



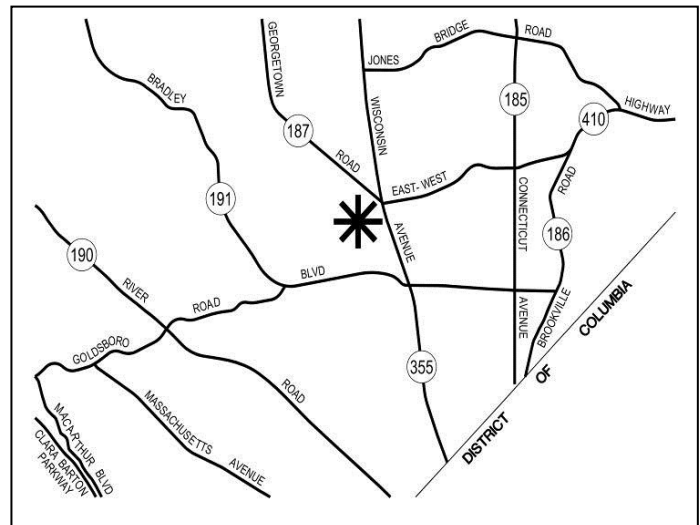
Consent Site Plan Amendment No. 82007010B, Hampden Lane

- Neil Braunstein, Planner Coordinator, Area 1, Neil.Braunstein@montgomeryplanning.org, 301.495.4532
- Elza Hisel-McCoy, Supervisor, Area 1, Elza.Hisel-McCoy@montgomeryplanning.org, 301.495.2115
- PAK* Robert Kronenberg, Chief, Area 1, Robert.Kronenberg@montgomeryplanning.org, 301.495.2187

Staff Report Date: 12/4/15

Description

- Site plan amendment to increase the approved building footprint by approximately 3' 4", adjust green roof strip and micro-bioretenion areas, adjust sidewalks and landscaping, and to increase on-site open space;
- Located in the northeast quadrant of the intersection of Arlington Road and Hampden Lane in the Bethesda CBD;
- 32,107 gross square feet zoned CR-2.5 C-0.25 R-2.5 H-75T
- *Bethesda CBD Sector Plan* area;
- Application accepted September 10, 2015;
- Applicant: Toll MD IV, Limited Partnership
- Review Basis: Chapter 59, Montgomery County Code



Summary

- **Staff Recommendation: Approval of the site plan amendment**
- This application is being reviewed under the TS-R Zone development standards in effect on October 29, 2014 as permitted under Section 59.7.7.1.B.3 of the Zoning Ordinance.

SITE DESCRIPTION

Vicinity

The subject property is located in the northeast quadrant of the intersection of Arlington Road and Hampden Lane in downtown Bethesda. This area is at the southern end of the Transit Station Residential District as delineated by the Sector Plan and the proposed development is approximately 1,300 feet from the Bethesda Metrorail Station.

The subject property is adjacent to the City Homes townhouse development and the Edgemoor at Arlington, a multi-family residential building, to the north. Across Hampden Lane is a small shopping center, the Shoppes of Bethesda. Another commercial building with a first-floor parking structure is located on the southeast corner of Arlington Road and Hampden Lane. This is within the Arlington Road District of the Sector Plan. The southern side of Hampden Lane has parallel parking. Across Arlington Road is the Bethesda Public Library, a low-rise brick building.



Vicinity Map

Site Analysis

The subject property consists of one platted lot that is 20,897 square feet in net area. The platted lot is the result of approval of Preliminary Plan 120070500 in 2007. The subject property is currently under development to construct a 71-foot-tall residential building containing 60 multi-family residential dwelling units, per site Plan 820070100. There are no known rare, threatened, or endangered species on site and no known historic properties or features on site.

AMENDMENT DESCRIPTION

Previous Approvals

Local Map Amendment

On September 26, 2006, the County Council approved Local Map Amendment G-842 and the associated Development Plan Amendment 06-2, which rezoned the subject property from the R-60 zone to the TS-R zone.

Preliminary Plan

On May 22, 2008, the Planning Board approved Preliminary Plan 120070500, which created one lot on the subject property for construction of a 71-foot tall multi-family building containing 60 multi-family dwellings, including 15% moderately priced dwelling units (MPDUs).

