F	County and adjacent properties south of the Correctional Facility	II & VI	EOF (I-3)	129.05 ac.	Private On-Site Wells and Septic Systems
Area G	Correctional Facility Site	II	R-200 EOF (I-3) Rural	101.33 ac.	WSSC Public Water and Sewer
Area G-1	Correctional Facility Site	II	Rural	16.24 ac.	Private On-Site Wells and Septic Systems
Area H	County Properties Zoned Rural	I & II	Rural	95.57 ac.	Private On-Site Wells and Septic Systems
PROPERTIES IN THE RURAL ESTATE, RURAL, AND AGRICULTURAL ZONES					
Area I	Properties zoned Rural Estate	V, VI, VII & VIII	RE-1 RE-2	422.38 ac.	Private On-Site Wells and Septic Systems
Area J	Properties zoned Rural and Agricultural	I, II, V, VI & VII	Rural AR (RDT)	2,445.70 ac.	Private On-Site Wells and Septic Systems
^A Refer to Planned Service Areas map on pg. 5 .		^B Refer to Zoning maps on pgs. 6 and 7.			

Planned Service Areas: WSSC Public Service vs. On-Site Wells & Septic Systems
 Water & Sewer Plan Map: General Water/Sewer Category Map Amendment 15-CKB-01G



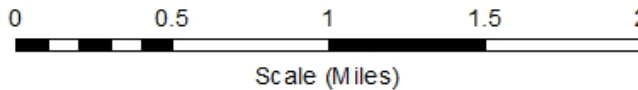
* Note: For general planning purposes only, the entirety of each project site is shown as within the public service area. Environmental buffers and cluster requirements will reduce the area actually served by public systems on each of these three sites.

Legend

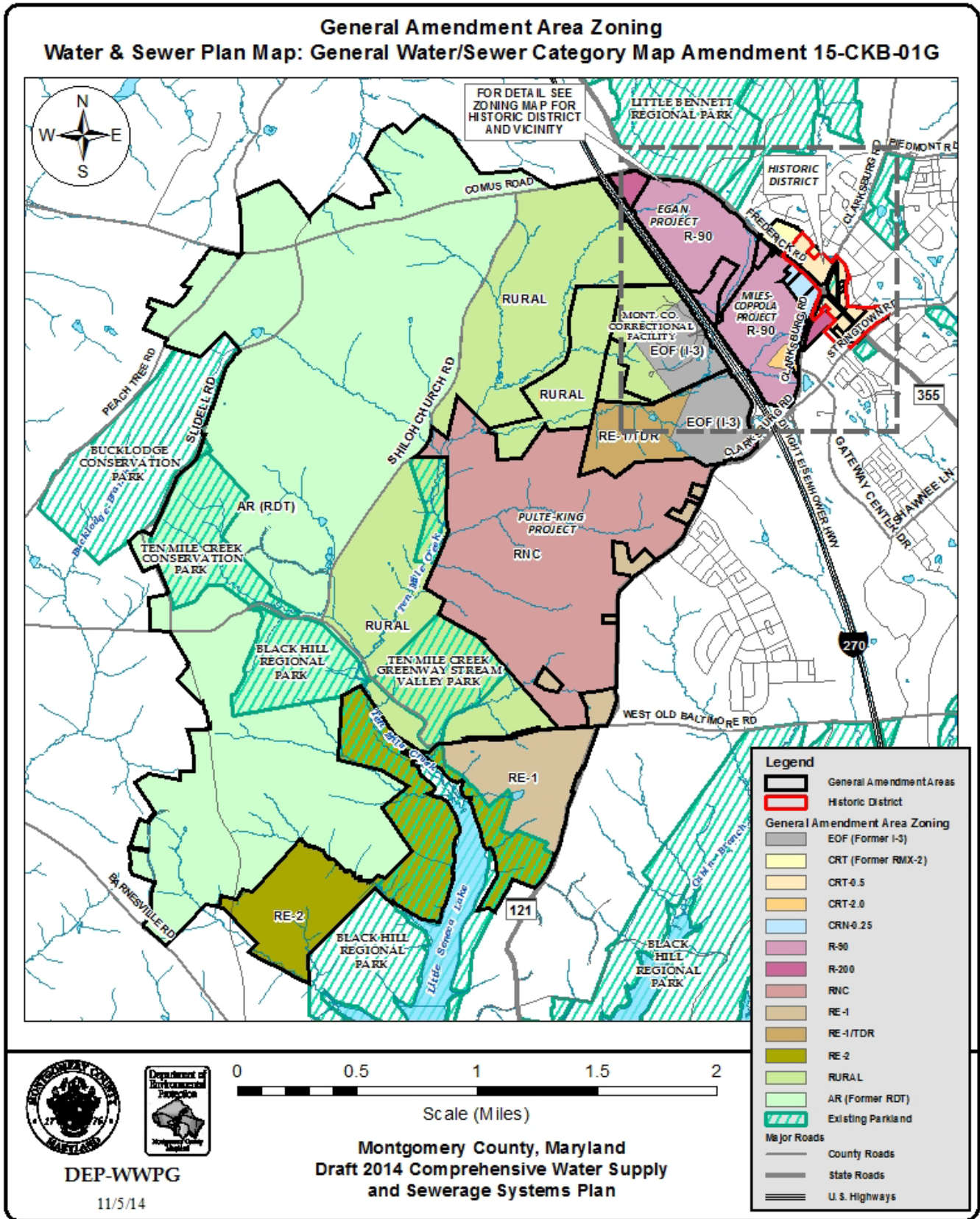
- Water/Sewer Category Map Panels
- Planned Service Areas
- On-Site Wells/Septic Systems
- WSSC Public Water/Sewer
- General Amendment Areas
- Existing Parkland
- Major Roads**
- County Roads
- State Roads
- U.S. Highways

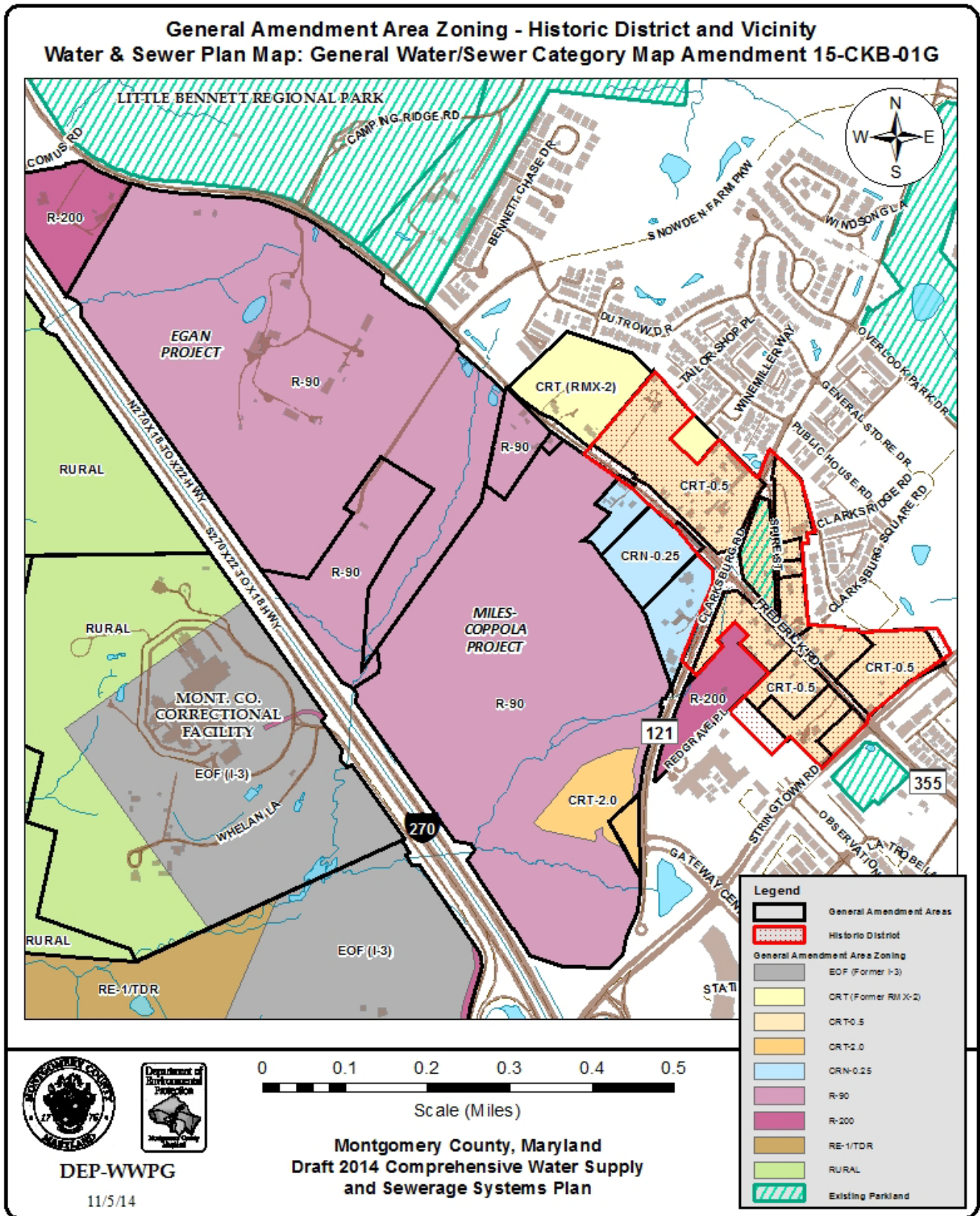


DEP-WWPG
 11/10/14



Montgomery County, Maryland
 Draft 2014 Comprehensive Water Supply
 and Sewerage Systems Plan





COMPREHENSIVE WATER SUPPLY AND SEWERAGE SYSTEMS PLAN AMENDMENTS
County Executive's December 2014 Transmittal Packet
General Water/Sewer Category Amendment 15-CKB-01G: Ten Mile Creek Master Plan Area

Public Water Supply Systems

Public water service is generally available in the area east of I-270, with water transmission mains running along Frederick Rd. and Clarksburg Rd. Many properties in the area of the Historic District are already served by the WSSC water system. The Egan and Miles-Coppola Projects have access to public water mains; on-site water main extensions for new development will be needed. The Egan Project site and properties to the north along Frederick Rd. may require an additional major water transmission main extension along Frederick Rd. An extension of the existing transmission main along Frederick Rd. would support public water service conditionally approved for numerous properties along Frederick Rd. north of Comus Rd. (CR 14-1481, 02A-BEN-01).

New water main extensions will be required for service to the Pulte-King Project west of I-270. An existing transmission main providing service to the Correctional Facility crosses under I-270 between Clarksburg Rd. and Whelan La. New water main extensions in the Cabin Branch area east of Clarksburg Rd. are approaching the Pulte-King Project area from the east. A capital-sized, 24" main extension along Clarksburg Rd. between I-270 and West Old Baltimore Rd., programmed to provide water service for Cabin Branch area development, will front the Pulte-King project site. As with the other major development sites east of I-270, new on-site water main extensions will be required for the development planned for the Pulte-King Project site.

Public Sewerage Systems

The only locations currently receiving public sewer service in the general amendment area are:

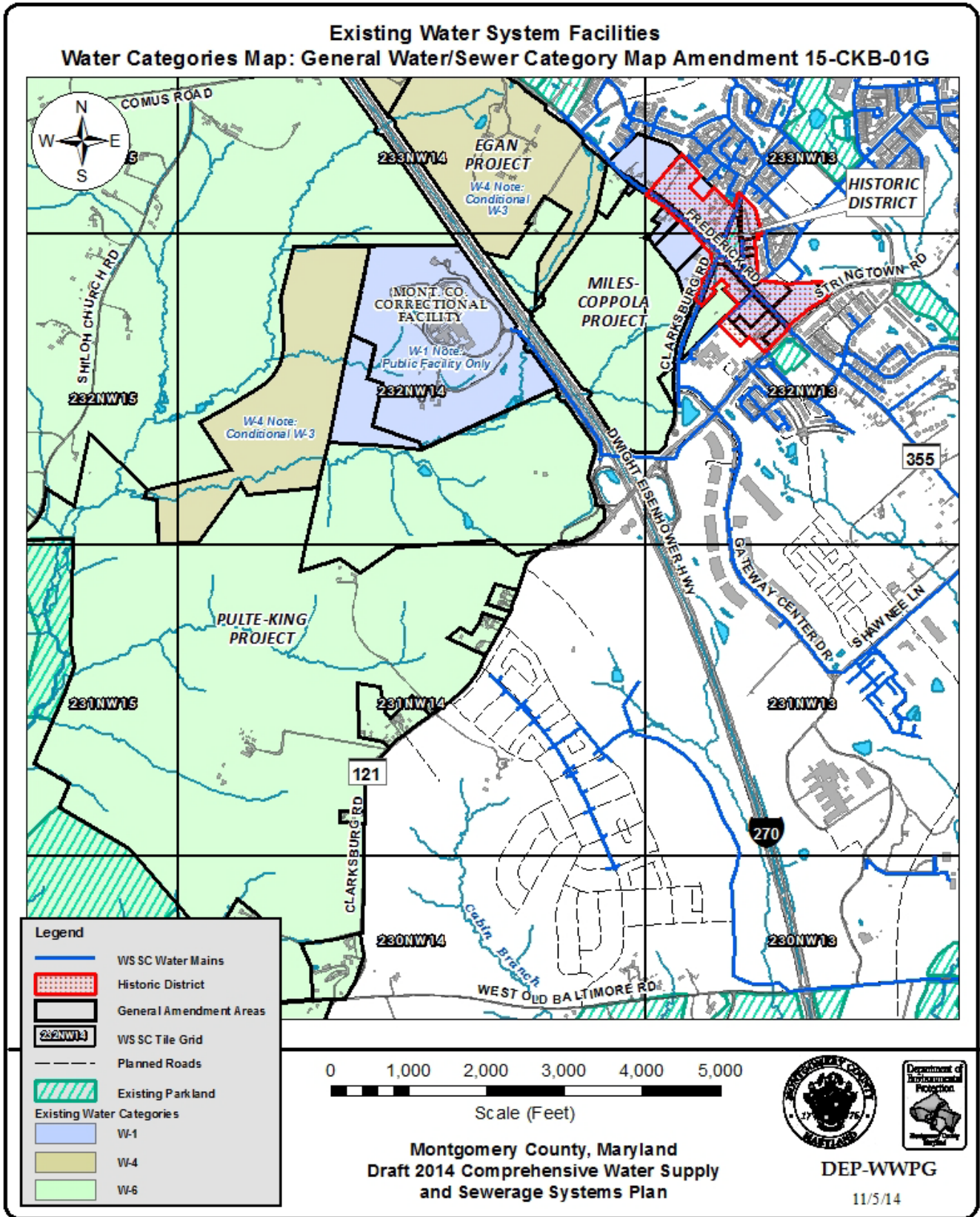
- A few properties within the Historic District that have access to existing mains via the Town Center development.
- The Egan Project site with service restricted to a single sewer hookup approved to serve the existing special exception picnic and catering facilities on the site.
- The Correctional Facility served by a dedicated wastewater pumping station (WWPS) and force main that convey flows under I-270 to Gateway Center Dr.

