



Westbard Sector Plan, Work Session #3

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Mark Wallis, Planner Coordinator, mark.wallis@montgomeryplanning.org, 301 650-4389

Scott Whipple, Supervisor, Historic Preservation, scott.whipple@montgomeryplanning.org 301.563.3402

Sandra Youla, Senior Planner/Historic Preservation, sandra.youla@montgomeryplanning.org, 301 563-3419

Completed: 11.24.15

Westbard Sector Plan, Work Session #3

Work session #3 will focus on parks, trails and open space recommendations as well as recommendations regarding cultural and historic resources and history of the Westbard Sector Plan. Staff will briefly describe the existing open space system, review the policy framework and rationale for these open space recommendations, and in response to the Board's request, staff will provide preliminary implementation information on the Willett Branch Urban Greenway. Staff will also go over details on the cultural and historic resources recommendations and how those recommendations are interconnected with other aspects of the plan.

The Sector Plan has made several recommendations regarding future amenities to be provided by both the private and public sectors. The landowners along Westbard Avenue and River Road have made requests regarding characteristics of these requested amenities and staff will address those requests.

DISCUSSION – PARKS, TRAILS, AND OPEN SPACES

Existing Westbard Open Space System, Policy Framework, and Recommendations

The existing open space system in the Westbard Sector Plan area consists of only two linear parks, Little Falls Stream Valley Unit 2 and the Capital Crescent Trail. Staff will outline the identified needs and opportunities for new open spaces and the policy framework for the open space recommendations in the plan. Vision 2030 (M-NCPPC, 2010), the Strategic Plan for Parks and Recreation in Montgomery County, the Parks, Recreation, and Open Space (PROS) Plan (M-NCPPC, 2012), and other state and county regulatory framework inform the open space recommendations in the Westbard Sector Plan. In the statistically valid survey performed as part of the Vision 2030 process county residents ranked spaces for community events and festivals as the second most important program and activity to add, expand and improve (PROS, page 52), and this supports staff's recommendation for a Central Civic Green. The urban parks hierarchy approved as part of PROS informs several recommendations in the Westbard Sector Plan, including a Neighborhood Green Urban Park and a Countywide Urban Recreational Park along the Capital Crescent Trail.

The existing parks, Little Falls Stream Valley Unit 2 and the regionally significant and highly popular Capital Crescent Trail, are linear corridors with recreational opportunities limited primarily to hiking, walking, running, and biking. The Sector Plan recommends new parks to create a more diversified open space system, with spaces that serve both local residents and a wider audience, while also providing mix of passive and active opportunities for spending time outdoors. Recommended new parks include a Central Civic Green at the Westwood Center to provide space for informal gathering, quiet contemplation, or larger special event gatherings; a Neighborhood Green Urban Park, with space for facilities such as a playground and community open space; and a Countywide Urban Recreational Park, which could include facilities such as a dog park and skate park, a pump track for cyclists, and adult fitness equipment. At the work session, Parks staff will review each park, trail, and open space recommendation in detail as well as the rationale for and purpose of these spaces.

The proposed Willett Branch Urban Greenway is a unique and exceptional open space recommendation in that it traverses the Sector Plan area. The recommendation features a naturalized stream, interpretive signage, and a hard surface trail loop offering users an alternative, quieter trail experience compared to the busy Capital Crescent Trail, which is a heavily used recreation and transportation corridor. Furthermore, it provides greatly needed pedestrian and bicycle linkages across the plan area and between the two existing linear parks. This recommendation is an opportunity to create new public space while simultaneously improving a long-impaired stream corridor. Given its direct connection to the Capital Crescent Trail, the Willett Branch Urban Greenway

is envisioned as a gem that will draw people from beyond the plan area.

Over the course of the Sector Plan process the Willett Branch Urban Greenway emerged as a key public amenity. The recommendation for naturalization of Willett Branch began as an environmental recommendation early in the planning process. Early draft language included specific recommendations for property owners in each district stating how redevelopment should tie into the overall vision of a naturalized stream corridor. Halfway through the Sector Plan process, before the Working Draft presentation to the Planning Board, the Parks Department agreed to take on the recommendation as a parks, trails, and open space recommendation. Implementation of the Willett Branch Greenway as a continuous open space corridor in the Sector Plan area is most likely to succeed under the control of one public entity, and as experts in stream valley naturalization and management, the Parks Department can provide consistent standards for design, naturalization, maintenance, and policing of the Greenway corridor.

Parks staff will respond to the Planning Board's request for additional details regarding implementation of the Willett Branch Urban Greenway recommendation. This analysis includes:

- the regulatory framework and policy guidance for the recommendation: The Economic Growth, Resource Protection, and Planning Act of 1992; Maryland Annotated Code Article 66B and the resultant Montgomery County Environmental Guidelines, approved by the Planning Board in 1992; Vision 2030 and PROS;
- the vision for the open space and its components, which is to create an accessible, walkable, ecologically improved and naturalized stream corridor;
- potential phasing, starting with the section of the stream between the Capital Crescent Trail south of River Road and running upstream to the Roof Center property;
- the acquisition strategy, which primarily consists of dedication and some direct purchase of property by M-NCPPC;
- preliminary analysis of the major actions required for the naturalization of the stream, including acquisition, construction of the naturalized stream and riparian areas, further research into cultural and historic resources, facility planning, park management, and ongoing non-native invasive species treatment; and
- preliminary cost estimates for developing the urban greenway with a hard surface trail, a naturalized stream, and facilities at the proposed Countywide Urban Recreational Park.

Legacy Open Space Recommendations

In order to promote livable communities with convenient access to parks, much of the new urban

parkland in the county will be created through the regulatory review process using traditional and innovative zoning tools, such as dedication or density transfers. However, a portion of new urban parkland will need to be purchased, in whole or part, using traditional acquisition methods through the Capital Improvement Program. The Legacy Open Space Program is one of the primary funding sources for land acquisition and includes an Urban Open Space resource category.

Legacy Open Space staff at the Parks Department has taken a second look at the proposed parks in the Bethesda Downtown Plan and Westbard Sector Plan to determine if any additional sites merit designation as LOS Urban Open Spaces. After analysis and review with the LOS Advisory Group, as well as staff in the Parks and Planning Departments, staff has identified three additional sites of countywide significance that should be designated as LOS Urban Open Spaces, resulting in a total of four LOS Urban Open Spaces in these two plans: the Eastern Capital Crescent Urban Greenway (Bethesda Downtown Plan); the Capital Crescent Central Civic Green (Bethesda Downtown Plan); the Willett Branch Urban Greenway Stream Valley Park (Westbard Sector Plan); and the Westbard Countywide Urban Recreational Park (Westbard Sector Plan). See the attached map for the locations of the four proposed LOS Urban Open Spaces.

The unifying theme for these four Urban Open Spaces is that they provide for a variety of types of green and recreational spaces along the County's most heavily used trail, the Capital Crescent Trail. The four sites include, in Westbard, an Urban Greenway and a Countywide Urban Recreational Park, and in Bethesda, an Urban Greenway and a Central Civic Green. These sites all meet the LOS criteria to increase access to open space and recreation in dense urban communities, to promote interconnectivity of the urban green infrastructure, and to provide community open space for casual use and large community gatherings. These park spaces adjacent to the Capital Crescent Trail clearly rise to the level of being "best of the best" open spaces in the entire County that deserve designation in Legacy Open Space and active efforts to implement as public parkland.

DISCUSSION – CULTURAL AND HISTORIC RESOURCES AS RELATED TO PROPOSED PARKLAND

Staff of the Parks Department and the Planning Department will outline ongoing cultural resource evaluations that aim to better understand community considerations, stewardship responsibilities, project scope, design issues, and the costs associated with M-NCPPC'S proposed Willett Branch Urban Greenway and stream naturalization project. Parks' protocol when undertaking construction in parkland is to conduct archaeological reconnaissance in areas of "high archaeological potential." One such area is Parcels 175 and 177, and possibly 238 and 240, along Willett Branch. The 1911 tax assessment recorded that Parcels 175 and 177, once a 1.04-acre single parcel owned by White's Tabernacle, were "used as grave yard." Oral history interviews confirm graves were there in the mid-20th century, including a few tombstones. Access was via Outlet Road from River Road. Historic Preservation Section staff found newspaper death notices for three people interred in a "Moses Cemetery," two in 1912 and one in 1935. The cemetery was identified as in "Friendship, Md." and "Friendship Heights, Md." This may be the River Road cemetery (a "Moses Cemetery" was known to exist at Gibson Grove on Seven Locks Road in Cabin John and there were several Moses Lodges).