Site Plan

On May 22, 2008, the Planning Board approved Site Plan 820070100 for a 71-foot tall multi-family building containing 60 multi-family dwellings, including nine MPDUs.

On March 28, 2014, the Planning Director approved Site Plan Amendment 82007010A, which effected the following changes to the original approval:

1. The number of dwelling units were reduced from 60 to 55;
2. The number of on-site parking spaces were reduced from 88 to 69;
3. The active and passive recreational space was reduced; and
4. Minor revisions were made to the landscaping.

Description of Amendment

The Applicant requests the following modifications to the Site Plan:

1. Expand the footprint of the proposed building by moving the northern exterior wall of the building by approximately three feet and four inches.
2. Increase the on-site public use space from 2,174 square feet to 2,233 square feet.
3. Increase the on-site active and passive use space from 6,077 square feet to 7,849 square feet.
4. Minor adjustments to the green-roof strip and micro-bioretenion areas.
5. Minor adjustments to sidewalks and landscaping.
6. Update the data table with revised area calculations.

ANALYSIS AND FINDINGS

Pursuant to Section 7.7.1.B.3 of the 2014 Zoning Ordinance, this application was reviewed under the standards and procedures of the Zoning Ordinance in effect on October 29, 2014. Section 59-D-3.7 (c) and (d) of that ordinance outline the procedures for amending an approved site plan which require the

Planning Board to approve any proposed modifications. This amendment does not increase the approved density or the building height and it continues to conform to all other elements of the approved site plan.

In its resolution of November 24, 2008, approving Site Plan 820070100, the Planning Board found that the application conformed to all non-illustrative elements and binding elements of approved DPA 06-2 and Local Map Amendment G-842 and the requirements of the TS-R zone. The Planning Board found the location of buildings and structures, open spaces, landscaping, recreation facilities, and pedestrian and vehicular circulation to be adequate, safe, and efficient, and each structure and use to be compatible with other uses and other site plans, and with existing and proposed development. The application met all applicable requirements of Chapter 22A regarding forest conservation and Chapter 19 regarding water resource protection. The proposed amendment does not affect the application's conformance with these findings and the Planning Board's prior findings remain valid. The proposed development must comply with the conditions of approval for Site Plan 820070010, as amended, as enumerated in Planning Board Resolution No. 08-67 dated November 24, 2008.

PUBLIC NOTICE

The applicant has met all proper signage, noticing, and submission meeting requirements. Notice of the subject amendment was sent to all parties of record. Staff has not received correspondence on this matter.