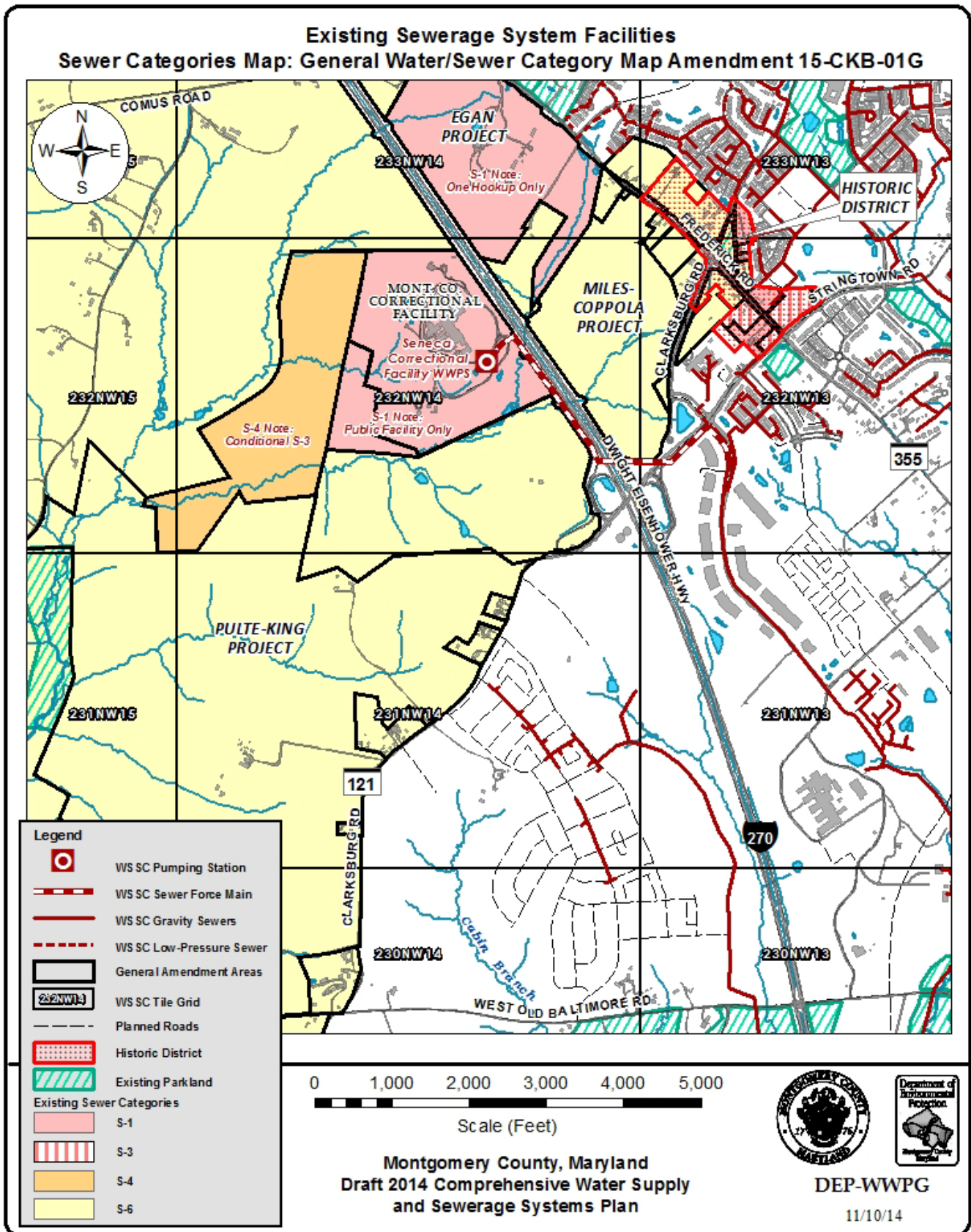
There are no public sewerage systems within the Ten Mile Creek watershed available to receive and convey sewage flows. Sewage flows from new development on the three major development sites and nearby properties will require pumping into other sewersheds with existing or planned sewerage facilities. The Clarksburg Stage 3 and 4 Area Facility Plan (WSSC, 2003) was conducted with the expectation of the need to convey sewage from not only from the Cabin Branch area (Stage 3) but also from the Ten Mile Creek area (Stage 4). Sewer transmission mains under construction in the Cabin Branch area are designed to receive and convey sewage flows from development within Ten Mile Creek to the Little Seneca sewerage system. From there, sewage flows are pumped into the Great Seneca Creek system and on to the WSSC Seneca Wastewater Treatment Plant.

As recommended in the 2014 master plan, WSSC and DEP are proceeding with a sewerage systems study for the Ten Mile Creek watershed. This study will examine options and make planning recommendations for the sewer mains and pumping facilities needed to serve sewer-dependent development in the master plan area. *The proposed approvals for sewer category S-3 under this general amendment are recommended with the understanding that the major development interests within the watershed will participate in the sewerage systems concepts adopted from this study by the County and WSSC.*

An important component needing consideration in the sewerage system design for Ten Mile Creek is the Clarksburg Historic District. The Historic District straddles the watershed boundary between Ten Mile Creek and the Little Seneca Town Center Tributary. As such, only a few properties within the district have benefitted from sewer main construction for the Town Center area. The 2014 master plan recognizes the importance of the Historic District in the overall economic development of the Clarksburg Town Center. However, most properties are currently restricted from improvement or redevelopment due to aging septic systems, relatively small acreage, and generally poor soil conditions for replacement septic systems. The only significant new development in the Historic District, the Buffington Building, was constructed using a main extension from a sewer main in the Town Center. WSSC's Ten Mile Creek area sewer study will also consider options for placing a high priority on moving forward with public sewer service for the Historic District.

The following maps (pgs. 9 and 10) show the existing public water and sewerage systems serving the general amendment area and surrounding properties.

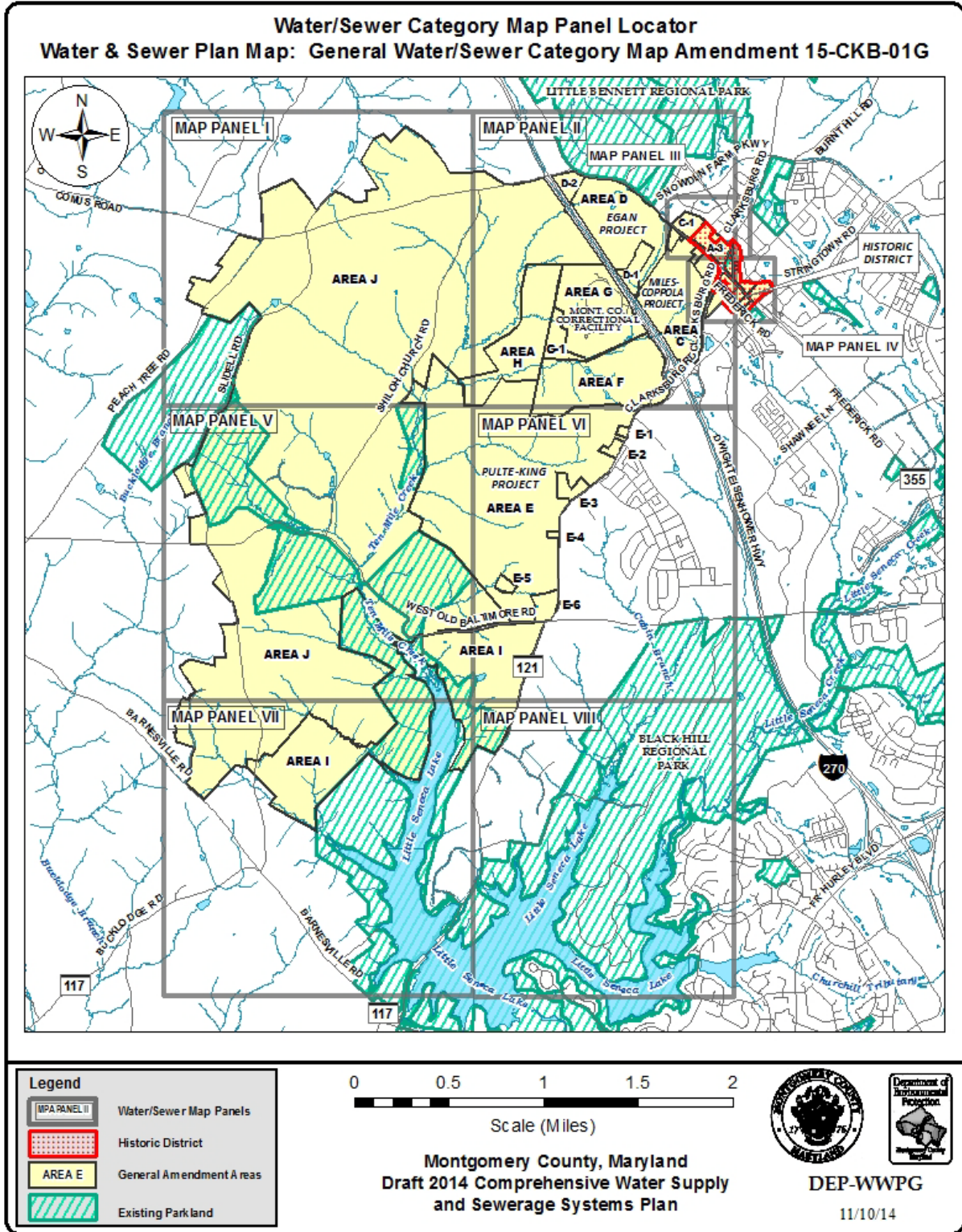




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Proposed Water and Sewer Service Area Categories

For convenient reference, this category amendment groups properties into areas with common characteristics: zoning, development projects sites, etc. Many of these areas, along with the panel layout for the service area category maps referenced in the following table (see page 12), are shown on the following map.



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The summary category change table that starts on this page, and the following water and sewer category maps, identify the existing and proposed service area categories throughout the 2014 master plan area. The majority of areas planned for public water and sewer service are proposed to move from categories W-6 and S-6 to categories W-3 and S-3. (Properties in these areas already approved for public service will retain existing categories 1 and 3 as appropriate.) In many areas, primarily those zoned for low-density residential and agricultural development, this general category amendment serves to reconfirm the use of private, on-site wells and septic systems under categories W-6 and S-6.

As discussed previously, WSSC and DEP are currently conducting a sewerage system planning study for the Ten Mile Creek area. The results of this study will provide a conceptual framework for the new sewerage systems (including sewage pumping stations and force mains) needed to serve the Historic District, the three major development sites, and nearby properties recommended to advance to category S-3 below. *The approval of category S-3 is dependent on developers' acceptance of and participation in the construction of the sewerage system facilities approved on the basis of this study.*

Notes for the following table:

- (NC) throughout the table, indicates "no change" proposed for the existing water or sewer categories.
- Zoning in parentheses, such as (I-3), indicates zoning under the former zoning ordinance.