Archaeological Protocol and Future Interpretation

The Maryland Historical Trust recommends investigating the existence of a cemetery as early as possible. The best time for such work is at the first regulatory approval stage, however cemetery delineation of an abandoned cemetery *is not required, unless* one or both of two events happens:

1. Federal or state funds or permits are required for the development project, which then begins the "Section 106 process" if a resource is National Register listed or eligible. (Note: A cemetery may be eligible if it derives its primary significance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events.)
2. There is the unexpected discovery of human remains.

The recommended investigation method is a geophysical survey to delineate a former cemetery. Mechanical soil removal to determine extent of any graves may follow. Depending on findings, a future park can incorporate a former burial ground or further action per state law may be required. The reconnaissance recommendation includes outreach to descendant communities, and comes even though the historical record is unclear as to number of burials and possible disinterment when the area was developed in the 1960s. In addition, Parks Department staff would work with community members to create and install historic interpretive signage throughout the sector's areas future parks, including history on the River Road African American community.

HISTORY OF WESTBARD

At the work session, Historic Preservation staff will review history-related recommendations and issues. Staff will also suggest certain textual and graphic revisions to ensure consistency throughout the plan and accuracy with the latest historical research, which is ongoing.

Discussion - History

History is addressed in the Westbard Sector Plan Public Hearing Draft in Section 2.6 History (pages 55 to 58) and in sidebars throughout the document (pages 2,3, 62, 68, 70, 71, 74, 76, 78, 80, and 82). The plan's major history objective is to make Westbard's largely unknown history more evident, in order to foster awareness and create community identity and sense of place.

Section 2.6 contains a history narrative and recommendations. Major recommendations include erecting historically oriented signage, markers and commemorative art; using locally significant building materials in new construction; and evaluating 20th century resources subsequent to plan adoption. Two new recommendations should be added to Section 2.6:

- Per the request of the Planning Board and Macedonia Baptist Church, retain street names associated historically with the area's African American community (Clipper and Dorsey Roads).

- Under bullet on historically-oriented signage, markers and commemorative art, add statement that public art must comply with Public Art Guidelines.

There are also corrections and revisions that should be made to the history text and graphics in the Westbard Sector Plan Public Hearing Draft, as noted in the History Corrections attachment, to ensure accuracy and consistency.

Finally, language will be drafted to ensure that the plan's vision and implementation sections reflect history goals and recommendations, including:

- Adding to Section 1.2.1 Vision that Westbard will be a community whose rich history is reflected in the built and natural environment through signage, art, use of locally significant building materials, and heritage preservation measures.
- Adding two priority benefits under 4.1.3 Other Priority Benefits in the CR and CRT Zones – 1) historically-oriented wayfinding, including interpretive signage and markers, and 2) historically-oriented public art – in keeping with the recommendation that these should be made a development priority as noted in 2.6.

CONCLUSION

During this work session, Parks Staff will focus on providing more information regarding preliminary Willett Branch Urban Greenway implementation analysis, and present and discuss cultural and historic resources, and general Westbard historical information in more detail.

In addition, Historic Preservation staff will focus briefly on reviewing history recommendations and revisions, providing additional information as requested.

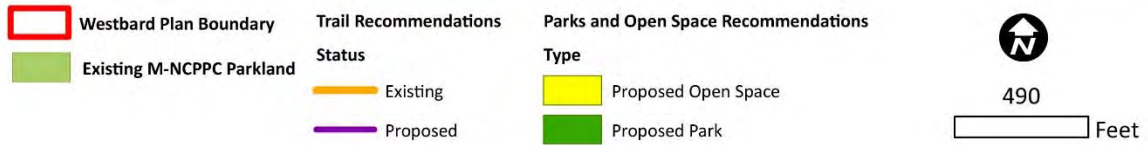
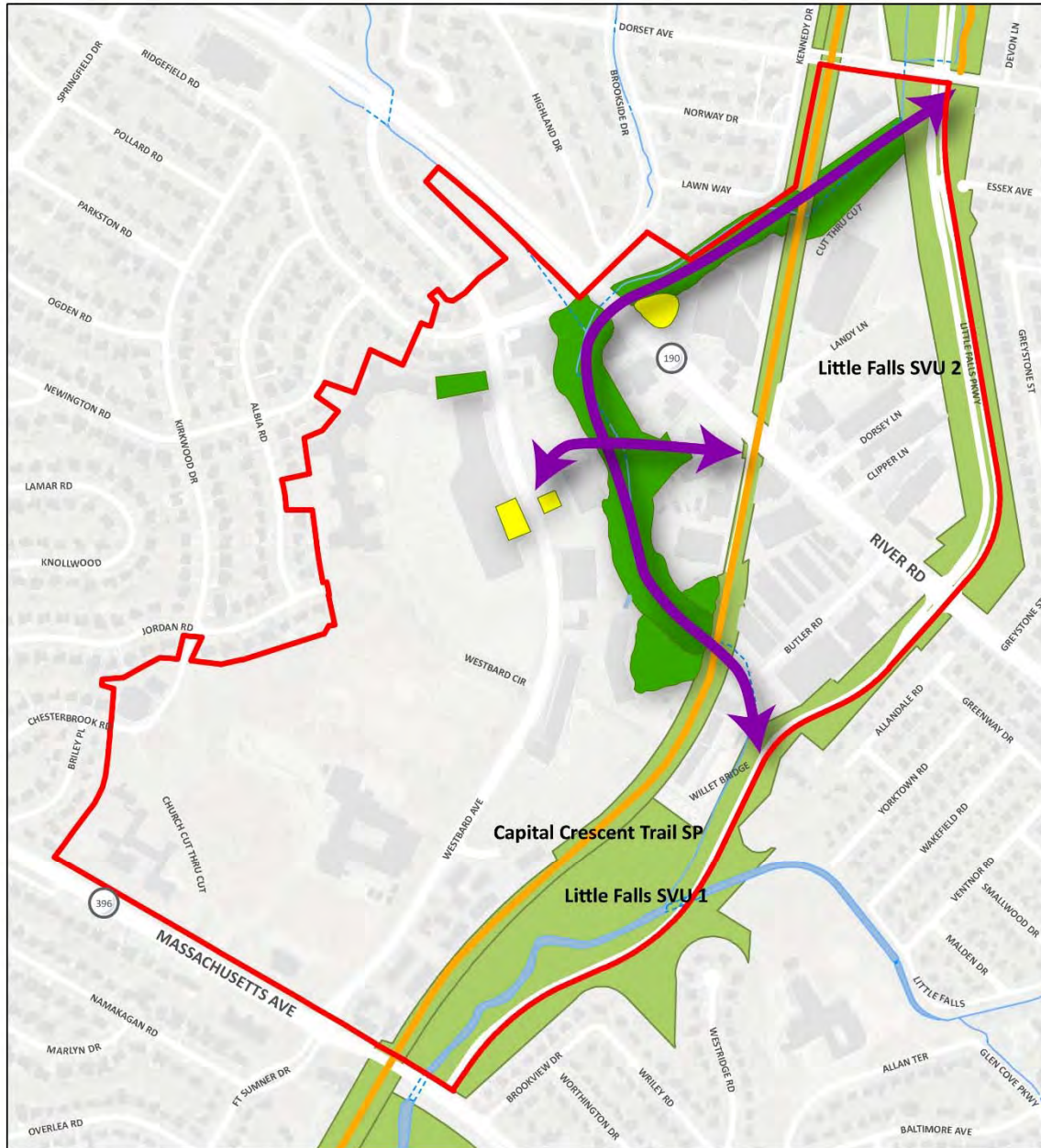
Attachment:

- Map showing existing and proposed parks, trails, and open spaces
- Map showing locations of the four proposed Legacy Open Space Urban Open Spaces
- Cultural and Historic Map 1: Parcels 175, 177, 238, and 240 as recorded in 1911, overlaid on a 2015 aerial
- Correspondence

Westbard Work Session #3 -- ATTACHMENTS

Map 1: Existing and proposed parks, trails, and open spaces

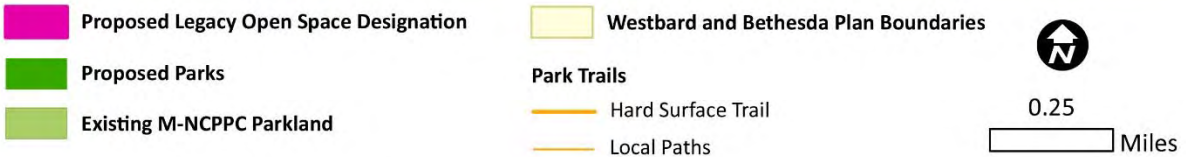
Parks, Trails, and Open Space Recommendations



Westbard Work Session #3 -- ATTACHMENTS

Map 2: Locations of the four proposed Legacy Open Space Urban Open Spaces.

Proposed Legacy Open Space Urban Designations in Westbard Sector and Bethesda Downtown Plans



Westbard Work Session #3 -- ATTACHMENTS

Map 3: Parcels 175, 177, 238, and 240 as recorded in 1911, overlaid on a 2015 aerial. Willett Branch originally ran along the east end of the parcel but by 1964, the branch, shown in blue, was shifted to the center of the parcel. Courtesy of M-NCPPC.



Streams

100 Feet
Map Compiled: 9/16/2015

Montgomery Planning Department
100 West North Street
Montgomery, AL 36102
Phone: 205-261-2000
Fax: 205-261-2001

MCP-CTRACK

RECEIVED
1202

NOV 18 2015

OFFICE OF THE CHAIRMAN
THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

From: Ellen Mulquin <emulquin@akllp.com>
Sent: Wednesday, November 18, 2015 10:02 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Ellen Mulquin
5308 Westpath Way
Bethesda, MD 20816

MCP-CTRACK

From: Frank B. <fsbaldino@lercheearly.com>
Sent: Wednesday, November 18, 2015 10:35 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

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Regards,
Frank B.
5025 Westpath Ter
Bethesda, MD 20816

MCP-CTRACK

From: Marta Castello-Branco <mcastellobranco56@verizon.net>
Sent: Wednesday, November 18, 2015 12:45 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Marta Castello-Branco

Warrenton, VA 20186

MCP-CTRACK

From: dorine riser <dorinesohn@hotmail.com>
Sent: Wednesday, November 18, 2015 2:45 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
councilmember.riemer@montgomerycountymd.gov;
councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley,
Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: dorinesohn@hotmail.com

Date: 11-18-2015

To: Montgomery County Council
Montgomery County Planning Board

RE: Please support a Westbard Plan that favors Westwood redevelopment

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: dorine riser
Address: 5622 lamar rd
City: bethesda
Zip: 20816

MCP-CTRACK

From: meredith walser <cwals429@gmail.com>
Sent: Wednesday, November 18, 2015 3:01 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
councilmember.riemer@montgomerycountymd.gov;
councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley,
Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: cwals429@gmail.com

Date: 11-18-2015

To: Montgomery County Council
Montgomery County Planning Board

RE: Please support a Westbard Plan that favors Westwood redevelopment

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: meredith walser
Address: 2 sangamore
City: bethesda
Zip: 20816

MCP-CTRACK

From: malcolm marshall <malcolmmarshall@gmail.com>
Sent: Wednesday, November 18, 2015 2:53 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
councilmember.riemer@montgomerycountymd.gov;
councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley,
Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: malcolmmarshall@gmail.com

Date: 11-18-2015

To: Montgomery County Council
Montgomery County Planning Board

RE: Please support a Westbard Plan that favors Westwood redevelopment

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: malcolm marshall
Address: 5415 blackistone rd
City: bethesda
Zip: 20816

MCP-CTRACK

From: clarr sanfunes <claresanfunes@gmail.com>
Sent: Wednesday, November 18, 2015 3:03 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
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county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley,
Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: claresanfunes@gmail.com

Date: 11-18-2015

To: Montgomery County Council
Montgomery County Planning Board

RE: Please support a Westbard Plan that favors Westwood redevelopment

Dear County Council and Planning Board,
I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: clarr sanfunes
Address: 7504 westfeild
City: bethesda
Zip: 20817

From: Dena hooks <Mhykingisallihave@gmail.com>
Sent: Wednesday, November 18, 2015 3:11 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
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councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley, Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

OFFICE OF THE CHAIRMAN
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Sent from: Mhykingisallihave@gmail.com
Date: 11-18-2015

To: Montgomery County Council
Montgomery County Planning Board

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Name: Dena hooks
Address: 2126 4th street apt 11
City: Washington dc
Zip: 20001

MCP-CTRACK

From: Carolyn Garmise <louistf@verizon.net>
Sent: Wednesday, November 18, 2015 3:27 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Carolyn Garmise
5305 Westpath Way
Bethesda, MD 20816

MCP-CTRACK

From: Frank Toohey <f2e@verizon.net>
Sent: Wednesday, November 18, 2015 3:48 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

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Regards,
Frank Toohey
5136 Scarsdale Rd
Bethesda, MD 20816

MCP-CTRACK

From: Joe sansalone <Sansalonejo23@hotmail.com>
Sent: Wednesday, November 18, 2015 3:48 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
councilmember.riemer@montgomerycountymd.gov;
councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley, Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: Sansalonejo23@hotmail.com

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Montgomery County Planning Board

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Name: Joe sansalone
Address: 5807 ogden court
City: Bethesda
Zip: 20816

MCP-CTRACK

From: Terry Ruby <88wellcraft@gmail.com>
Sent: Wednesday, November 18, 2015 3:56 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
councilmember.riemer@montgomerycountymd.gov;
councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley, Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: 88wellcraft@gmail.com

Date: 11-18-2015

To: Montgomery County Council
Montgomery County Planning Board

RE: Please support a Westbard Plan that favors Westwood redevelopment

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Terry Ruby
Address: 6425 rockfest dr
City: bethesda
Zip: 20817

MCP-CTRACK

From: pamela stepp <pampamstepp@gmail.com>
Sent: Wednesday, November 18, 2015 4:14 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
councilmember.riemer@montgomerycountymd.gov;
councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley, Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: pampamstepp@gmail.com

Date: 11-18-2015

To: Montgomery County Council
Montgomery County Planning Board

RE: Please support a Westbard Plan that favors Westwood redevelopment

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: pamela stepp
Address: 4903 edgemere lane
City: bethesda
Zip: 20814

MCP-CTRACK

From: George Hnatiw <ghnatiw@verizon.net>
Sent: Wednesday, November 18, 2015 4:19 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
George Hnatiw
5312 Westpath Way
Bethesda, MD 20816

MCP-CTRACK

From: John Orlando <johnorlando@outlook.com>
Sent: Wednesday, November 18, 2015 4:42 PM
To: councilmember.Riemer@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.berliner@montgomerycountymd.gov; MCP-Chair
Subject: Westbard Sector Plan
Attachments: SCA Letter to Planning Dept re Zoning and Land Use 18-Nov-2015.pdf

Attached is a letter that you have previously received from the Springfield Civic Association. I am in full agreement with the concerns raised in the communication and ask that serious and more thoughtful consideration be to the issues raised. These are not issues that should be taken lightly or dismissed. Thousand of residents could be negatively impacted by your decision.

A decrease in the height and density is essential for the rezoning that is being considered. Residents purchased their homes with the expectations that the current zoning is what is appropriate for the neighborhood. All change's should be considered wit that in mind.

Thank you.