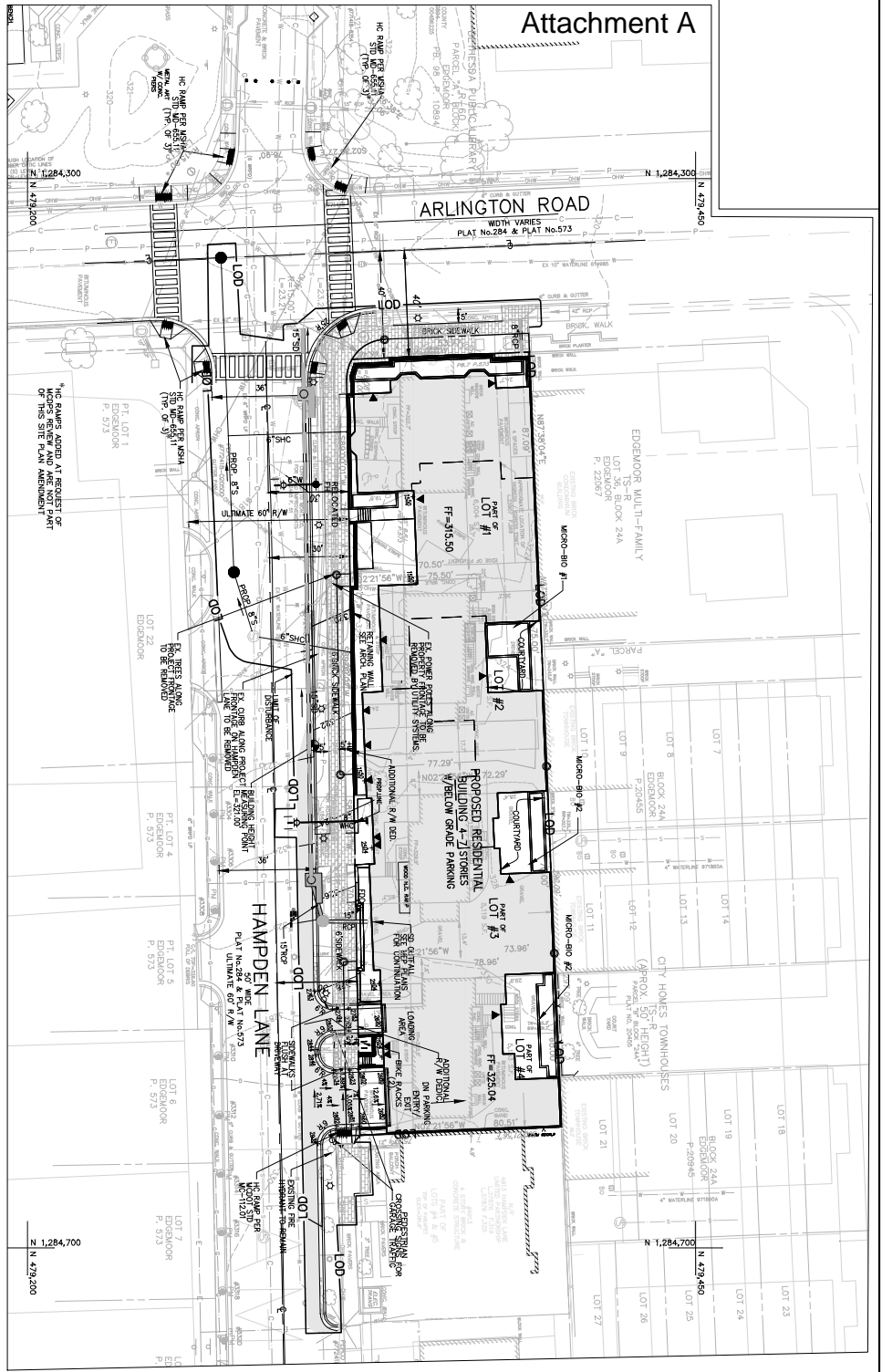
STAFF RECOMMENDATION

The site plan amendment meets all of the requirements established in the Zoning Ordinance. Therefore, staff recommends approval of Site Plan Amendment 82007010B.

ATTACHMENTS

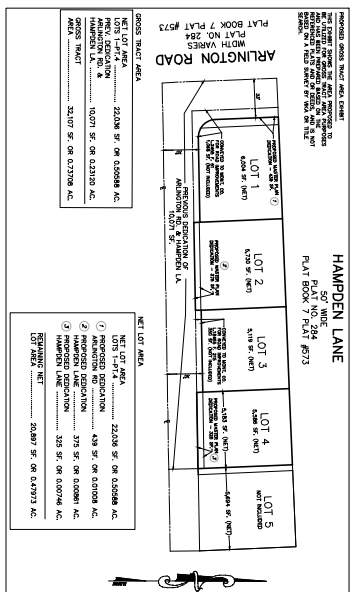
- A. Proposed Site Plan Amendment
- B. Resolution Approving Site Plan 820070100
- C. Memorandum Approving Site Plan Amendment 82007010A

Attachment A



LEGEND

	SANITARY EJECTOR
	CABLE TELEVISION PRESENT
	STORM DRAIN MANHOLE
	STORM DRAIN INLET
	ELECTRIC MANHOLE
	ELECTRIC CABINET
	FIRE DEPARTMENT CONNECTION
	GAS MANHOLE
	GAS VALVE
	WATER METER
	SEWER POST
	LIGHT POLE
	FIRE HYDRANT
	UTILITY POLE
	SHAFTWAY MANHOLE
	TRANSFORMER
	TREE
	GREEN SPACE
	RETAINING WALL
	RETAINING WALL ABOVE GRADE