Water/Sewer Category Change Table for 15-CKB-01G: Recommended Categories and Staff Reports					
Comprehensive Amendment Areas	Area Description	Zoning	W/S Service Area Categories		Water/Sewer Map Panels
			Existing	Proposed	
HISTORIC DISTRICT AND NEARBY PROPERTIES					
Areas A-1	Historic District properties approved for and with existing access to public sewer	CRT-0.5	W-1 S-1 ¹	W-1 (NC) S-1 (NC)	III & IV
<p><u>Areas A-1:</u> All properties within these areas are planned and approved for public water and sewer service; no category change action is needed or proposed.</p> <p>These properties have access to existing water service from mains located along Frederick Rd. and Spire St. Public sewer service is primarily provided from mains within or extended from the Clarksburg Town Center.</p> <p>¹ <i>Areas A-1 Footnote: Existing sewer categories for these properties were previously established by a comprehensive category amendment for Development Stage 3 (00G-CKB-01) under CR 14-772 (2/13/01). Resolution 16-728 (10/6/08) subsequently established the Clarksburg Historic District public health problem area that included these properties.</i></p>					
Areas A-2	Historic District properties approved public sewer	CRT-0.5	W-1 S-3 ²	W-1 (NC) S-3 (NC)	IV
<p><u>Areas A-2:</u> All properties within these areas are planned and approved for public water and sewer service; no category change action is needed or proposed.</p> <p>These properties have access to existing water service from mains located along Frederick Rd. and Spire St. New sewer main extensions are required for public sewer service. Options for needed sewer main extensions and pumping facilities were examined by the <i>Sewer Facility Plan for Historic Clarksburg</i> (WSSC, 2010). Further consideration of these options in the context of sewer service within the Ten Mile Creek watershed is expected to be addressed by the current sewerage systems concept study underway by WSSC.</p> <p>² <i>Areas A-2 Footnote: Existing sewer categories for these properties were previously established by a comprehensive category amendment for Development Stage 3 (00G-CKB-01) under CR 14-772 (2/13/01). Resolution 16-728 (10/6/08) subsequently established the Clarksburg Historic District public health problem area that included these properties.</i></p>					

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Water/Sewer Category Change Table for 15-CKB-01G: Recommended Categories and Staff Reports					
Comprehensive Amendment Areas	Area Description	Zoning	W/S Service Area Categories		Water/Sewer Map Panels
			Existing	Proposed	
Areas A-3	Historic District properties conditionally approved for public sewer	CRT-0.5	W-1 S-6 (cond.) ³	W-1 (NC) S-3	III & IV
<p>Areas A-3: All properties within these areas are planned and approved for public water service; no <u>water</u> category change action is needed or proposed. All properties within these areas are planned and conditionally approved³ for public sewer service. All properties are proposed to change from existing S-6 (with S-3 conditional) to S-3 to allow for public service.</p> <p>These properties have access to existing water service from mains located along Frederick Rd. and Spire St. New sewer main extensions are required for public sewer service. Options for needed sewer main extensions and pumping facilities were examined by the <i>Sewer Facility Plan for Historic Clarksburg</i> (WSSC, 2010). Consideration of these options in the context of sewer service within the Ten Mile Creek watershed is expected to be further addressed by the current sewerage systems concept study underway by WSSC.</p> <p>³ Area A-3 Footnote: Existing sewer categories for these properties were previously established by a comprehensive category amendment for Development Stage 3 (00G-CKB-01) under CR 14-772 (2/13/01). Resolution 16-728 (10/6/08) subsequently established the Clarksburg Historic District public health problem area that included these properties.</p>					
Area B-1	Property adjacent to the Historic District	RMX-2 (CRT)	W-1 S-6 (cond.) ⁴	W-1 (NC) S-3	III
<p>Area B-1: This single property is planned for public water service; no <u>water</u> category change action is needed or proposed. This property is proposed to change existing S-6 (with S-3 conditional) to S-3 to allow for public sewer service. Public water and sewer service is consistent with Water and Sewer Plan policies, existing (and planned) zoning, and master plan service recommendations.</p> <p>Access to public water service can be provided by an existing main along Webster Hill Way. This property is planned for and conditionally approved⁴ for public sewer service. New sewer main extensions are required for public sewer service. Options for needed sewer main extensions and pumping facilities were examined by the <i>Sewer Facility Plan for Historic Clarksburg</i> (WSSC, 2010). Further consideration of these options in the context of sewer service within the Ten Mile Creek watershed is expected to be addressed by the current sewerage systems concept study underway by WSSC.</p> <p>⁴ Area B-1 Footnote: Existing sewer category for this property was previously established by a comprehensive category amendment for Development Stage 3 (00G-CKB-01) under CR 14-772 (2/13/01).</p>					
Areas B-2 & B3	Properties confronting the Historic District across Frederick Rd.	CRN-0.25	W-1 S-6 (cond.) ⁵	W-1 (NC) S-3	III & IV
<p>Areas B-2 & B-3: Properties within these areas are planned and approved for public water service; no <u>water</u> category change action is needed or proposed. All properties within these areas are planned and conditionally approved⁵ for public sewer service. These properties are proposed to change existing S-6 (with S-3 conditional) to S-3 to allow for sewer service. Public water and sewer service is consistent with Water and Sewer Plan policies, existing zoning, and master plan service recommendations. Montgomery County had previously considered the two properties within Area B-3 as the site of the Clarksburg Fire Station.</p> <p>These properties have access to existing water service from a main along Frederick Rd. New sewer main extensions are required for public sewer service. Options for needed sewer main extensions and pumping facilities were examined by the <i>Sewer Facility Plan for Historic Clarksburg</i> (WSSC, 2010). Further consideration of these options in the context of sewer service within the Ten Mile Creek watershed is expected to be addressed by the current sewerage systems concept study underway by WSSC.</p> <p>⁵ Areas C-Footnote: Existing sewer categories for these properties were previously established by a comprehensive category amendment for Development Stage 3 (00G-CKB-01) under CR 14-772 (2/13/01).</p>					

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Water/Sewer Category Change Table for 15-CKB-01G: Recommended Categories and Staff Reports					
Comprehensive Amendment Areas	Area Description	Zoning	W/S Service Area Categories		Water/Sewer Map Panels
			Existing	Proposed	
MAJOR DEVELOPMENT SITES AND ADJACENT/CONFRONTING PROPERTIES					
Areas C	Miles-Coppola Project Site	R-90 CRT-2.0	W-6 S-6	W-3 S-3	II & IV
<p><u>Areas C:</u> The properties in this area are planned for both public water and sewer service. These properties are proposed to change existing W-6 and S-6 to W-3 and S-3 to allow for public water and sewer service. Public water and sewer service is consistent with Water and Sewer Plan policies, existing zoning, and master plan service recommendations. Public water and sewer service is consistent with Water and Sewer Plan policies, existing zoning, and master plan service recommendations.</p> <p>Water service is available from mains along Frederick Rd. and Clarksburg Rd. New sewer main extensions and pumping facilities are required for public sewer service. Consideration of sewer service facility options is expected to be addressed by the current sewerage systems concept study underway by WSSC. The provision of sewer service to this project may help facilitate sewer service for the Historic District and nearby properties.</p> <p>The Miles-Coppola project site has an existing category change request filed, 06A-CLB-01, which will be addressed by this proposed general amendment action.</p>					
Area C-1	Properties confronting the Miles-Coppola Project site and partly adjacent to the Historic District	RMX-2 (CRT)	W-1 S-6 (cond.) ⁶	W-1 (NC) S-3	III
<p><u>Area C-1:</u> All properties within this area are planned for public water and sewer service. No <u>water</u> category change action is needed or proposed for these properties. All properties within this area are planned and conditionally approved^E for public sewer service. All properties are proposed to change existing S-6 (with S-3 conditional) to S-3 to allow for public sewer service. Public water and sewer service is consistent with Water and Sewer Plan policies, existing (and updated) zoning, and master plan service recommendations.</p> <p>These properties have access to existing water service from a main along Frederick Rd. New sewer main extensions and pumping facilities are required for public sewer service. Options for needed sewer main extensions and pumping facilities were examined by the <i>Sewer Facility Plan for Historic Clarksburg</i> (WSSC, 2010). Further consideration of these options in the context of sewer service within the Ten Mile Creek watershed is expected to be addressed by the current sewerage systems concept study underway by WSSC.</p>					
<p>⁶ Area C-1 Footnote: Existing sewer categories for these properties were previously established by a comprehensive category amendment for Development Stage 3 (00G-CKB-01) under CR 14-772 (2/13/01).</p>					
Areas C-2 & C-3	Properties adjacent to the Miles-Coppola Project site	R-90 CRT-2.0	W-1 W-6 S-6	W-1 (NC) W-3 S-3	II, III & IV
<p><u>Areas C-2:</u> All properties within these areas are planned for public water and sewer service. No <u>water</u> category change action is needed or proposed for the property (C-3) already designated as W-1; it has access to existing water service along Frederick Rd. All other properties are proposed to change existing W-6 and S-6 to W-3 and S-3 to allow for public water and sewer service. Public water and sewer service is consistent with Water and Sewer Plan policies, existing zoning, and master plan service recommendations.</p> <p>Water service can be provided from mains along Frederick Rd. and Clarksburg Rd. New sewer main extensions and pumping facilities are required for public sewer service. Options for needed sewer main extensions and pumping facilities were examined by the <i>Sewer Facility Plan for Historic Clarksburg</i> (WSSC, 12/22/10). Further consideration of these options in the context of sewer service within the Ten Mile Creek watershed is expected to be addressed by the current sewerage systems concept study underway by WSSC.</p>					

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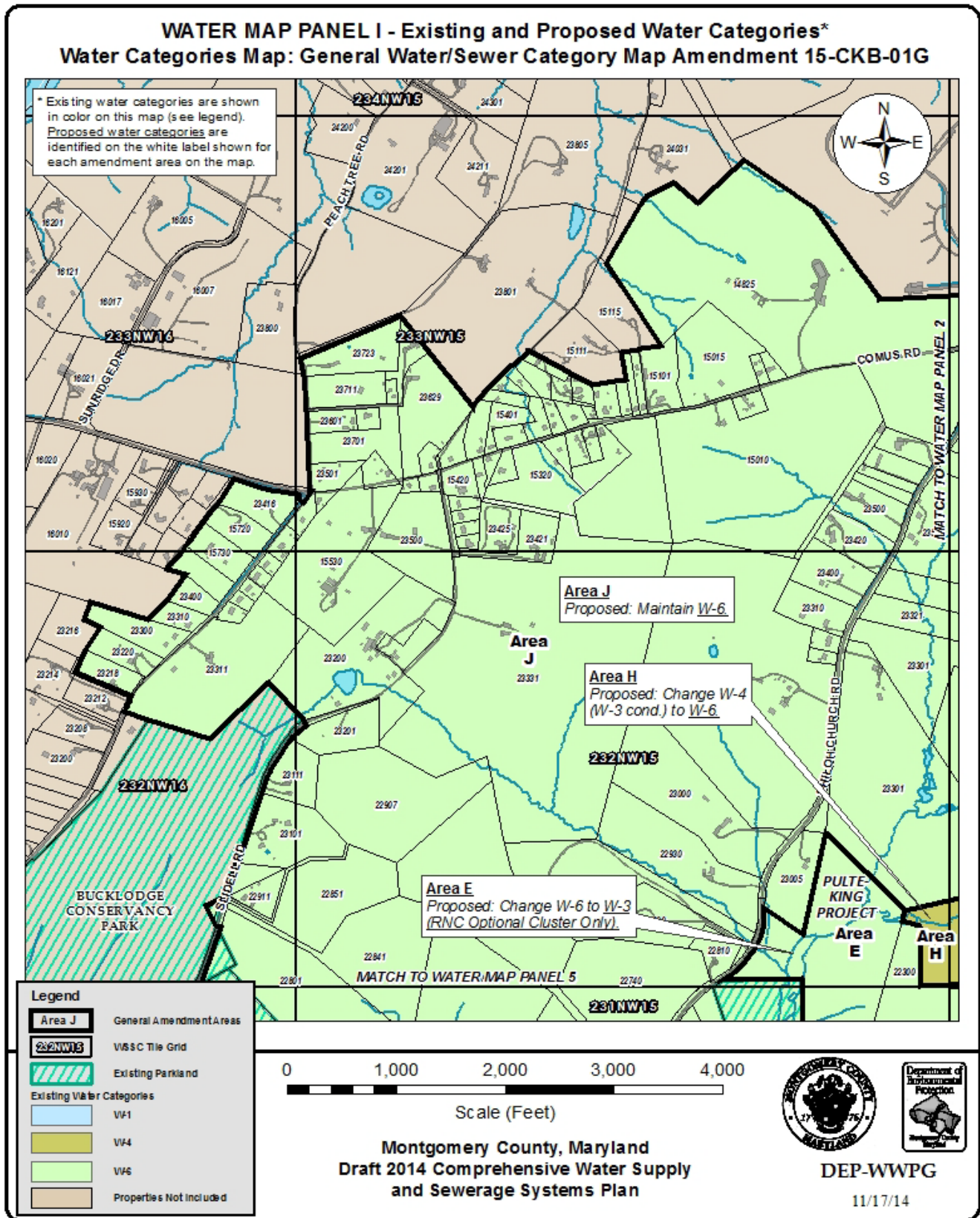
Water/Sewer Category Change Table for 15-CKB-01G: Recommended Categories and Staff Reports					
Comprehensive Amendment Areas	Area Description	Zoning	W/S Service Area Categories		Water/Sewer Map Panels
			Existing	Proposed	
Area D	Egan (Mattlyn Ent.) Project Site	R-90	W-4 (cond.) ⁷ S-1 (1 hookup) ⁷	W-3 S-3	II & III
<p>Area D: The property within this area is planned for both public water and sewer service. The property is proposed to change existing W-4 (w/ W-3 conditional) ^F to W-3 to allow for public water service. The property is also proposed to change existing S-1 (one hookup only) ^F to S-3 to allow for unrestricted public sewer service. Public water and sewer service is consistent with Water and Sewer Plan policies, existing zoning, and master plan service recommendations. Water service can be provided from an existing main along Frederick Rd. The final site layout may require a further extension of the Frederick rd. water main and will likely require additional on-site water extensions. New sewer main extensions and pumping facilities are required for public sewer service. Consideration of sewer service facility options is expected to be addressed by the current sewerage systems concept study underway by WSSC.</p> <p>The project site has an existing category change request filed, 11A-CKB-01, which will be addressed by this proposed general amendment action.</p> <p>⁷ <i>Area D Footnote: The Egan Project site has been the subject of two previous category change actions. Water category W-4 (W-3 conditional) was approved for this and other properties under CR 14-1481 (WSSCR 02A-BEN-01, 10/22/02). Category S-3 (now S-1) for a single sewer service connection, with service restricted to existing special exception uses on the site, was approved under CR 15-851 (WSSCR 03A-CKB-02, 12/14/04).</i></p>					
Area D-1	Properties adjacent to the Egan Project site	R-90	W-6 S-6	W-3 S-3	II
<p>Area D-1: The properties within this area are planned for public water and sewer service. All properties are proposed to change existing W-6 and S-6 to W-3 and S-3 to allow for public water and sewer service. Public water and sewer service is consistent with Water and Sewer Plan policies, existing zoning, and master plan service recommendations. Water main extensions, possibly from adjacent development, will be required for public service. New sewer main extensions and pumping facilities are required for public sewer service. Consideration of sewer service facility options is expected to be addressed by the current sewerage systems concept study underway by WSSC.</p>					
Area D-2	Properties between the Egan Project site and Comus Road	R-200	W-4 ⁸ S-6	W-3 S-3	II
<p>Area D-2: The properties within this area are planned for public water and sewer service. ^D All properties are proposed to change existing W-4 (with W-3 conditional) and S-6 to W-3 and S-3 to allow for public water and sewer service. Public water and sewer service is consistent with Water and Sewer Plan policies, existing zoning, and master plan service recommendations. Water main extensions, possibly from adjacent development or along Frederick Rd., will be required for public service. New sewer main extensions and pumping facilities are required for public sewer service. Consideration of sewer service facility options is expected to be addressed by the current sewerage systems concept study underway by WSSC.</p> <p>⁸ <i>Area D-2 Footnote: Water category W-4 (W-3 conditional) was approved for these and other properties under CR 14-1481 (WSSCR 02A-BEN-01, 10/22/02).</i></p>					