John Orlando
5965 Searl Terrace
Bethesda, MD 20816

P.O. Box 644
Bethesda, MD 20812
November 18, 2015

Mr. Casey Anderson, Chair, and
Members of the Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

Re: Position of the Springfield Community on Land Use and Zoning within the draft Westbard Sector Plan

Dear Chairman Anderson and Members of the Planning Board:

On behalf of the Springfield community, I would like to thank all of you and the Planning Board staff for all the work you have done thus far on the draft Westbard Sector Plan. In particular, we thank you for listening to and taking into consideration what the Springfield community members have been saying and writing to you as you review this draft. As a community on the border of the Westbard Sector, we have a deep interest in how this area will develop and we appreciate being part of the process in envisioning its redevelopment.

Given our commitment to our community and Westbard, as the Planning Board considers the zoning and land use within the Westbard Sector, **we are reiterating our three priorities in the redevelopment of the area:**

1. **Low density.** Except for a few higher density apartment buildings, the buildings within the Westbard sector and in the surrounding communities – most of which are single-family homes – are all low density. Rather than increasing the Westbard sector by an additional 2,000 residential units, an increase of 750 units for both Westbard Avenue and River Road would be more appropriate. We do not want to see the eastern side of Westbard Avenue becoming “the Great Wall of Westbard” with all tall buildings. Buildings no higher than 50 feet would fit within the Westbard Sector and the surrounding neighborhoods.

Westbard is a village where residents who live in communities along River Road from beyond the Beltway to those who live within D.C. along Massachusetts Avenue, come to run errands, such as buying gas and having their cars repaired, do their grocery shopping, bank, drop off dry cleaning and rely on businesses such as caterers, lawn and garden centers, roof repairs etc., that are in our commercial and light industrial areas. Westbard is THE primary service area for many, many communities surrounding it. We value this village atmosphere.

It would be out of character if Westbard were to be made into a mid- or high-rise town center like Friendship Heights or downtown Bethesda as Westbard offers limited employment opportunities compared to these other town centers. The density and height of buildings recommended for the Westbard Sector plan is more in keeping with a Central Business District like Friendship Heights or downtown Bethesda.

2. **School overcrowding in our already overcrowded Whitman Cluster schools.** The demographics you have received from the Montgomery County Public Schools may be reassuring to you that our cluster schools will be able to accommodate the increased number of schoolchildren mid- and high-rise buildings will generate. However, I reiterate from my earlier letters, over the course of the last 14 years, Springfield and our neighboring communities have generally been correct in our estimates of school projections, while MCPS has often underestimated. We hope you will review the analysis you received from the Whitman PTA cluster representatives and take their numbers into serious consideration when determining appropriate rezoning along Westbard Avenue, which is currently within the Whitman Cluster.

3. **The amelioration of Traffic and Transportation Issues.** Although the transportation planners' analyses indicate that traffic along River Road, Westbard Avenue and Massachusetts Avenue flow generally well, we drive along these roads at all times of day and night. We know the choke points – River Road at Little Falls Parkway and Ridgefield Road; Westbard Avenue and Massachusetts Avenue; and Massachusetts Avenue at Little Falls Parkway. We have all been stuck at those intersections during weekends as well as weekdays and not just during rush hours.

The transportation planners have also said that public transit is sufficient as long as Equity One and Park Bethesda provide private transit to the Friendship Heights Metro station. By allowing private transit, the Planning department transportation planners are saying that public transit is exactly what many of our communities have been saying – it is insufficient. Allowing the developers to provide private transit does not help our communities, which would like to see improved public transit that is more reliable and efficient. The more people who ride public transit to get to the Metro, the more we can raise WMATA and Ride-On's awareness to the need for better public transit in all the communities surrounding the Westbard Sector.

In Addendum I, I am attaching the Springfield community's recommendations for zoning of each of the parcels within the Westbard Avenue District. In addition, we have zoning concerns about parcels in several of the other districts delineated in the draft Sector Plan.

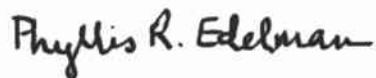
Mr. Anderson & Members of the Planning Board
November 18, 2015

The Springfield Civic Association supports the following recommendations within the draft Sector Plan:

- **The redirection of the northern end of Westbard Avenue so that it directly flows into River Road.** We feel that this realignment, which Equity One has told the Springfield Civic Association board it will pay for, will prevent some cut-through traffic within the Springfield and Wood Acres neighborhoods; direct auto traffic directly into the Westbard Avenue commercial area; and prevent back-ups that normally occur between River Road and Westbard Avenue along Ridgefield Road during peak shopping times and especially during weekends.
- **The naturalization of the Willett Branch from the Westwood II site to the Capital Crescent Trail within the South River District.** The Capital Crescent Trail (CCT) is an invaluable asset to the Westbard community and for those of us immediately surrounding the Westbard sector. With additional residential units proposed along and near the Willett Branch stream, this could become the “backyard” for these new residents as well as a public amenity for the community at large. Clean-up of the Willett branch and naturalization of part of the stream would also aid in decreasing pollution within the Potomac River and ultimately in the Chesapeake Bay.

As the neighborhood with the longest boundary with the Westbard Sector, we have given considerable thought to balancing the needs of the community with the needs of the developer and the county. Like the Planning Board and the County Council, we want the Westbard Sector Plan to set the groundwork for the redevelopment of a tired commercial and retail area. We want the redevelopment of Westbard to be a mixed use area that will be in and of itself an outstanding area in which to live and shop, but will also significantly enhance, not detract from, the quality of life for those of us in the single-family home communities that surround it.

Sincerely,



Phyllis R. Edelman
Pres., Springfield Civic Association

Addendum I
Zone Recommendations from the Springfield Civic Association
for Individual Parcels Listed in the August 15, 2015 draft Westbard Sector Plan

WESTBARD AVENUE DISTRICT

All parcel numbers refer to parcels noted on page 63, Figure 3.1.1 of the August 2015 draft Westbard Sector Plan.

Parcels 1 and 2 – (Also called Parcels 235 and 360 -- Giant site). -- Support of CRT 2.0 on Parcel 1 with height (Ht) of 50'. At the southern end of site 2, (Part of Parcel 360 and 235) support of 50' instead of 75' Ht.

Parcel 3 – (Parcel A, former Manor Care site.) This parcel should not be zoned as CRT but as a townhouse zone with a height no greater than 35'. It is directly next to a single family home and there are 20 homes on this Westbard Avenue block that are single-family homes, all part of the Springfield community. Townhouse zoning will protect the residential nature of that entire block. In addition, there should be no commercial establishments in the zoning provided for this parcel. If the intention of this sector plan is to protect Montgomery County's valued single-family home developments, then zoning this parcel, which is on the fringe of an R-60 neighborhood as townhouses with no commercial establishments will do that.

Parcel 4 (Westwood II site. Southern part of Parcel A). If, as has been indicated within the draft Sector Plan Westbard Avenue will be redirected, this parcel will be extremely small, especially since it backs up to the Willett Branch and much of the property will be within the 100 foot stream bed. The draft recommends a CRT 1.5 with a HT of 50'. Springfield supports this provided any structure on this parcel allows for naturalization of the stream in that area.

Parcel 5 [Parcels 143, 175, 238, 240. This includes parking for Westwood Towers (HOC/Westwood Towers building) behind American Plant and the Roof Center, and the parking in front of the HOC building.] Instead of a CRT with a 75' height, these buildings should be CRT with a 50' height. We have heard that these buildings may include up to 140-150 MPDUs or affordable housing. We are concerned about density in this area, particularly as it relates to the possibility of increasing overcrowding in our already overcrowded Whitman cluster schools. Therefore, we would like lower buildings and less overall density and we recommend that these units be designated for senior housing. Senior housing will not add to the burden on our already overcrowded schools. In addition, since the Westbard area has a senior population that is double the percentage of seniors in Montgomery County as a whole, this will address a housing need within our area.

Parcel 6 (Parcels 303, 357, Citgo Service Station, Bowlmor site.) The sector plan suggests a height of 75'. Again, because of Springfield's concern with overall density in our area, our already overcrowded schools and traffic intersections, a height of 50' would be more in keeping with the overall neighborhood.