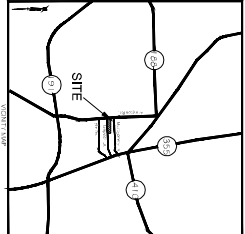
- ### SITE PLAN AMENDMENT 82007010B
- EXPAND BUILDING FOOTPRINT WITHIN THE EXISTING MANHOLE DENSITY UNIT COUNT AND INCREASE THE ON-SITE PUBLIC USE SPACE
 - INCREASE THE ON-SITE PUBLIC USE SPACE
 - MINOR CHANGES TO LANDSCAPING AND OTHER SITE DETAILS.

PROFESSIONAL CERTIFICATION

I hereby certify that this document was prepared or supervised by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland.

PROFESSIONAL CERTIFICATION
VKA
 License No. 20518

DESIGNED BY: VIKI A. KAMRANI
CHECKED BY: VIKI A. KAMRANI
DATE: 05/20/14





MONTGOMERY COUNTY PLANNING BOARD
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

MCPB No. 08-67
Site Plan No. 820070100
Project Name: Hampden Lane
Date of Hearing: May 22, 2008

MONTGOMERY COUNTY PLANNING BOARD

RESOLUTION

WHEREAS, pursuant to Montgomery County Code Division 59-D-3, the Montgomery County Planning Board ("Planning Board") is vested with the authority to review site plan applications; and

WHEREAS, on December 12, 2006, Hampden Lane Associates, LLC ("Applicant"), filed an application for approval of a site plan for 60 multi-family dwelling units, including 15% MPDUs ("Site Plan" or "Plan") on 0.74 gross acres of TS-R-zoned land, located on the northeast quadrant of the intersection of Hampden Lane and Arlington Road ("Property" or "Subject Property"); and

WHEREAS, Applicant's site plan application was designated Site Plan No. 820070100, Hampden Lane (the "Application"); and

WHEREAS, Planning Board staff ("Staff") issued a memorandum to the Planning Board, dated May 9, 2008, setting forth its analysis of, and recommendation for approval of the Application subject to certain conditions ("Staff Report"); and

WHEREAS, following review and analysis of the Application by Staff and the staffs of other governmental agencies, on May 22, 2008, the Planning Board held a public hearing on the Application (the "Hearing"); and

WHEREAS, at the Hearing, the Planning Board heard testimony and received evidence submitted for the record on the Application; and

WHEREAS, on May 22, 2008 the Planning Board voted to approve the Application subject to conditions on the motion of Commissioner Bryant, seconded by Commissioner Robinson; with a vote of 4-0, Commissioners Bryant, Cryor, Hanson, and Robinson voting in favor.

APPROVED AS TO LEGAL SUFFICIENCY

Kathleen J. Oak

M-NCPPC LEGAL DEPARTMENT

DATE 11/19/08

NOW, THEREFORE, BE IT RESOLVED that, pursuant to the relevant provisions of Montgomery County Code Chapter 59, the Montgomery County Planning Board APPROVES Site Plan No. 820070100 for 60 multi-family dwelling units, including 15% MPDUs, on 0.74 gross acres in the TS-R zone, subject to the following conditions:

1. Preliminary Plan Conformance
The proposed development must comply with the conditions of the approved Resolution for Preliminary Plan No. 120070500.
2. Development Plan Conformance
The proposed development must comply with the binding elements listed in the Local Map Amendment G-842 and associated Development Plan Amendment ("DPA") 06-2, which amends DPA 00-2.
 - a. The building will have a maximum building height of 71 feet as measured from the building height measurement point shown on the plan.
 - b. The development will have a maximum density of 3.05 FAR, including the MPDU bonus density.
 - c. The development will provide 15% MPDUs (9 units) on-site.
 - d. The development will provide a minimum of 10% public use space.
 - e. The development will provide a minimum of 20% active and passive recreational space.
3. Lighting
The Applicant must ensure that each of the following conditions is met and is reflected on the Site Plan:
 - a. Lighting distribution must conform to IESNA standards for residential development.
 - b. Deflectors shall be installed on all fixtures causing potential glare or excess illumination, specifically on the perimeter fixtures abutting the adjacent residential properties.
 - c. Illumination levels, excluding streetscape light fixtures, shall not exceed 0.5 footcandles (fc) at any property line abutting county roads or adjacent residential properties.
 - d. The height of any on-site light poles shall not exceed 16 feet including the mounting base.
4. Streetscape
The Applicant must construct the Arlington Road and Hampden Lane streetscape in conformance with the Bethesda Streetscape Plan. This includes, but is not limited to, providing Littleleaf Linden trees approximately 30 feet on center along Hampden Lane; Red Oak trees approximately 30 feet on center along Arlington Road; a minimum 5-foot wide lawn panel with amended soil along Hampden Lane and Arlington Road for all street trees; Washington Globe Decorative Luminaires