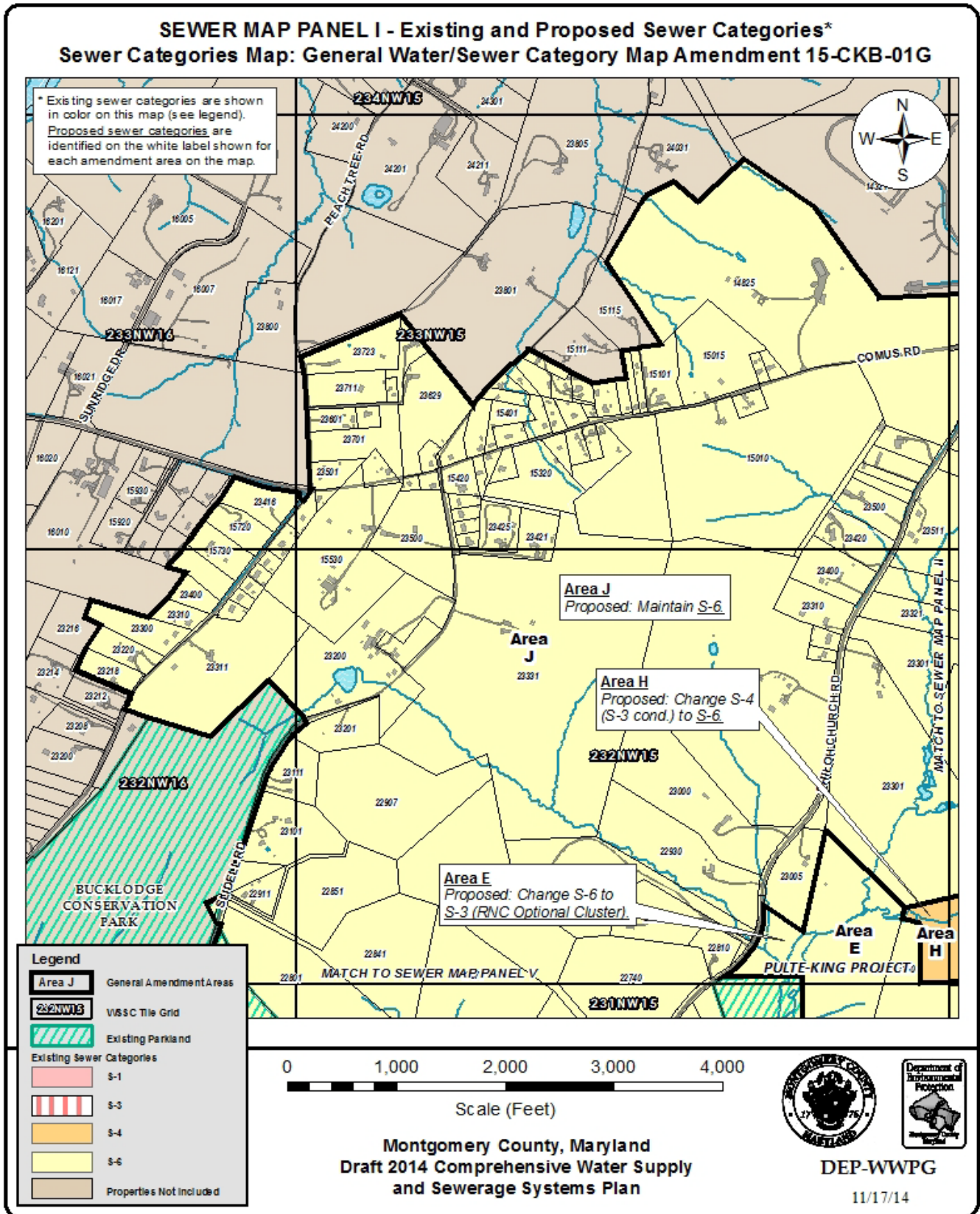
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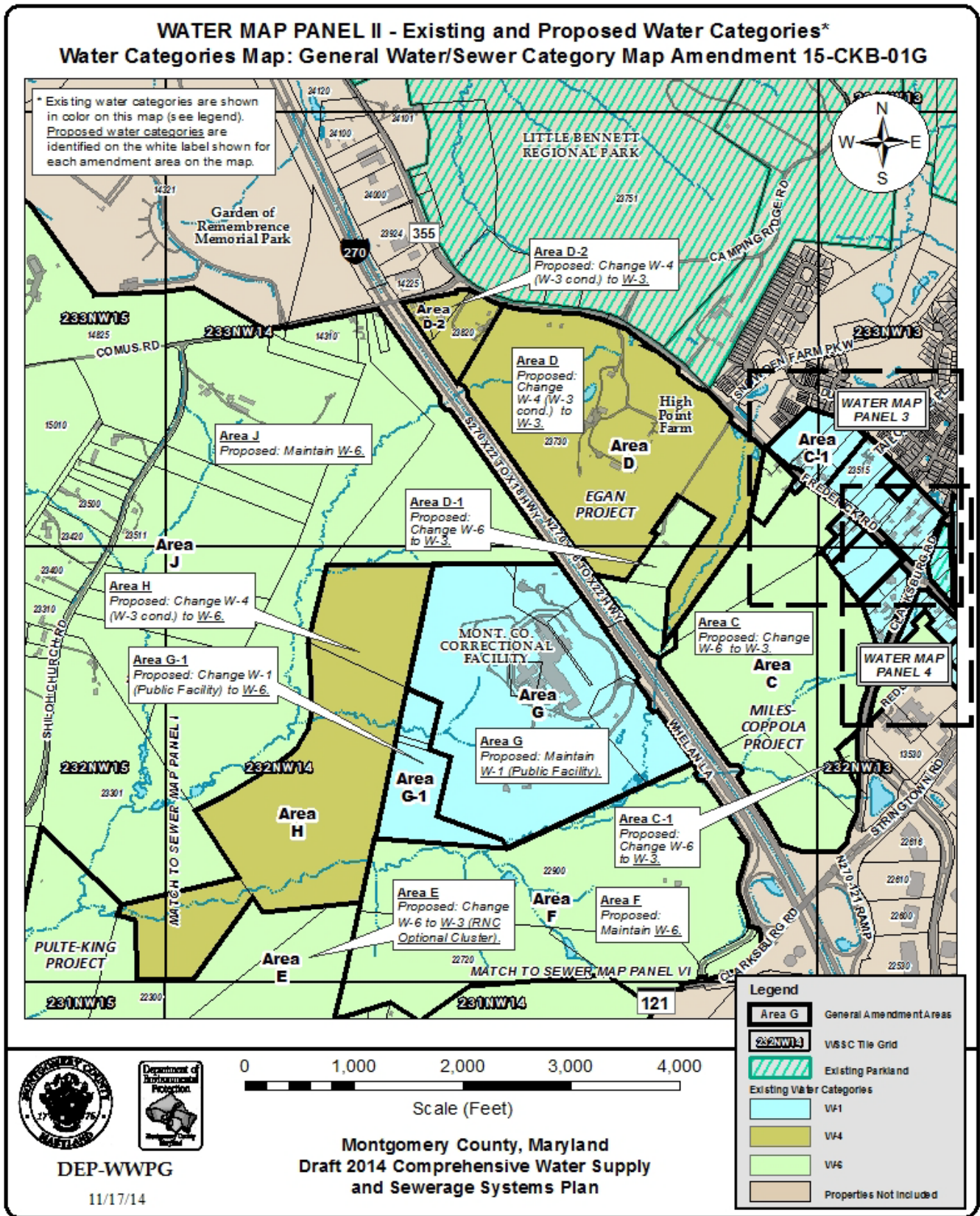
Water/Sewer Category Change Table for 15-CKB-01G: Recommended Categories and Staff Reports					
Comprehensive Amendment Areas	Area Description	Zoning	W/S Service Area Categories		Water/Sewer Map Panels
			Existing	Proposed	
Area E	Pulte-King Project Site	RNC	W-6 S-6	W-3⁹ S-3⁹	I, II, V, & VI
<p>Area E: All properties in this area are planned for both public water and sewer service. All properties are proposed to change existing W-6 and S-6 to W-3 and S-3 (water and sewer restricted to an RNC optional-cluster subdivision)⁶ to allow for public water and sewer service. Public water and sewer service is consistent with Water and Sewer Plan policies, existing zoning, and master plan service recommendations.</p> <p>Water main extensions will be required for service. A 24" transmission main along Clarksburg Rd. is in WSSC's approved FY 2015 CIP. The final site layout will likely require additional on-site water extensions. New sewer main extensions and pumping facilities are required for public sewer service. Consideration of sewer service facility options is expected to be addressed by the current sewerage systems concept study underway by WSSC.</p> <p>The Pulte-King Project site has an existing category change request filed, 13-CKB-01A, which will be addressed by this proposed general amendment action.</p> <p>⁹ <i>Area E Footnote: Proposed categories W-3 and S-3 are both restricted to an optional-method cluster development under the RNC Zone. Categories W-3 and S-3 will be assigned to the clustered lots intended for residential development and any conservancy lots planned for public service in the subdivision process. DEP will map this site temporarily as W-3 and S-3. Following recordation of the lots and their inclusion in the County's GIS property mapping, DEP will retain W-3 and S-3 for developed properties as appropriate and will assign W-6 and S-6 to open space properties.</i></p>					
Areas E-1 – E6	Properties adjacent to the Pulte-King Project site	RE-1	W-6 S-6	W-6 (NC) S-6 (NC)	VI
<p>Areas E-1 – E6: The 2014 master plan did not specifically recommend public water or sewer service for these RE-1-zoned properties. No category change action is needed or proposed for these properties at this time. However, future water and/or sewer category changes can be considered on a case-by-case-basis as need (health problems) or opportunity (abutting or nearby mains) arises. Public water service may be feasible from the planned 24" transmission main along Clarksburg Rd.; WSSC will need to evaluate individual connections to this main case-by-case.</p>					
MONTGOMERY COUNTY PROPERTIES					
Area F	County and adjacent properties south of the Correctional Facility	I-3 (EOF) RE-1/TDR	W-6 S-6	W-6 (NC) S-6 (NC)	II & VI
<p>Area F: These properties were previously considered for the location of a new County bus depot. The 2014 master plan proposes these properties for open space uses, including some Legacy Open Space acquisition. No category change action is needed or proposed for these properties.</p>					
Area G	County Correctional Facility Site	R-200 I-3 (EOF) Rural	W-1 ¹⁰ S-1 ¹⁰	W-1 ¹⁰ (NC) S-1 ¹⁰ (NC)	II
<p>Area G: The County Correctional Facility is currently served by public water and sewerage systems (W-1 and S-1, both for public facilities only)¹⁰. No category change action is needed or proposed for these properties.</p> <p>¹⁰ <i>Area G Footnote: Initial approval for categories W-4 and S-4 (conditional W-3 and S-3, both for public facilities only) was previously established under AD action 1991-2 for 91B-CKB-01 (5/13/92). Council resolution CR 13-89 on 4/4/95 subsequently reconfirmed this prior administrative action for general map amendment 94G-CKB-01. Final approval for restricted categories W-3 and S-3 (public facilities only) occurred on 8/31/98. <u>91B-CKB-01</u>.</i></p>					