Parcel 7 (Parcels 466, 576, 519, 510 and 401 – Park Bethesda Building). The Planning Board has proposed a CRT zone with a height of 50' for this parcel. Along the southern end of this parcel it would be more appropriate for 35' and a townhouse zone. The topography of the parcel is 20 feet higher than the abutting townhouses on Crown St. Given that extra 20', a CRT zone of 50' will have buildings that are significantly taller than the adjacent townhouses. On other parts of the property, further away from the existing townhomes, a CRT designation with 50' is appropriate.

RIVER ROAD CORRIDOR

All parcel numbers refer to parcels noted on page 69, Figure 3.2.1 of the August 2015 draft Westbard Sector Plan.

Parcel 2 (Parcel 029, Whole Foods). Although currently commercial, this site is directly adjacent to single-family homes in Kenwood on one side, and townhouse homes on the other side (by the Whole Foods parking lot). Again, if the sector plan is to protect our single-family home neighborhoods, this parcel should not be CRT 3.0 with a height of 75', which is wholly incompatible with single-family homes. This parcel should be rezoned for townhouse units with a maximum height of 35'. In addition, since this property borders on Willett Branch, at least this side of the property could allow for the naturalization of the stream bed.

Parcel 3 (Parcel 002 – Storage Facility) – This parcel is directly adjacent to homes on Lawn Way within the Kenwood community. In the draft Sector Plan it has been recommended that this parcel be zoned CRT with a 50' height. As another "fringe" area, directly adjacent to single family homes, this is an inappropriate zone if this property should ever be redeveloped. It would be more in keeping with the single-family home neighborhood if this was rezoned for townhomes with a height of 35' maximum.

NORTH RIVER DISTRICT

All parcel numbers refer to parcels noted on page 75, Figure 3.3.1 of the August 2015 draft Westbard Sector Plan

Parcel 1 (Parcel 050 and 103, Washington Episcopal School). The draft sector plan has recommended that the Washington Episcopal School (WES) zone be changed from PD-28 to a CRT zone. Our understanding is that WES does not plan to move in the near future, however, if the school were to move, it should be given an appropriate zone such that Montgomery County Public Schools could consider buying the property for a future public school site. We all know that property in the down county area that is large enough for a public school is scarce. With all the proposed building that will result in the Westbard area within the next 5-15 years, having an additional property for a school – especially a site that is already a school – should be preserved by the Planning Board.

Mr. Anderson & Members of the Planning Board
November 18, 2015

SOUTH RIVER DISTRICT

See parcels described on page 79, Figure 3.4.1 of the draft Westbard Sector Plan

Maintain the Moderate Industrial (IM) zone for properties adjacent to the Willett Branch and the Capital Crescent Trail (CCT) (parcels 191, 242, 243, 244, 245, 296 on page 81). The CCT is currently a very heavily used recreational trail and, to a lesser extent, a bicycle commuter trail. Naturalizing the Willett Branch stream would be an additional public amenity that would be a valuable asset to all Westbard communities.

MCP-CTRACK

From: Julie Nickel <julie@nicknet.tv>
Sent: Wednesday, November 18, 2015 5:34 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Julie Nickel
4601 Cooper Ln
Bethesda, MD 20816

MCP-CTRACK

From: Rebecca dils <Dils.rebecca@epa.gov>
Sent: Wednesday, November 18, 2015 5:54 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
councilmember.riemer@montgomerycountymd.gov;
councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley, Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: Dils.rebecca@epa.gov

Date: 11-18-2015

To: Montgomery County Council
Montgomery County Planning Board

RE: Please support a Westbard Plan that favors Westwood redevelopment

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Rebecca dils
Address: 7403 west halbert
City: Bethesda
Zip: 20817

MCP-CTRACK

From: Vincent DeSomma <klkvds@verizon.net>
Sent: Wednesday, November 18, 2015 6:28 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Vincent DeSomma
5126 Waukesha Rd
Bethesda, MD 20816

MCP-CTRACK

From: Liesl Nottingham <lk.nottingham@gmail.com>
Sent: Wednesday, November 18, 2015 6:34 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Liesl Nottingham
5101 River Rd, #505
Bethesda, MD 20816

MCP-CTRACK

From: Jean Waye <jeanwaye@verizon.net>
Sent: Wednesday, November 18, 2015 6:59 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Jean Waye
6200 Cromwell Dr
Bethesda, MD 20816

MCP-CTRACK

From: Dan neher <Neherde@gmail.com>
Sent: Wednesday, November 18, 2015 7:11 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
councilmember.riemer@montgomerycountymd.gov;
councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley, Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: Neherde@gmail.com
Date: 11-19-2015

To: Montgomery County Council
Montgomery County Planning Board

RE: Please support a Westbard Plan that favors Westwood redevelopment

Dear County Council and Planning Board,
I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Dan neher
Address: 6413 marjory lane
City: Bethesda
Zip: 20817

MCP-CTRACK

From: Nancy soreng <Nsoreng@comcast.net>
Sent: Wednesday, November 18, 2015 7:15 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
councilmember.riemer@montgomerycountymd.gov;
councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley, Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: Nsoreng@comcast.net

Date: 11-19-2015

To: Montgomery County Council
Montgomery County Planning Board

RE: Please support a Westbard Plan that favors Westwood redevelopment

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Nancy soreng
Address: 5506 uppingham
City: Chevy chase
Zip: 20815

MCP-CTRACK

From: Ellen gilhool <Lngil@verizon.net>
Sent: Wednesday, November 18, 2015 7:14 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
councilmember.riemer@montgomerycountymd.gov;
councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley, Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: Lngil@verizon.net
Date: 11-19-2015

To: Montgomery County Council
Montgomery County Planning Board

RE: Please support a Westbard Plan that favors Westwood redevelopment

Dear County Council and Planning Board,
I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Ellen gilhool
Address: 5615 Jordan Road
City: Bethesda
Zip: 20816

MCP-CTRACK

From: Peter zakutansky <Peter.zakutansky@montgomerycollege.edu>
Sent: Wednesday, November 18, 2015 7:17 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
councilmember.riemer@montgomerycountymd.gov;
councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley,
Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: Peter.zakutansky@montgomerycollege.edu
Date: 11-19-2015

To: Montgomery County Council
Montgomery County Planning Board

RE: Please support a Westbard Plan that favors Westwood redevelopment

Dear County Council and Planning Board,
I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Peter zakutansky
Address: 2331Cathedral avenue NW
City: Washington dc
Zip: 20008

MCP-CTRACK

From: Matt kuipers <Kuipersmj@gmail.com>
Sent: Wednesday, November 18, 2015 7:19 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
councilmember.riemer@montgomerycountymd.gov;
councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley,
Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: Kuipersmj@gmail.com
Date: 11-19-2015

To: Montgomery County Council
Montgomery County Planning Board

RE: Please support a Westbard Plan that favors Westwood redevelopment

Dear County Council and Planning Board,
I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