approximately 60 feet on center along Hampden Lane and Arlington Road; a minimum 6-foot wide brick sidewalk with the appropriate brick edging detail; and running bond brick paving across driveway entrances. These dimensions are subject to minimal changes due to on-site constraints, underground obstructions, or County requirements.

5. Recreation Facilities

- a. The Applicant must ensure that the proposed recreation facilities are constructed in conformance with the approved M-NCPPC Recreation Guidelines.
- b. The Applicant must provide, at a minimum, seven picnic/seating areas, one indoor community space, and one indoor fitness facility.

6. Moderately Priced Dwelling Units (MPDUs)

- a. The proposed development must provide 9 MPDUs (15%) on-site in accordance with Chapter 25A of the Montgomery County Code. The Applicant is receiving a 22% density bonus for providing 15% MPDUs on-site.
- b. The Applicant must obtain an agreement pertaining to the construction and staging of MPDUs from the Department of Housing and Community Affairs ("DHCA") prior to the issuance of any building permits.
- c. Based on the unit distribution as proposed, the proposed development must provide a minimum of four one-bedroom MPDU units and five two-bedroom MPDU units. Final unit distribution must be approved by DHCA.

7. Transportation

The Applicant must comply with the following conditions of approval from M-NCPPC Transportation Planning in the memorandum dated May 25, 2007.

- a. Total development under the subject Site Plan is limited to 60 multi-family residential dwelling units.
- b. The Applicant must provide dual handicapped ramps at the southeast corner of the intersection of Arlington Road and Hampden Lane and provide pedestrian crosswalks from each of these ramps across Arlington Road and Hampden Lane, respectively.
- c. The Applicant must provide two inverted-U bike racks in front of the main entrance and three bike lockers in the underground garage within 50 feet of the elevator. The Applicant must coordinate with Transportation Planning Staff to determine the ultimate location of the bike racks and lockers prior to approval of the Certified Site Plan.

8. Stormwater Management

The proposed development is subject to Stormwater Management Concept approval conditions dated November 27, 2006, unless amended and approved by the Montgomery County Department of Permitting Services ("DPS").

9. Development Program

The Applicant must construct the proposed development in accordance with Development Program. A Development Program shall be reviewed and approved by Staff prior to approval of Certified Site Plan. The Development Program shall include a phasing schedule as follows:

- a. Street tree planting must be completed within six months of the issuance of any use and occupancy permits.
- b. Recreation facilities, including the picnic/seating areas, the indoor community room, and the indoor exercise room, must be completed within six months of the issuance of any use and occupancy permits.
- c. All landscaping and lighting must be completed within six months of the issuance of the first use and occupancy permit.
- d. Phasing of pre-construction meetings, dedications, stormwater management, sediment/erosion control, trip mitigation or other features.

10. Clearing and Grading

Applicant must ensure that there is no clearing or grading of the subject site prior to M-NCPPC approval of the Certified Site Plan.

11. Certified Site Plan

Prior to the Certified Site Plan approval the following revisions shall be included and/or information provided, subject to Staff review and approval:

- a. Minor corrections and clarifications to site details and labeling.
- b. Development Program, Inspection Schedule, Forest Conservation Exemption Letter, and Site Plan Resolution.