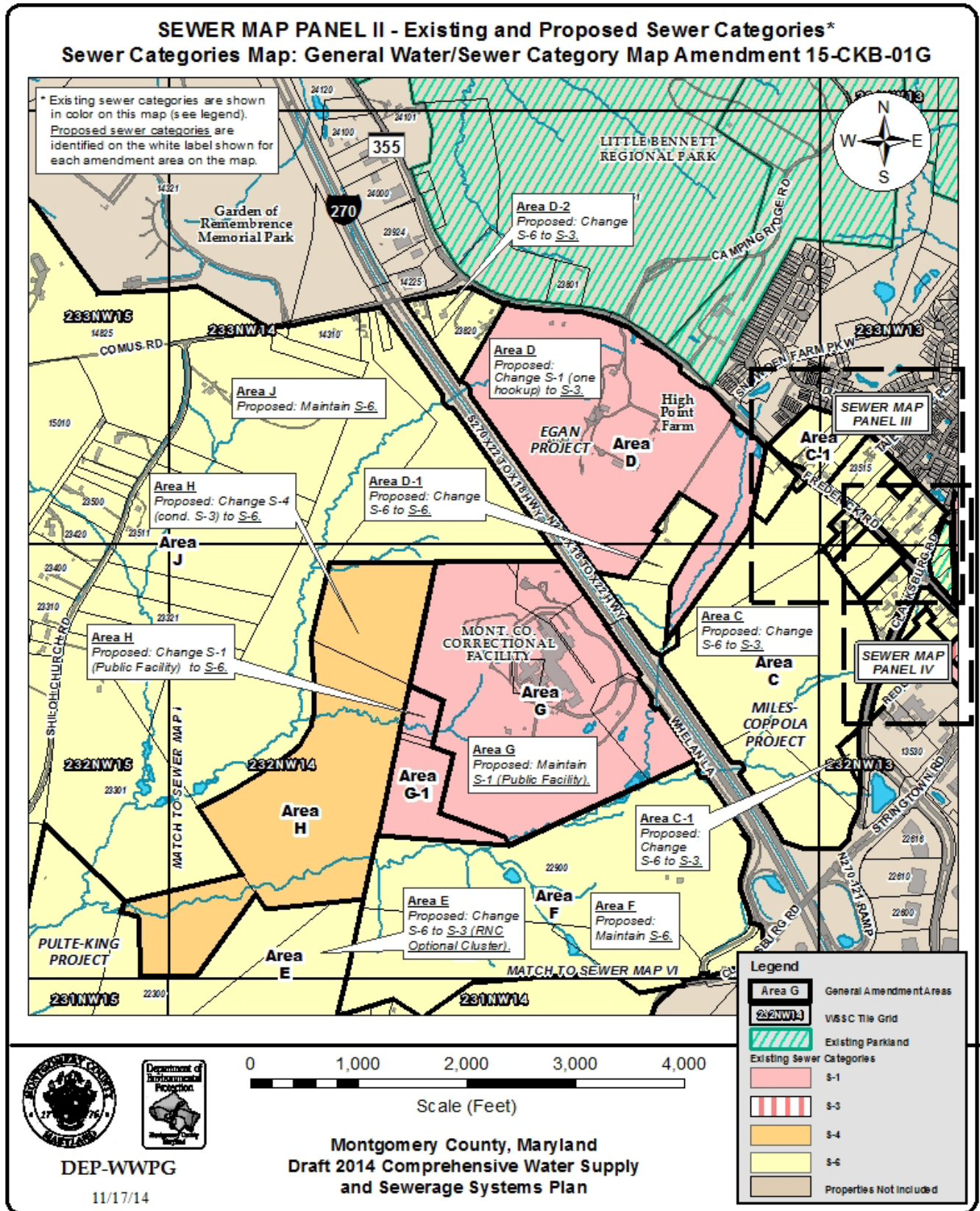
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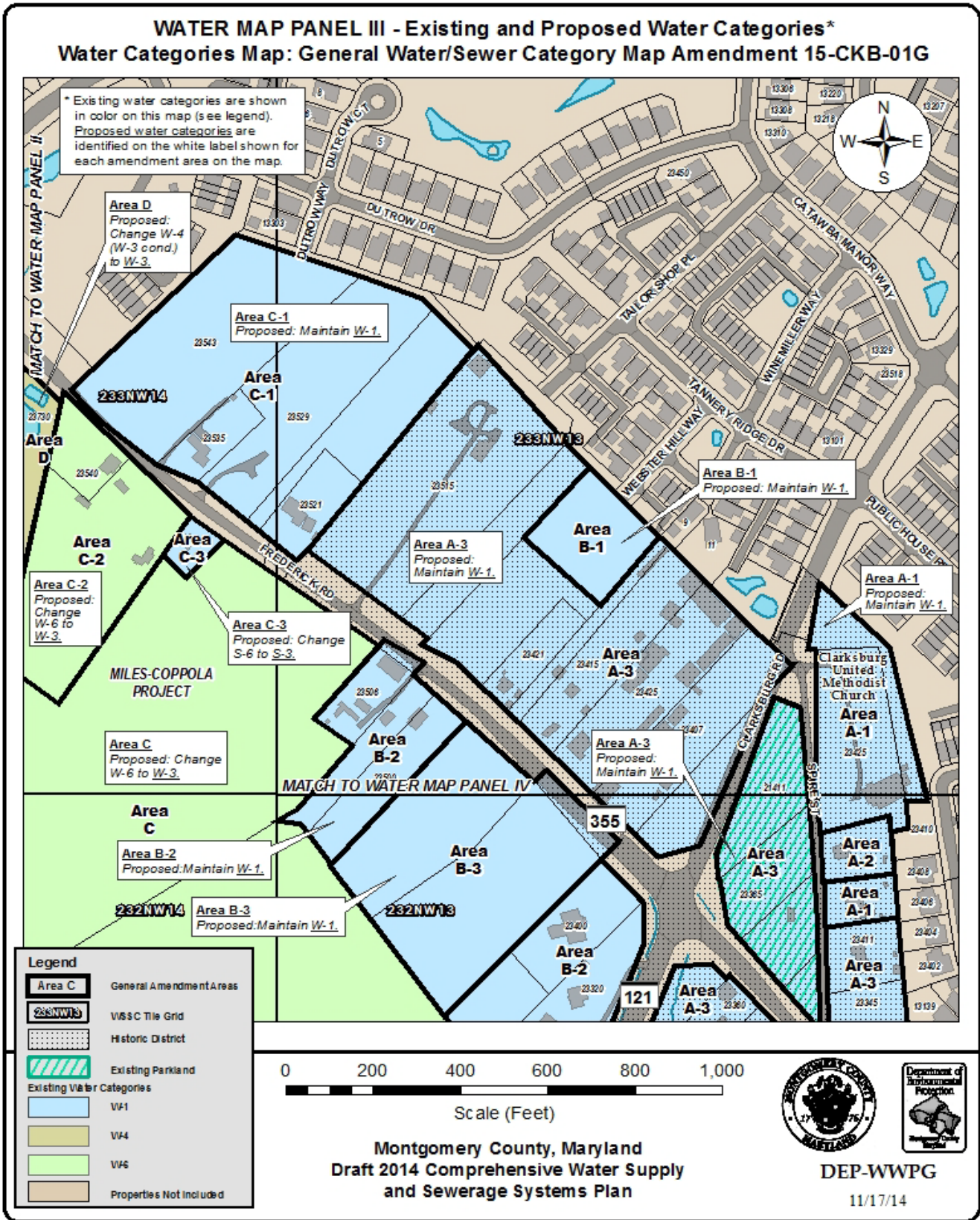
Water/Sewer Category Change Table for 15-CKB-01G: Recommended Categories and Staff Reports					
Comprehensive Amendment Areas	Area Description	Zoning	W/S Service Area Categories		Water/Sewer Map Panels
			Existing	Proposed	
Area G-1	County Correctional Facility Site	Rural	W-1 ¹¹ S-1 ¹¹	W-6 S-6	II
<p><u>Area G-1:</u> The County Correctional Facility is currently served by public water and sewerage systems (W-1 and S-1, both for public facilities only). The 2014 master plan acknowledges that no significant additional development on the Correctional Facility site is expected to occur beyond the existing correctional facility footprint. Therefore changes for these unimproved properties from categories W-1 and S-1 to W-6 and S-6 are appropriate given the existing Rural zoning.</p> <p>¹¹ <i>Area G-1 Footnote: Initial approval for categories W-4 and S-4 (conditional W-3 and S-3, both for public facilities only) was previously established under AD action 1991-2 for 91B-CKB-01 (5/13/92). Council resolution CR 13-89 on 4/4/95 subsequently reconfirmed this prior administrative action for general map amendment 94G-CKB-01. Final approval for restricted categories W-3 and S-3 (public facilities only) occurred on 8/31/98. <u>91B-CKB-01</u>.</i></p>					
Area H	County properties zoned Rural	Rural	W-4 (cond.) ¹² S-4 (cond.) ¹²	W-6 S-6	I & II
<p><u>Area H:</u> These properties were originally considered part of the planned Correctional Facility site, formerly referred to as "Site 30". No public facilities requiring public water and sewer service are planned for these properties. The 2014 master plan acknowledges that no significant additional development on the Correctional Facility site is expected to occur beyond the existing facility footprint. Therefore changes for these unimproved properties from categories W-4 and S-4 to W-6 and S-6 are appropriate given the existing Rural zoning.</p> <p>¹² <i>Area H Footnote: Initial approval for categories W-4 and S-4 (conditional W-3 and S-3, both for public facilities only) was previously established under AD action 1991-2 for 91B-CKB-01 (5/13/92). Council resolution CR 13-89 on 4/4/95 subsequently reconfirmed this prior administrative action for general map amendment 94G-CKB-01. A final approval was not granted for categories W-3 and S-3.</i></p>					
PROPERTIES IN THE RURAL ESTATE, RURAL, AND AGRICULTURAL ZONES					
Area I	Properties zoned Rural Estate	RE-1 RE-2	W-6 S-6	W-6 (NC) S-6 (NC)	V, VI, VII & VIII
<p><u>Area I:</u> The 2014 master plan recommends private, on-site water and sewer service for these RE-1 and RE-2 zoned properties. No category change action is needed or proposed for these properties.</p>					
Area J	Properties zoned Rural and Agricultural	Rural AR (RDT)	W-6 S-6	W-6 (NC) S-6 (NC)	I, II, V, VI & VII
<p><u>Area J:</u> The 2014 master plan recommends private, on-site water and sewer service for these Rural and AR (RDT) zoned properties. No category change action is needed or proposed for these properties at this time.</p>					