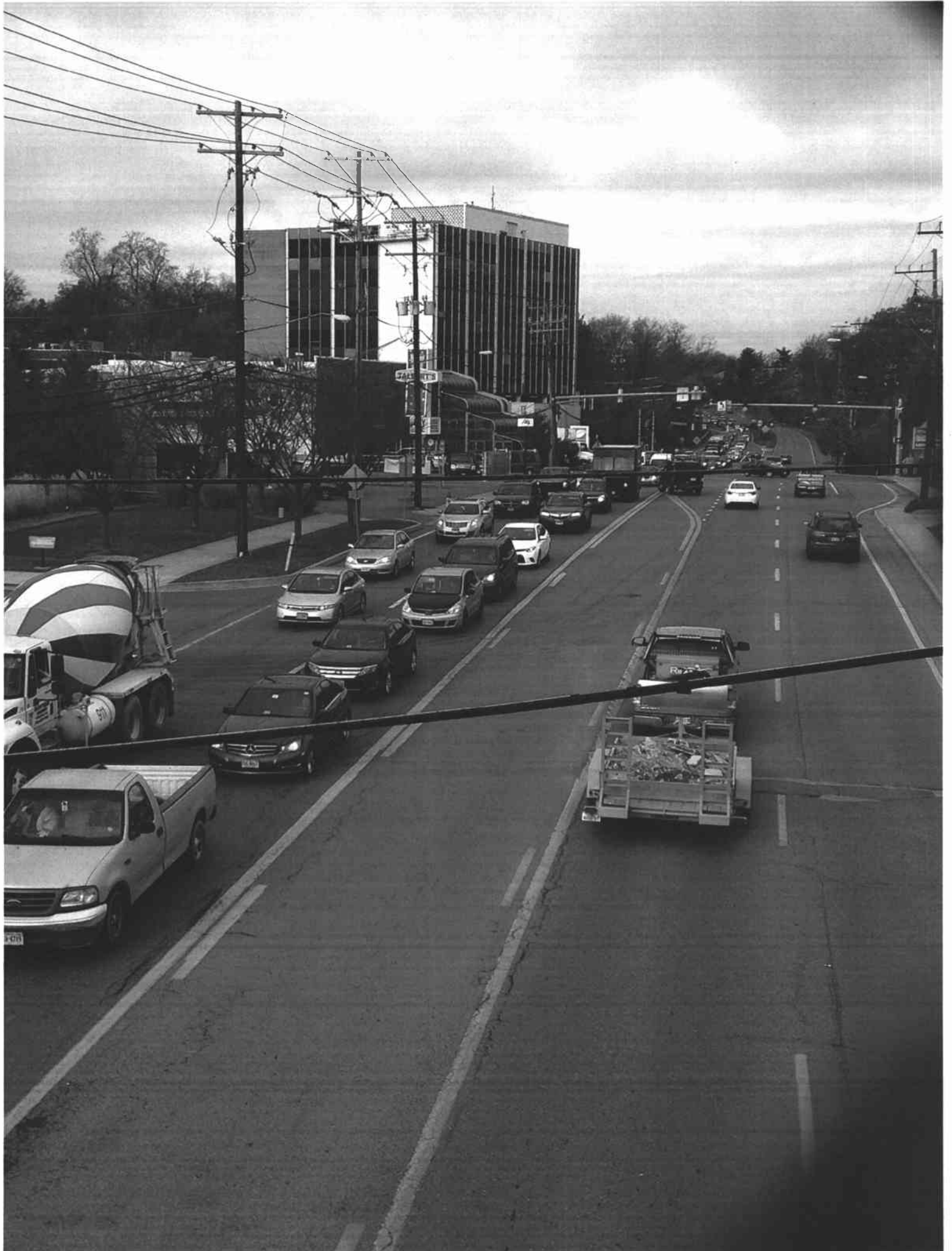
Name: Matt kuipers
Address: 6155 winwood road
City: Bethesda
Zip: 20816

MCP-CTRACK

From: Margie Eulner Ott <smbpott@aol.com>
Sent: Wednesday, November 18, 2015 7:19 PM
To: MCP-Chair
Subject: Westbard Development
Attachments: IMG_6196.jpg

I am writing to urge you to reduce the heights and density from the current Westbard plan. The road and transit infrastructure does not exist and is not planned to improve. Please see attached - River Road DC bound at Ridgefield, backed up from DC line to Goldsboro Road - 9:41 am Wednesday, November 18. If traffic is this bad before this development, it will just worsen with the planned density, since everyone will use cars due to lack of transit infrastructure.

Margie Eulner Ott
smbpott@aol.com



MCP-CTRACK

From: MARY CONNELL <marcconnell95@gmail.com>
Sent: Wednesday, November 18, 2015 7:22 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
MARY CONNELL
4900 Jamestown Rd
Bethesda, MD 20816

MCP-CTRACK

From: Geoffrey smith <Counteencullen@gmail.com>
Sent: Wednesday, November 18, 2015 7:20 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
councilmember.riemer@montgomerycountymd.gov;
councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley, Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: Counteencullen@gmail.com

Date: 11-19-2015

To: Montgomery County Council
Montgomery County Planning Board

RE: Please support a Westbard Plan that favors Westwood redevelopment

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Geoffrey smith

City: Bethesda

Zip: 20817

MCP-CTRACK

From: Noelle McHugh <noellesmchugh@gmail.com>
Sent: Wednesday, November 18, 2015 8:34 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Noelle McHugh
5229 Westpath Way
Bethesda, MD 20816

MCP-CTRACK

From: Bernadette Burns <bburns1158@verizon.net>
Sent: Wednesday, November 18, 2015 8:54 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Bernadette Burns
5102 Brookview Dr
Bethesda, MD 20816

MCP-CTRACK

From: Pyper Davis <pdavis@alumni.princeton.edu>
Sent: Wednesday, November 18, 2015 8:55 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Pyper Davis
5007 Wapakoneta Rd
Bethesda, MD 20816

MCP-CTRACK

From: hilary klein <hilarynk@gmail.com>
Sent: Wednesday, November 18, 2015 9:09 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
hilary klein
5208 Belvoir Dr
Bethesda, MD 20816

MCP-CTRACK

From: Rebecca Goldman <voorthuisgoldman@mac.com>
Sent: Wednesday, November 18, 2015 9:10 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Rebecca Goldman
5700 Harwick Rd
Bethesda, MD 20816

MCP-CTRACK

From: Xin Chen <xinchen1938@gmail.com>
Sent: Wednesday, November 18, 2015 9:11 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Xin Chen
5907 Carlton Ln
Bethesda, MD 20816

MCP-CTRACK

From: Leticia Santos <lsantos4900@gmail.com>
Sent: Wednesday, November 18, 2015 9:19 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Leticia Santos
4900 Brookeway Dr
Bethesda, MD 20816

MCP-CTRACK

From: Nicky Goraya <nkgoraya@gmail.com>
Sent: Wednesday, November 18, 2015 9:22 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Nicky Goraya
5213 Belvoir Dr
Bethesda, MD 20816

MCP-CTRACK

From: Karen Edwards <kkedwards@comcast.net>
Sent: Wednesday, November 18, 2015 9:36 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Karen Edwards
5215 Marlyn Dr
Bethesda, MD 20816

MCP-CTRACK

From: Jay Sommerkamp <jsommerkamp@gmail.com240-463-6541>
Sent: Wednesday, November 18, 2015 9:48 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Jay Sommerkamp
4813 Fort Sumner Dr
Bethesda, MD 20816

MCP-CTRACK

From: adreene@aol.com
Sent: Wednesday, November 18, 2015 10:05 PM
To: MCP-Chair; county.council@montgomerycountymd.gov;
ike.leggett@montgomerycountymd.gov; oicemail@montgomerycountymd.gov
Subject: Support of the Renovation of the Willett Branch in the Westbard Sector

5521 Westbard Ave
Bethesda, MD 20816

November 18, 2015

TO WHOM IT MAY CONCERN:

I support a revised Westbard Sector Plan that includes a renovated Willett Branch.

The current state of this creek is shameful. The walls are covered in graffiti and the banks are lined with trash. It winds behind buildings where it is out of sight and out of mind. But it doesn't have to be that way. The environmental planners have come up with an innovative design that makes the creek an amenity for the area – a place where people can walk, enjoy nature and congregate. A renovated Willett Branch will make the Westbard Sector a show place for the County.

Moving forward, we need open space for the residents of the Westbard sector to enjoy the beautiful natural area that the Little Falls watershed has to offer.

Please vote to support a Master Plan that includes a renovated Willet Branch as a major environmental component.