BE IT FURTHER RESOLVED that all site development elements as shown on Hampden Lane drawings stamped by the M-NCPPC on March 12, 2008, shall be required, except as modified by the above conditions of approval; and

BE IT FURTHER RESOLVED that, having given full consideration to the recommendations and findings of its Staff, which the Planning Board hereby adopts and incorporates by reference except as modified herein, and upon consideration of the entire record, the Montgomery County Planning Board FINDS, with the conditions of approval, that:

1. *The Site Plan conforms to all non-illustrative elements of the development plan certified by the Hearing Examiner under Section 59-D-1.64 and all binding elements of the approved Zoning Application.*

The proposed development is consistent with the approved DPA 06-2, which amends DPA 00-2, regarding land use, density, location, building height and development guidelines. In addition, the proposed development conforms to the

following binding elements established by DPA 0-62 and the approved Local Map Amendment G-842.

- a. The proposed building will have a maximum building height of 71 feet as determined by the building height measurement point on the plan.
 - b. The proposed development will have a maximum density of 3.05 FAR, including the MPDU bonus.
 - c. The proposed development will provide 15% MPDUs (9 units) on-site.
 - d. The proposed development will provide a minimum of 10% public use space.
 - e. The proposed development will provide a minimum of 20% active and passive recreational space.
2. *The Site Plan meets all of the requirements of the zone in which it is located, and where applicable conforms to an urban renewal plan approved under Chapter 56.*

The Site Plan meets all of the requirements of the Transit Station - Residential (TS-R) zone. The following Project Data Table sets forth the development standards approved by the Planning Board and binding on the Applicant. In particular, the proposed development has more than the minimum required area; meets the permitted density of development (given the 22% density bonus allowed through the provision of 15% MPDUs); and has more than the required amount of public use space and recreational open space. There are no height restrictions or setbacks in the TS-R zone, instead the Site Plan conforms with the development standards established by DPA 06-2.

Although there are no height restrictions in the TS-R zone, Section 59-C-8.51 of the Zoning Ordinance delineates specific factors the Board must consider in approving a height limit: the size of the lot, the relationship of the building to surrounding uses, the need to preserve light and air for the residents of the development and residents of surrounding properties, and any other factors relevant to the height of the building. The terracing of the roof from 35 feet high on Arlington Road to 71 feet at its highest point near the midpoint of the building addressed the pedestrian scale along Arlington Road. The terracing and setbacks of higher sections of the building from the northern property line, as well as the courtyards created by the articulation of the building, maintain as much light and air into the site and the adjacent properties as is typical in an urban environment. Further, the alignment and setbacks of the mechanical penthouses shade the roofs of the adjacent property to the north, rather than their open spaces. The Board finds that the proposed building is an appropriate and well-designed response to the site given the density and use recommendations of the Sector Plan and the site context.

PROJECT DATA TABLE (TS-R zone)

Development Standard	Permitted/ Required	Approved w/the Binding Elements	Approved by the Planning Board and Binding on the Applicant
Min. Gross Tract Area (square feet)¹	18,000	n/a	32,140
Max. Building Height (feet)	n/a	71 ²	71
Max. Floor Area Ratio (FAR)	2.5	3.05 ³	3.05
Max. Dwelling Units	111	n/a	60
Building Setbacks (feet)			
Right-of-Way	n/a	n/a	0
Rear (north property line)	n/a	n/a	0
Side (east property line)	n/a	n/a	0
Open Space (% of net lot)			
Public Use Space	10	10	10.36
Active/Passive Recreation Space	20	20	36.52
Total	30	30	46.88
Parking Spaces	80	n/a	88 ⁴
Bicycle Facilities	5	n/a	5

3. *The locations of buildings and structures, open spaces, landscaping, recreation facilities, and pedestrian and vehicular circulation systems are adequate, safe, and efficient.*

¹ Net lot area is 20,895 square feet after dedication.

² Measured from the building height measurement point (elevation 321.0') on Hampden Lane. As provided by Section 59-B-1.1, height limits do not apply to mechanical appurtenances.

³ Maximum density allowed is increased by 22% by providing 15% MPDUs on-site.