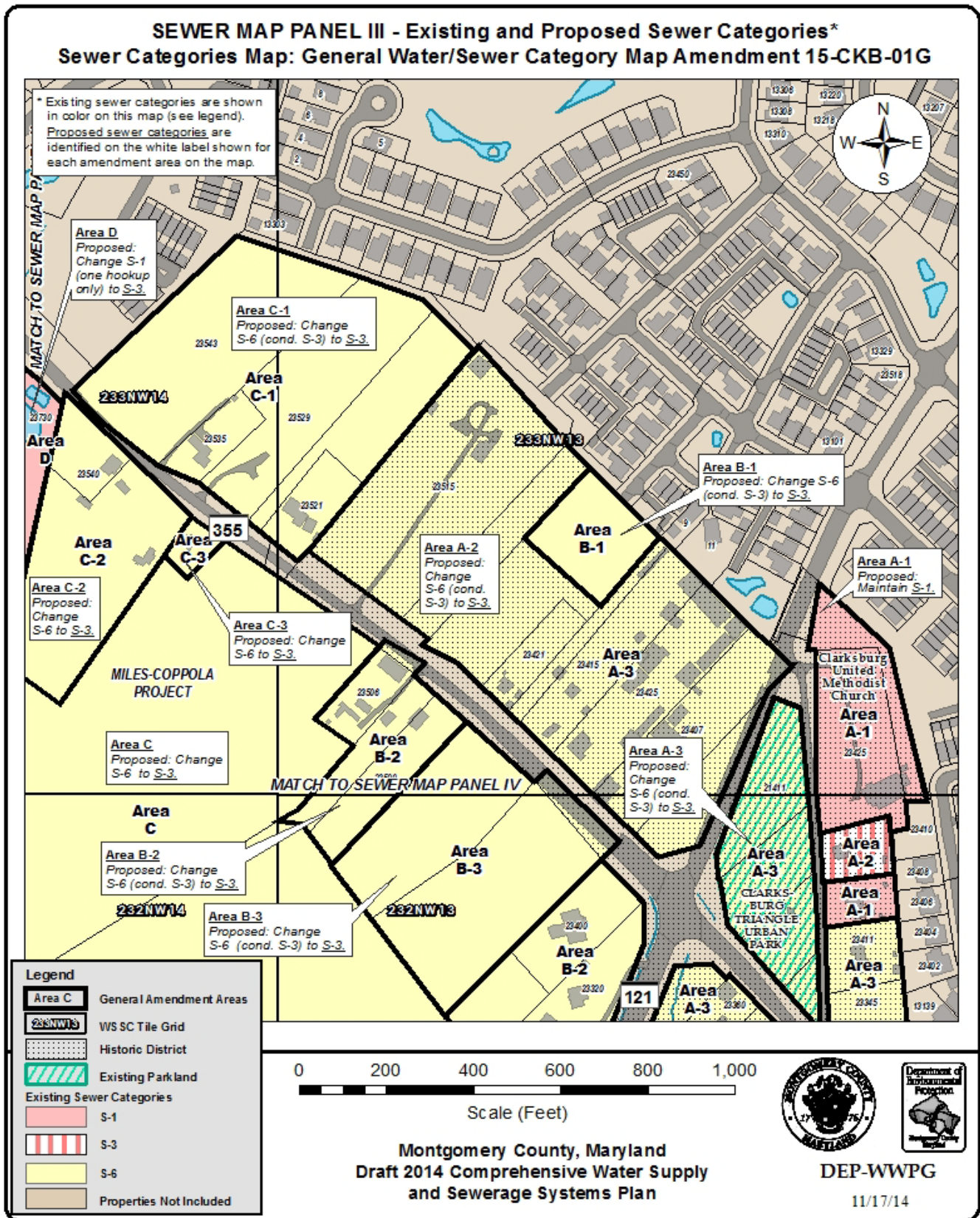


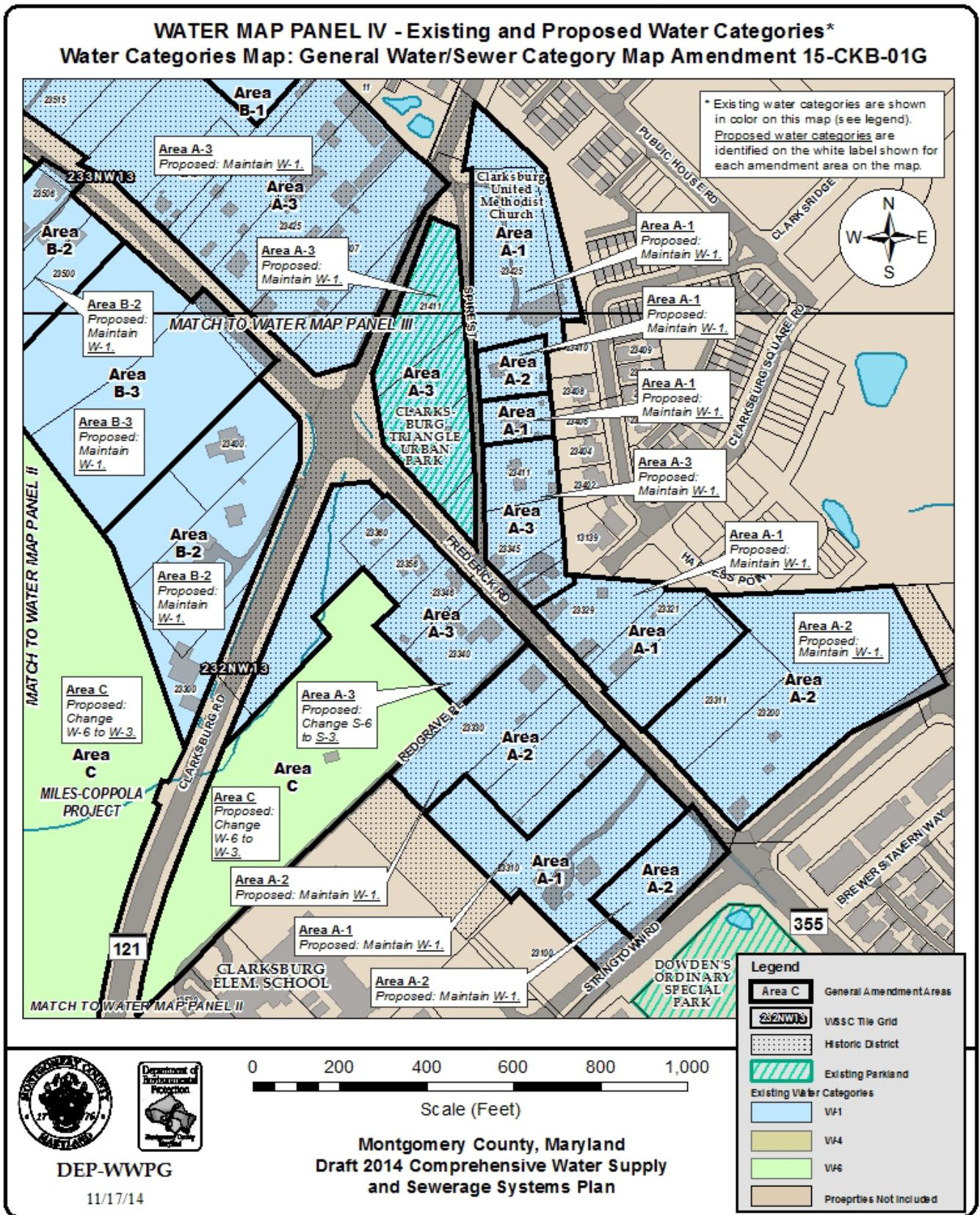


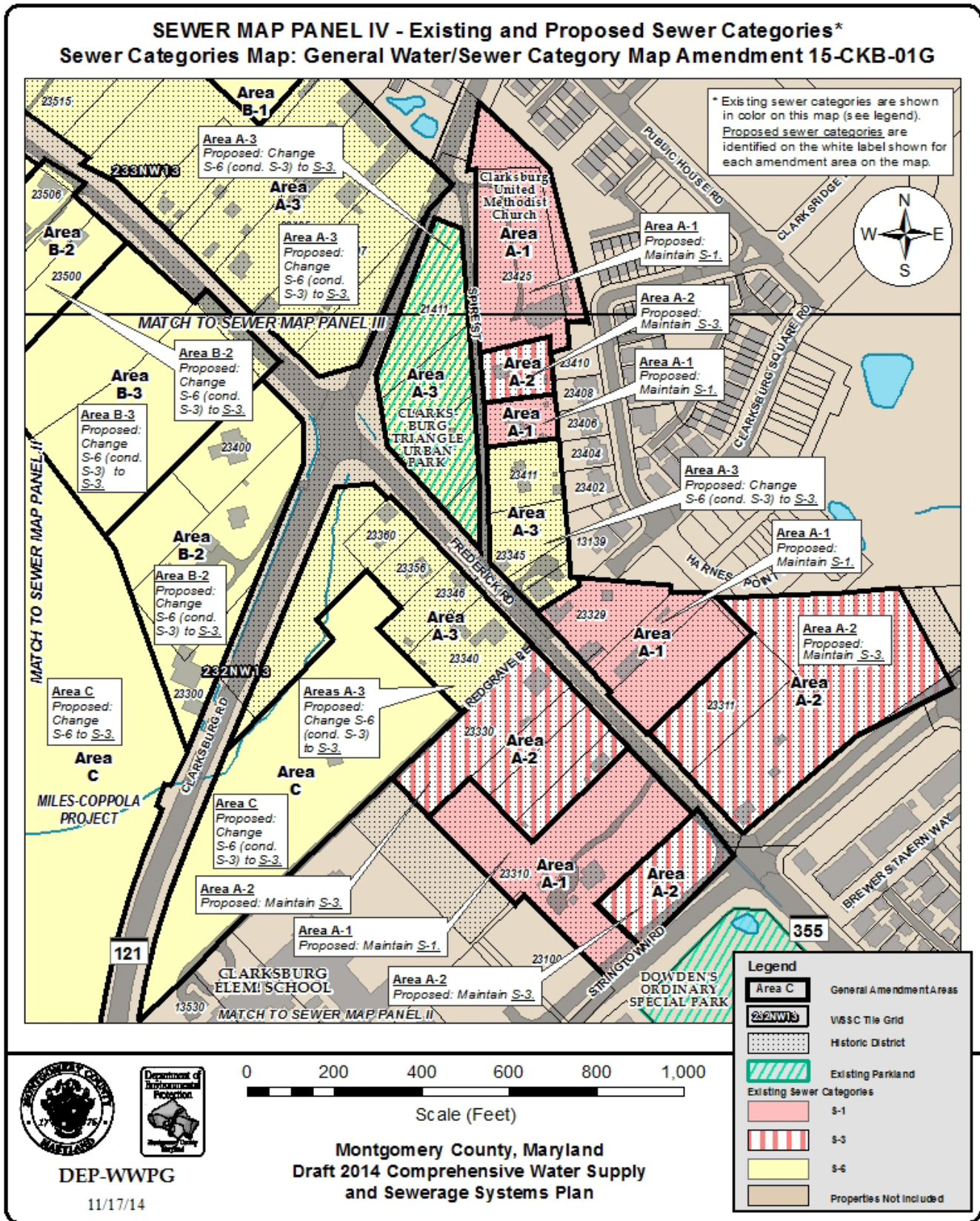


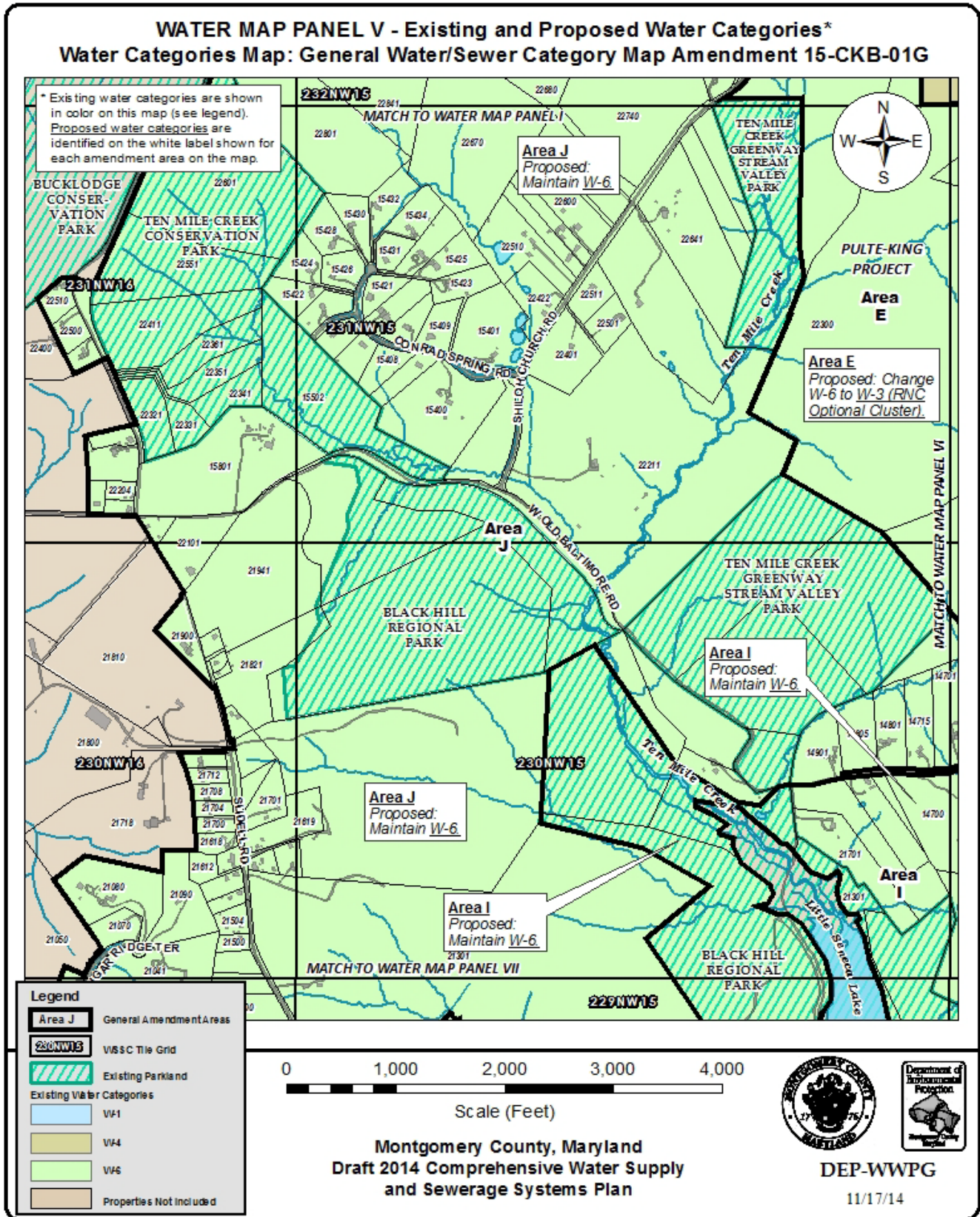


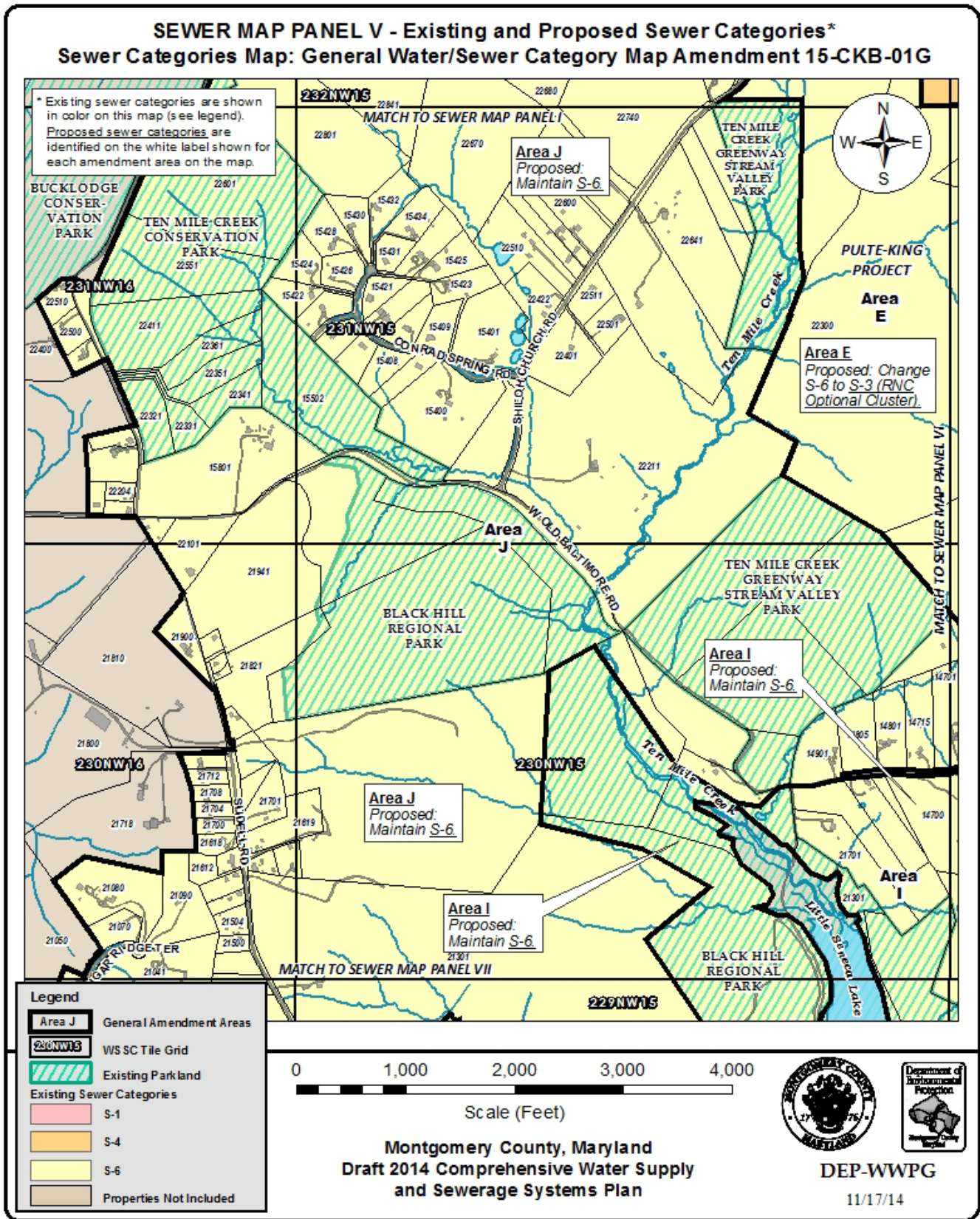


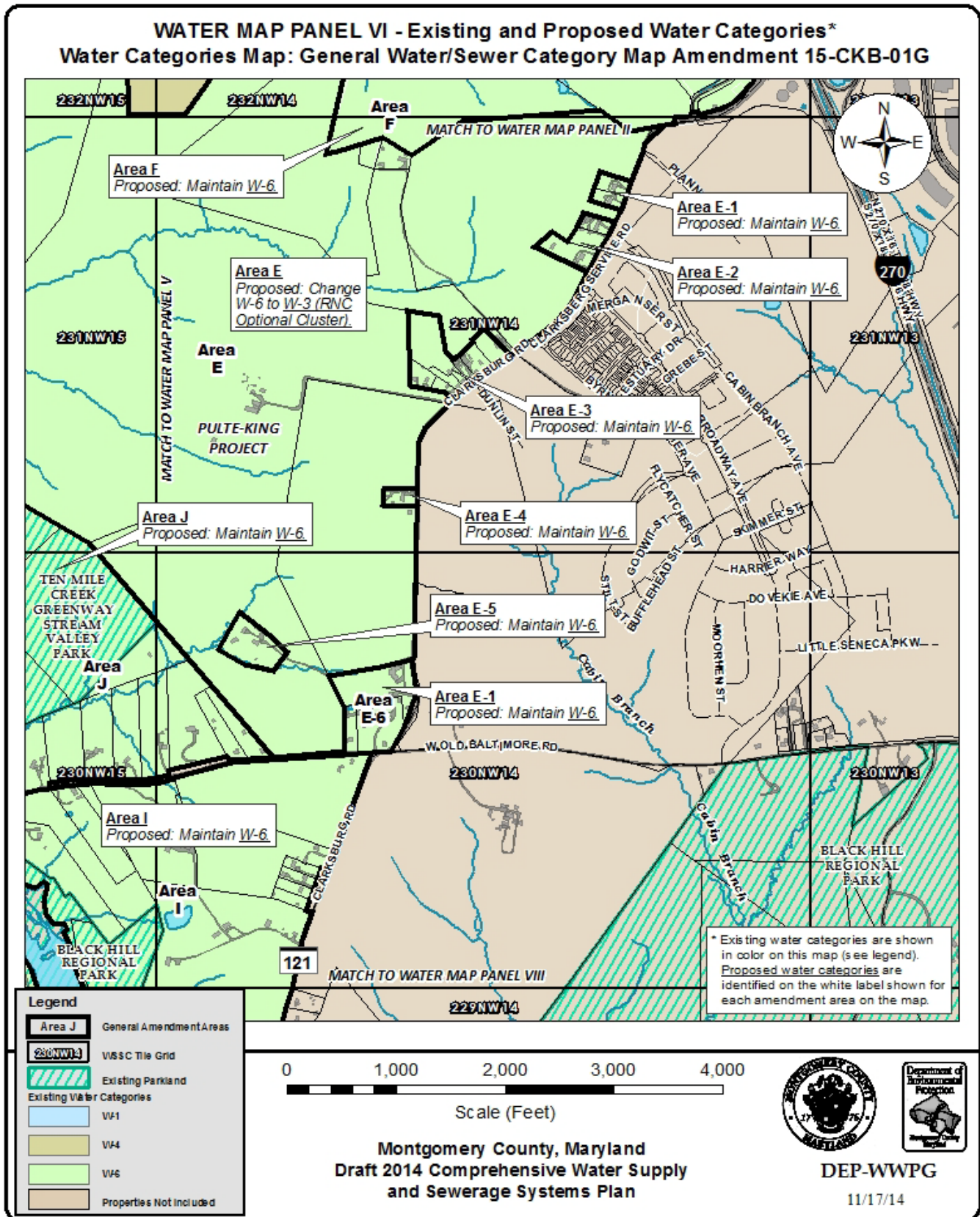


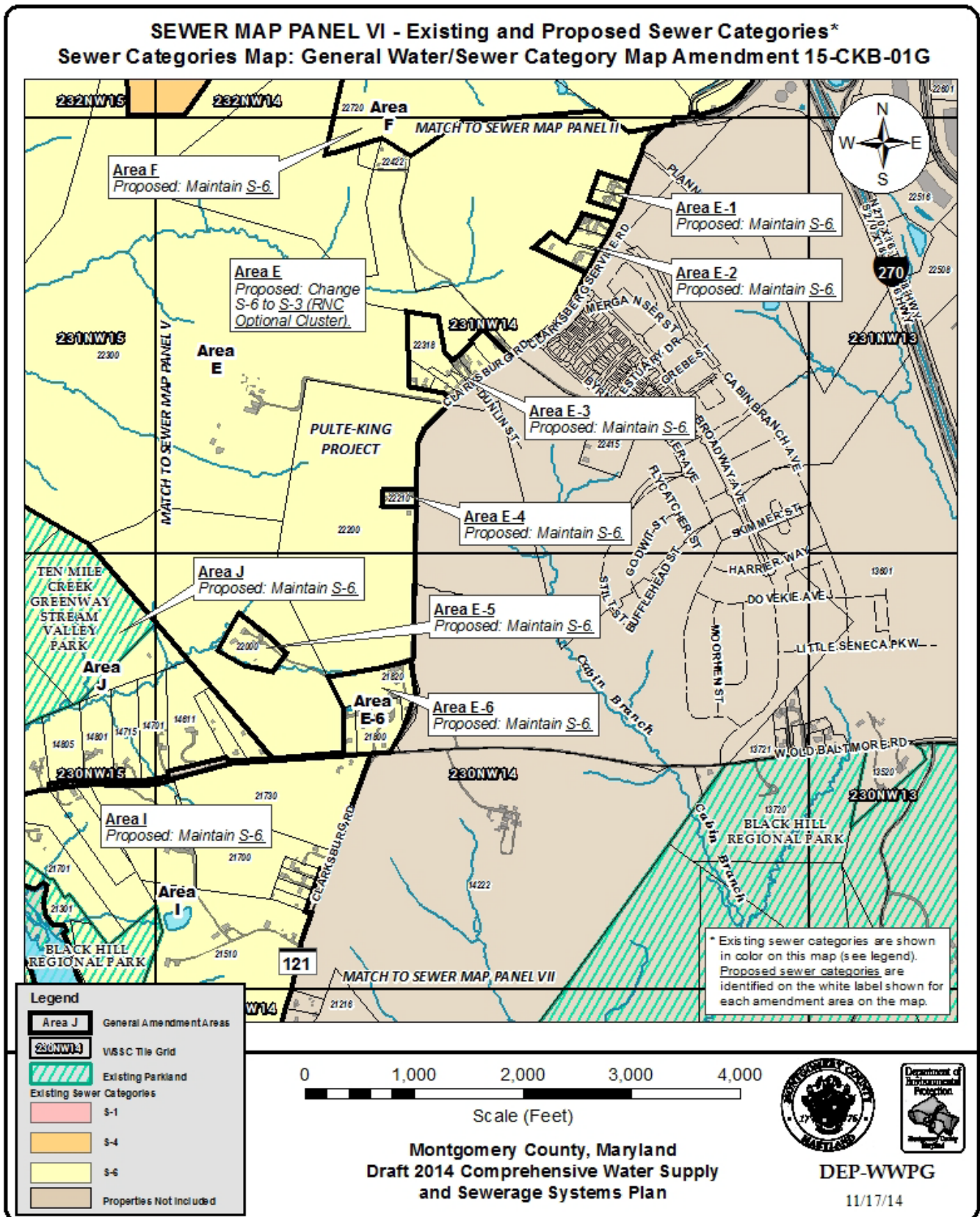


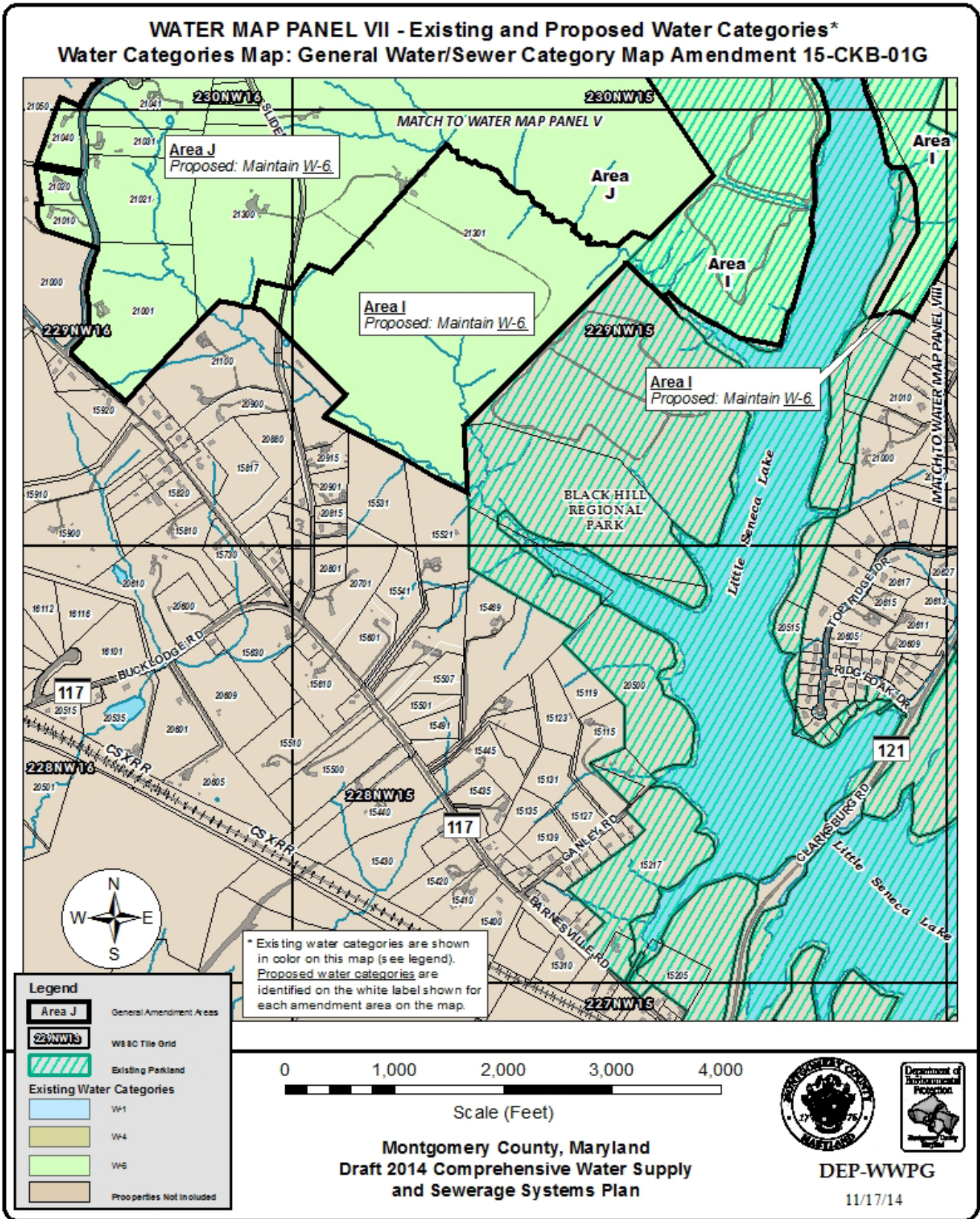