Sincerely,

Adrienne Chen-Young

MCP-CTRACK

From: Susanna Gebhard <susannagebhard@hotmail.com>
Sent: Wednesday, November 18, 2015 10:23 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Susanna Gebhard
5922 Overlea Rd
Bethesda, MD 20816

MCP-CTRACK

From: John Lowe <johnlowe@johhlowepc.com>
Sent: Wednesday, November 18, 2015 10:35 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
John Lowe
5920 Searl Ter
Bethesda, MD 20816

MCP-CTRACK

From: Diana voorthuis <dvoorthuis@gmail.com>
Sent: Wednesday, November 18, 2015 10:41 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Diana voorthuis
5701 Bent Branch Rd
Bethesda, MD 20816

MCP-CTRACK

From: Laurie Keller <lauriefkeller@gmail.com>
Sent: Wednesday, November 18, 2015 11:08 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Laurie Keller
5806 Namakagan Rd
Bethesda, MD 20816

MCP-CTRACK

From: ann Humphrey <aghumphrey@gmail.com>
Sent: Wednesday, November 18, 2015 11:11 PM
To: MCP-Chair
Subject: Westbard Sector Plan

I am writing to express opposition to a density in the new Westbard Sector Plan than any greater than "suburban" and to urge height limits of four stories along River Road and the Westbard area. This is a suburban area -- not an urban one. It is not a realistically walkable distance from Metro and should not be assigned the level of density that goes with Metro development.

While some more development is inevitable, please realize that this area is suburban. With the large number of single family homes surrounding the small commercial portion of the area, it will remain suburban for the foreseeable future. Please listen to the community.

Ann Humphrey
5009 Rockmere Court
Bethesda, MD 20816

MCP-CTRACK

From: Elise Yousoufian <youbratt@verizon.net>
Sent: Wednesday, November 18, 2015 11:13 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Elise Yousoufian
5304 Augusta St
Bethesda, MD 20816

From: Tyler Whitmore <whitmore11@verizon.net>
Sent: Thursday, November 19, 2015 12:09 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

OFFICE OF THE CHAIRMAN
THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Tyler Whitmore
5311 Augusta St
Bethesda, MD 20816

MCP-CTRACK

From: Ann Gallagher <agm@saltywaters.org>
Sent: Thursday, November 19, 2015 6:51 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Ann Gallagher
5906 Cobalt Rd
Bethesda, MD 20816

MCP-CTRACK

From: Catherine Robinson <Barbara@revdel.com>
Sent: Thursday, November 19, 2015 7:15 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Catherine Robinson
5805 Cleves Ln
Bethesda, MD 20816

MCP-CTRACK

From: Amala Alag <amala.alag@gmail.com>
Sent: Thursday, November 19, 2015 7:22 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Amala Alag
5312 Carlton St
Bethesda, MD 20816

MCP-CTRACK

From: Francesca Grifo <francescatgrifo@gmail.com>
Sent: Thursday, November 19, 2015 7:39 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Francesca Grifo
5307 Carlton St
Bethesda, MD 20816

MCP-CTRACK

From: Rita Rolph <ritausa01@hotmail.com>
Sent: Thursday, November 19, 2015 7:43 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Rita Rolph
5100 Wapakoneta Rd
Bethesda, MD 20816

MCP-CTRACK

From: Alison Fox <ajfox@alum.mit.edu>
Sent: Thursday, November 19, 2015 8:29 AM
To: MCP-Chair
Cc: councilmember.berliner@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.Riemer@montgomerycountymd.gov;
county.council@montgomerycountymd.gov
Subject: Vehement Opposition to Unsupported and Unsustainable Growth

Dear Planning Board Members:

Like ALL of our neighbors, we vehemently oppose the plans at Westbard for irresponsible and unmanageable growth. While we support smart growth for the Westbard area, the current proposal requires infrastructure that DOES NOT EXIST! The current and future plans provide insufficient facilities and infrastructure to support the growth currently under consideration. This plan, pushed by a developer that will not be affected by the results, goes against everything Montgomery County purports to support by overcrowding our schools, our roads, and ultimately creating an environment that makes small, local stores nonviable.

All Board Members must support the following:

- **Growth limits of all buildings to 50 feet**
- **Growth limits of new residential units built to 1,100.**

The Board has a responsibility to local citizens. In a community that rarely agrees on anything, we are unified in our opposition to irresponsible growth - not all growth. We support smart growth that takes into account the realities of the area - which does not have a metro station nearby or the roads to handle the significant and irresponsible growth proposed by EquityOne and being entertained by the Board. Please support responsible, smart (and this case that means reasonable) growth!

Sincerely,

Alison and Harold Fox
4905 Scarsdale Rd
Bethesda, MD

MCP-CTRACK

From: barry kozak <bzrdhd@hotmail.com>
Sent: Thursday, November 19, 2015 8:44 AM
To: MCP-Chair
Subject: Keep Westbard and its Surroundings Livable

I am a long-time resident of Sumner, one of the oldest developments of single-family homes in the Washington area. It is a tremendous place to live, but the quality of life that its residents enjoy is in jeopardy because of the plan to overdevelop Westbard. I strongly support the recommendations recently sent to the Planning Board by the Springfield Civic Association (<https://docs.google.com/viewer?a=v&pid=sites&srcid=ZGVmYXVsdGRvbWFpbmxczcHJpbmdmaWVsZHZhdYnXneDoxNmYxYmY4ODQ0NWJiMzdk>). I also share the same concerns. If you allow Westbard to be overdeveloped, there is no turning back. The Massachusetts Avenue and River Road corridors cannot support the transformation of Westbard into an urban environment. Traffic is barely tolerable as it is-- public transportation in the area is negligible-- and the proposed private transportation initiatives will not compensate for the lack of an effective public transportation network. A distended Westbard will ruin the quality of life that has made the surrounding area a great place to raise a family. It will not improve our roads, Ride-on, or WMATA; it will not provide our children with bigger and better neighborhood schools; and it will not help the many small businesses that have served the community for many years.

I urge you to permit Westbard and the surrounding areas to retain their uniquely suburban character. The last thing we residents need is to become another McCity.

Sincerely,
Barry Kozak
5017 Fort Sumner Drive
Bethesda, MD 20816

MCP-CTRACK

From: Barbara Tatge <bltatge@verizon.net>
Sent: Thursday, November 19, 2015 8:47 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Barbara Tatge
5313 Sangamore Rd
Bethesda, MD 20816

MCP-CTRACK

From: Kelly Alderson <aldersonkelly@hotmail.com>
Sent: Thursday, November 19, 2015 9:04 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Kelly Alderson
5002 Fort Sumner Dr
Bethesda, MD 20816

MCP-CTRACK

From: Douglas Cobb <dcobb345@gmail.com>
Sent: Thursday, November 19, 2015 9:06 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Douglas Cobb
5716 Massachusetts Ave
Bethesda, MD 20816

MCP-CTRACK

From: Julie Lane <jwlane@bigfoot.com>
Sent: Thursday, November 19, 2015 9:32 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Julie Lane
5205 Westpath Way
Bethesda, MD 20816

MCP-CTRACK

From: Jesse Travis <jesetravis@gmail.com>
Sent: Thursday, November 19, 2015 9:40 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Jesse Travis
5621 Namakagan Rd
Bethesda, MD 20816

MCP-CTRACK

From: Joanne Hellyer <jmkhelo2@verizon.net>
Sent: Thursday, November 19, 2015 9:53 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Joanne Hellyer
5914 Madawaska Rd
Bethesda, MD 20816

MCP-CTRACK

From: predelman@gmail.com
Sent: Thursday, November 19, 2015 10:02 AM
To: MCP-CR
Subject: Fwd: Westbard Realignment

Sent from my iPhone

Begin forwarded message:

From: predelman@gmail.com
Date: November 19, 2015 at 10:00:28 AM EST
To: John Marcolin <John.Marcolin@montgomeryplanning.org>
Subject: Westbard Realignment

If Westbard is not realigned there will be more cut through traffic in Springfield. Cars come down Ridgefield to Westbard and turn left onto Westbard to get to Mass. That's one reason for redirection. We want traffic coming from River to go directly into commercial area.