⁴ Including 4 handicapped spaces and 2 motorcycle spaces.

a. Locations of buildings and structures

The proposed building provides a high-density residential use on an optimal site for accessibility to mass transit and neighborhood facilities. The design and layout of the building is compatible with the surrounding buildings in terms of massing, detailing, and height. The minimal visual and circulation impact of the parking structure is in keeping with the recommendations of the zone and the Sector Plan. The street entrances and public use space provided in and around the building will help create an active and interesting pedestrian experience. Both the use and the design elements of the architecture provide an adequate, safe, and efficient building on the subject site.

b. Open Spaces

The plan proposes 10.36% on-site public use space along the frontages of Arlington Road and Hampden Lane. This area provides visual interest with plantings and lighting and benches integrated into retaining walls and landscape beds. The public open space is complemented by an additional 36.52% on-site recreational space provided for residents. This space includes fitness and meeting rooms, terraces, and courtyards. Each of these spaces has a distinct atmosphere and provides the variety necessary for many different types of activities and groups. The open space is safe, adequate and efficient.

c. Landscaping and Lighting

The proposed landscaping on the site consists of a mix of shade, evergreen and flowering shrubs and trees along the streetscape and the foundation of the building. Bark color, foliage texture, and flowers will provide interest and beauty throughout the year. The street trees along Arlington Road and Hampden Lane will be installed per the Bethesda Streetscape Plan details for trees within a lawn panel. The shade provided by these trees and the lush plantings all along the pedestrian paths provides an adequate, safe, and efficient environment for residents and passers-by.

The lighting plan consists of the streetscape-specified Washington Globe Luminaires along Arlington Road and Hampden Lane. There are other lights proposed throughout the project area recessed into steps, retaining walls, and access ramps. This unobtrusive lighting technique will provide appeal and character that will help set this project apart, while maintaining a safe, adequate and efficient pedestrian environment.

d. Recreation Facilities

The proposed recreation facilities, including seven sitting areas, the indoor community room, and the indoor fitness facility will provide residents with

ample opportunities to stay active and interact with their neighbors. Adults and senior citizens have numerous spaces to spend time with family and get their children or grandchildren outside on the terraces, in the courtyards, or into the fitness room. Older children and teenagers will also benefit from these "passive" recreation areas to congregated with their friends and families. The community room is a much needed resource for getting neighbors together and creating a sense of community. These recreation facilities comply with the M-NCPPC Recreation Guidelines and are adequate in supply and safe and efficient in layout and design.

e. Pedestrian and Vehicular Circulation Systems

Sidewalks along Arlington Road and Hampden Lane will be improved to conform to the Bethesda Streetscape Plan. These sidewalks will integrate the development into the existing community and provide safe and efficient pedestrian access to the neighborhood circulation system. The proposed ramps, seat walls, and paved areas within the right-of-way are well landscaped and lit such that they will provide a pleasant atmosphere for both residents and passers-by. The pedestrian environment, as a whole, is adequate, safe, and efficient.

Access to an underground garage is provided from Hampden Lane, approximately 280 feet from Arlington Road. Although an automobile parking garage is not listed as an allowed use in the TS-R zone under Section 59-C-8.3, because the underground garage is not a stand-alone structure the Board regards it as an accessory use, which is allowed as a miscellaneous use in this zone. Further, given the intents, purposes, and development standards of the Transit Station zones, the Board finds this use is appropriate. Directly west of this entrance is the loading and trash removal area for the development. The location of these two uses at one point, as well as at a point furthest away from Arlington Road as possible, decreases the likelihood of potential conflicts with pedestrians and other vehicles. This vehicular circulation layout is the most safe and efficient possible to provide adequate access.

4. *Each structure and use is compatible with other uses and other site plans and with existing and proposed adjacent development.*

As mentioned above, the building is compatible with the other residential buildings to the north and east regarding massing, scale, detailing, and layout. There are no current proposed site plans under review on adjacent properties, although there is a proposed development further to the east on Hampden Lane. The proposed uses and structures of that plan will be compatible with the subject proposal.

5. *The Site Plan meets all applicable requirements of Chapter 22A regarding forest conservation, Chapter 19 regarding water resource protection, and any other applicable law.*

The subject Site Plan is exempt from the requirements of the forest conservation law.