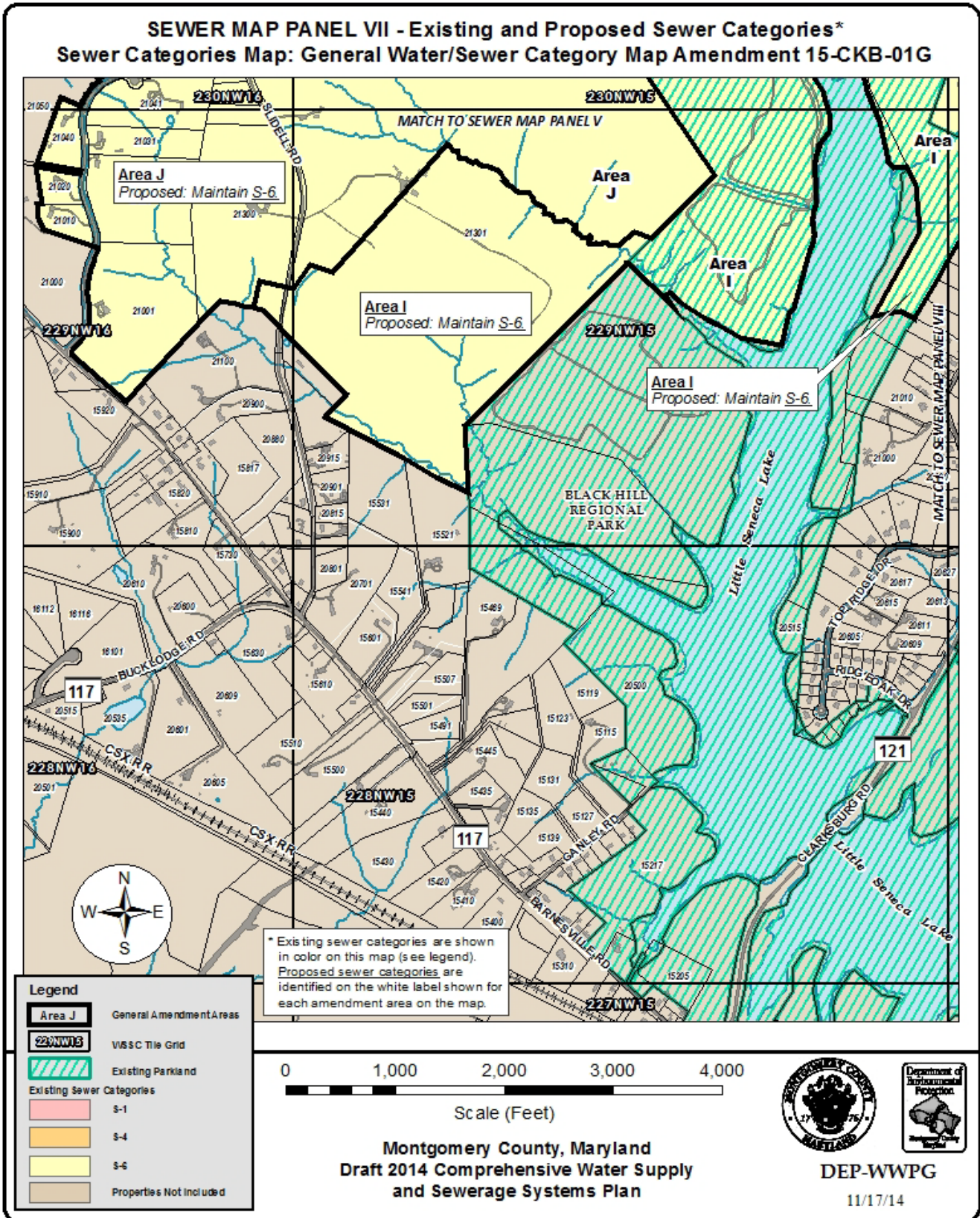


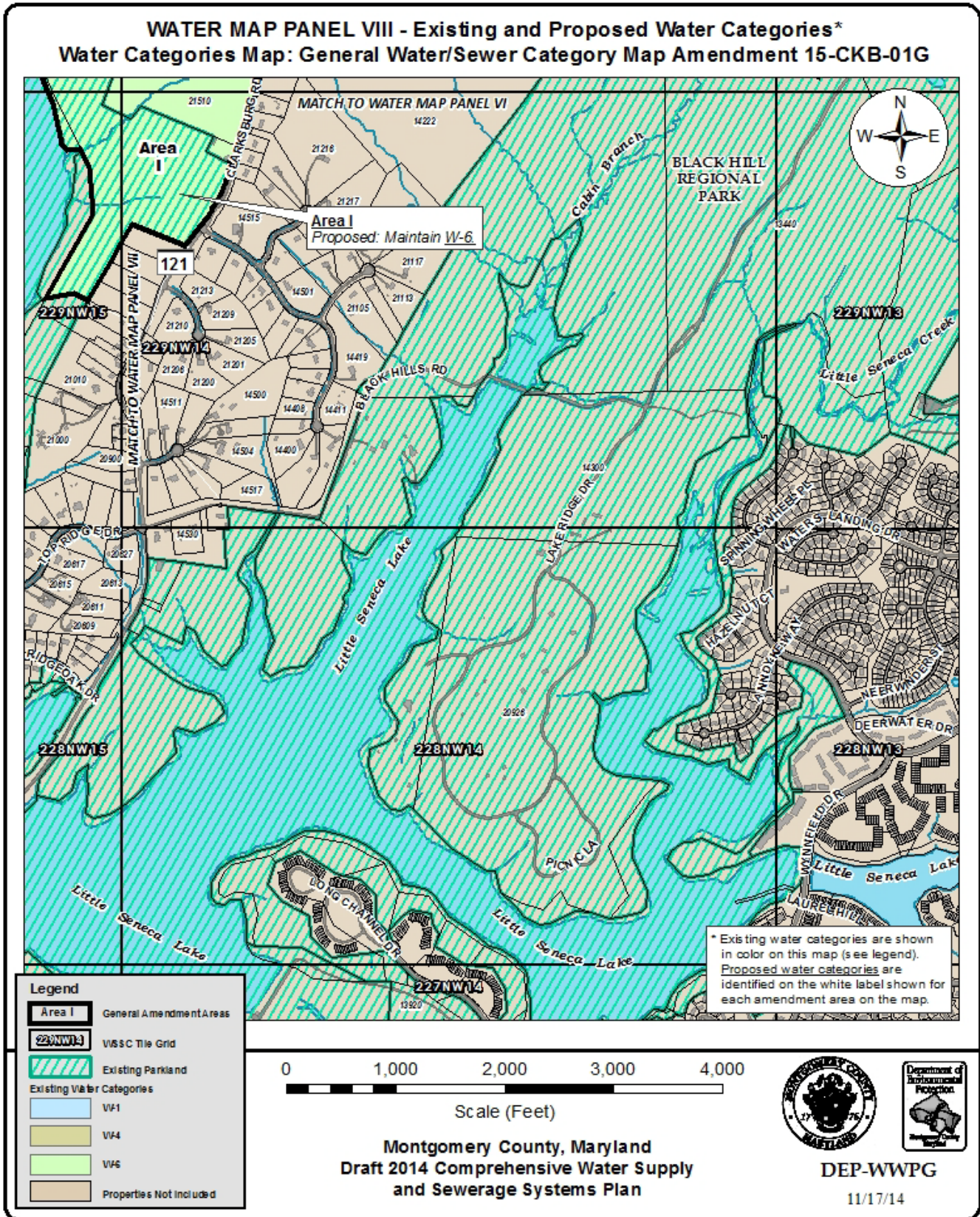




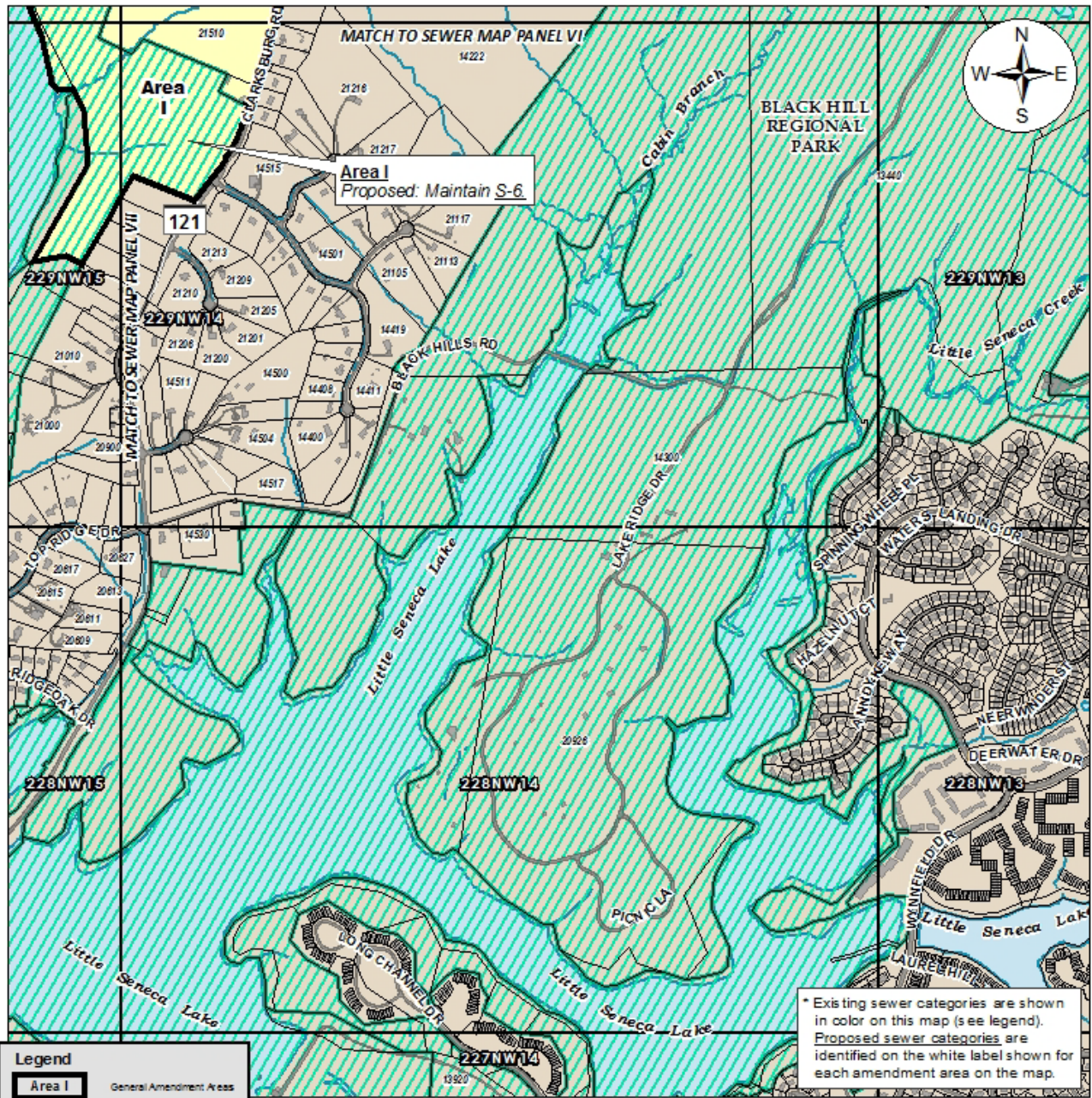








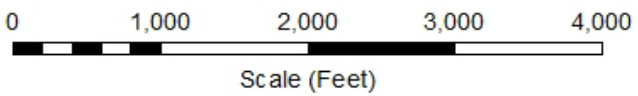
SEWER MAP PANEL VIII - Existing and Proposed Sewer Categories*
Sewer Categories Map: General Water/Sewer Category Map Amendment 15-CKB-01G



* Existing sewer categories are shown in color on this map (see legend).
 Proposed sewer categories are identified on the white label shown for each amendment area on the map.

Legend

- Area I General Amendment Areas
- 228NW14 W8 BC Tile Grid
- Existing Parkland
- Existing Sewer Categories**
- S-1
- S-4
- S-6
- Properties Not Included



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DEP-WWPG
 11/17/14