The proposed storm water management concept consists of on-site water quality control via a volume based storm filter. A partial waiver of water quality control is granted for the area that does not drain to the structure. On-site recharge is waived due to site constrains. Channel protection volume is not required because the one-year post development peak discharge is less than or equal to 2.0 cfs.

BE IT FURTHER RESOLVED, that this Resolution incorporates by reference all evidence of record, including maps, drawings, memoranda, correspondence, and other information; and

BE IT FURTHER RESOLVED, that this Site Plan shall remain valid as provided in Montgomery County Code § 59-D-3.8; and

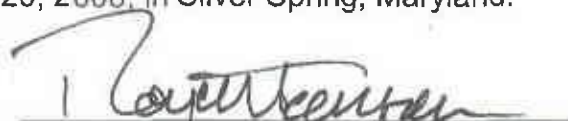
BE IT FURTHER RESOLVED, that the date of this Resolution is NOV 24 2008 (which is the date that this Resolution is mailed to all parties of record); and

BE IT FURTHER RESOLVED, that any party authorized by law to take an administrative appeal must initiate such an appeal within thirty days of the date of this Resolution, consistent with the procedural rules for the judicial review of administrative agency decisions in Circuit Court (Rule 7-203, Maryland Rules).

* * * * *

CERTIFICATION

This is to certify that the foregoing is a true and correct copy of a resolution adopted by the Montgomery County Planning Board of The Maryland-National Capital Park and Planning Commission on motion of Commissioner Robinson, seconded by Commissioner Cryor, with Commissioners Hanson, Robinson, and Cryor present and voting in favor of the motion, and Commissioners Alfandre and Presley abstaining, at its regular meeting held on Thursday, November 20, 2008, in Silver Spring, Maryland.



Royce Hanson, Chairman
Montgomery County Planning Board



MONTGOMERY COUNTY PLANNING DEPARTMENT

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Memorandum

TO: Gwen Wright, Planning Director

FROM: Robert Kronenberg, Chief, Area One *RAK*

VIA: Melissa Williams, Senior Planner, Area One

RE: 4915, 4917, 4919 and 4921 Hampden Lane
SITE PLAN #82007010A

DATE: March 27, 2014

Pursuant to Montgomery County Code Division 59-D-3 (Minor Amendments), the Planning Director may approve in writing certain applications for an amendment to the certified site plan. Administrative or "Director Level" Amendments are modifications to the approved Certified Site Plan that are considered minor in nature and do not alter the intent and objectives of the plan.

A Pre-Application meeting with the community/public/parties of record is not required. A Pre-Submittal meeting with the Intake Section is also not required; however, submittal of the application to the Intake Section is applicable. Administrative Amendments must satisfy the noticing and posting requirements as identified in Sections 4.C and 4.D (a) (ii) of the Development Manual and require approval of the Planning Director.

On November 5, 2013, Hampden Lane Associates, LLC ("Applicant") filed a site plan amendment application designated Site Plan No. 82006038D ("Amendment") for approval of the following modifications:

1. Reduce the number of units from 60 to 55;
2. Reduce the number of parking spaces from 88 to 69;
3. Reduce the active and passive recreational space; and
4. Make minor revisions to the landscaping

The proposed reduction in the number of units reduced the overall parking requirement based upon the unit/bedroom mix. The minimal reductions to the recreation space and landscaping are a result of the final building design modifications.

A notice regarding the subject site plan amendment was sent to all parties of record by the Applicant on November 4, 2013. The notice gave the interested parties 15 days to review and comment on the contents of the amended site plan. Staff did not receive any correspondence from the parties of record.


The proposed amendment is consistent with the provisions of Section 59-D-2.6 of the Montgomery County Zoning Ordinance for Minor Plan Amendments. The amendment does not alter the intent, objectives, or requirements expressed or imposed by the Planning Board for the originally approved site plan.

This Amendment shall remain valid as provided in Montgomery County Code § 59-D-3.8. The Applicant is responsible for submitting a new certified site plan reflecting the specific modifications after approval by the Director.

ACCEPTED & APPROVED BY:



Gwen Wright, Planning Director



Date Approved