Phyllis

Sent from my iPhone

MCP-CTRACK

From: Dr. Sheldon <sheldon@gwu.edu>
Sent: Thursday, November 19, 2015 10:02 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Dr. Sheldon
5915 Overlea Rd
Bethesda, MD 20816

MCP-CTRACK

From: Laura FitzRandolph <lfitzrandolph@gmail.com>
Sent: Thursday, November 19, 2015 10:13 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Laura FitzRandolph
5241 Westpath Way
Bethesda, MD 20816

MCP-CTRACK

From: Clifford Rones <cliffrones@verizon.net>
Sent: Thursday, November 19, 2015 10:26 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Clifford Rones
5210 Augusta St
Bethesda, MD 20816

MCP-CTRACK

From: Lynn Gallagher <lynn.t.gallagher@gmail.com>
Sent: Thursday, November 19, 2015 10:38 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Lynn Gallagher
5710 Gloster Rd
Bethesda, MD 20816

MCP-CTRACK

From: Mary Sue Johnson <johnson.marysue@gmail.com>
Sent: Thursday, November 19, 2015 10:38 AM
To: MCP-Chair
Subject: Westbard Development

I am opposed to the MCP plan to increase height and density in the Westbard area that you considering. We do not need the congestion or school overcrowding, We do not want to become downtown Bethesda.

The Board needs to seriously consider why you debate these changes. **You are not considering quality of life in the area but only increasing the MoCo tax base.**

We are not within walking district to Friendship heights and there is no land in this area to build a new elementary school. You are not considering quality of life in the area. The new addition at Wood Acres Elementary will not be able to handle the increase in children in the foreseeable future. MoCo has been notorious for projecting of students in "Down County" as being less than we have.

Pyle and Walt Whitman both needed building additions within 5 years of being built.

Please DO NOT approve the plan of 70-80 foot height restrictions. I want to see improvements on Westbard for it is clearly dated and worn but lets keep to the 55 or so feet that was originally discussed.

MarySue Johnson
4909 Scarsdale Road
Bethesda Md
20816

MCP-CTRACK

From: Lynn Gallagher <lynn.t.gallagher@gmail.com>
Sent: Thursday, November 19, 2015 10:47 AM
To: MCP-Chair; county.council@montgomerycountymd.gov;
ike.leggett@montgomerycountymd.gov
Subject: Willett Branch

PLEASE support a Master Plan that includes daylighting the Willett Branch. You know how popular the Crescent Trail is and how heavily used it is. Willett Branch with foot trails will be a wonderful addition to our area.

MCP-CTRACK

From: Fred Graefe <fgraefe@graefelaw.com>
Sent: Thursday, November 19, 2015 11:48 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Fred Graefe
5109 Scarsdale Rd
Bethesda, MD 20816

MCP-CTRACK

From: ctowsleykah@gmail.com
Sent: Thursday, November 19, 2015 12:44 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Carolinda Towsley

Address: 5439 Butler Road

City: Bethesda

Zip: 20816

MCP-CTRACK

From: conroy.dyson23@gmail.com
Sent: Thursday, November 19, 2015 1:00 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Conroy Dyson

Address: 1200 Delaware Avenue

City: Washington dc

Zip: 20024

MCP-CTRACK

From: D.Dale Clayton-Morrison <dcmorris3@gmail.com>
Sent: Thursday, November 19, 2015 1:21 PM
To: MCP-Chair
Subject: Over Populating the Westbard /Sumner/ Wood Acres/Glen Echo Heights/Springfield areas etc

Dear Montgomery Council,

Please look again and help to make sense of this over planning for our area. We already have busy roads, heavy use of our library, and Wood Acres Elementary School ran out of room the minute (and I mean Minute) it was re-built even though the "bus stop Moms warned that the plan at the time was totally inadequate!". Yes, we can count and saw the huge influx of little kids ready for grade school. I would love to meet these demographers who apparently have never looked at a bus stop OR the population changes in older neighborhoods in the last 10-15 years.

Everyone that moved to these neighborhoods did so to have that single family and suburban feel to their new homes. Now to hear that you want to build a mini-city is rather shocking. As a voter and a worker for causes that I feel need help from the public VOICE so I will join this group that opposes the total ripping up of the reasonable plans set in place by the planning board years ago and now is most likely being changed by the Developers.

We have had enough change and certainly enough of DEVELOPERS making our area try and be changed. WE DIDN'T MOVE HERE FOR A CITY FEEL!!!

Another thing that wasn't dealt with honestly was the old Defense Mapping area with many name changes and I just think of it as "Ground Zero" now...we were NOT told how many people will be employed there or the amount changed without notice.... Now we will have incredible traffic during the afternoon and morning drive times / school let out time, and most likely will not be able to go towards Sibley hospital anytime after 2:30 or 3pm. Certainly hope none of you live in this area and need to go down Mac Arthur Blvd,, Mass. Ave, Westbard, or Little Falls any time IF all of these changes continue. It will be hard enough just with the problem as explained with the Security folks just mentioned. STOP the crazy plans at WESTBARD and figure out a new exit plan for the Security folks on their new MASSIVE campus!

PLEASE put back on the COMMON SENSE/Thinking caps that Montgomery County has always been famous for having. Our battle cry should be "Save our Neighborhoods".

Sincerely,

Dale Clayton-Morrison

MCP-CTRACK

From: boogieknight25@hotmail.com
Sent: Thursday, November 19, 2015 1:30 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

As a resident of Bethesda for the last 3 years I've only been a handful of times. Definitely an eyesore.

Name: Thomas Sinclair

Address: Lowell St

City: Bethesda

Zip: 20817

MCP-CTRACK

From: Elise Ruedi <lruedi@msn.com>
Sent: Thursday, November 19, 2015 1:55 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Elise Ruedi
5214 Augusta St
Bethesda, MD 20816

MCP-CTRACK

From: fsmith121@gmail.com
Sent: Thursday, November 19, 2015 1:59 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: fraser smith

Address: 10507

City: bethesda

Zip: 20814

MCP-CTRACK

From: wmyseros@verizon.net
Sent: Thursday, November 19, 2015 1:59 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Wendy Myseros

Address: 6216 Winnebago Drive

City: Bethesda

Zip: 20816

MCP-CTRACK

From: irina.hartova@seznam.cz
Sent: Thursday, November 19, 2015 1:59 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Irina Hartova

Address: 5325 Westbard Av

City: Bethesda

Zip: 20816

MCP-CTRACK

From: wellenby@verizon.net
Sent: Thursday, November 19, 2015 2:00 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Whitney Ellenby

Address: 7500 Winterberry Lane

City: Bethesda

Zip: 20817

MCP-CTRACK

From: Mary Bernald <maryabernald@gmail.com>
Sent: Thursday, November 19, 2015 2:00 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Mary Bernald
4912 Earlston Dr
Bethesda, MD 20816

MCP-CTRACK

From: Devorah Churchill <devorahchurchill@verizon.net>
Sent: Thursday, November 19, 2015 2:19 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Devorah Churchill
5218 Albemarle St
Bethesda, MD 20816

MCP-CTRACK

From: maralinetrager1@gmail.com
Sent: Thursday, November 19, 2015 2:24 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Maraline Trager

Address: 7113 Millwood Road

City: Bethesda

Zip: 20817

MCP-CTRACK

From: luvadams@gmail.com
Sent: Thursday, November 19, 2015 2:29 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: kristie adams

Address: grosvenor pl apt l2

City: rockville

Zip: 20852

MCP-CTRACK

From: elise ney <audiocelise@netscape.net>
Sent: Thursday, November 19, 2015 2:29 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
elise ney
5017 Sangamore Rd
Bethesda, MD 20816

MCP-Chair

From: Colleen Daniel <cddesign@erols.com>
Sent: Thursday, November 19, 2015 2:30 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Colleen Daniel
7515 Arden Rd
Cabin John, MD 20818

MCP-Chair

From: Mirela McDonald <mcdonaldlm@verizon.net>
Sent: Thursday, November 19, 2015 2:41 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Mirela McDonald
5822 Osceola Rd
Bethesda, MD 20816

MCP-CTRACK

RECEIVED
1206

NOV 19 2015

From: Phyllis Edelman <predelman@gmail.com>
Sent: Thursday, November 19, 2015 3:52 PM
To: MCP-Chair
Cc: Kronenberg, Robert; Marcolin, John; Roger Berliner; Nancy Floreen; George Leventhal; Councilmember.Riemer; Gibson, Cindy
Subject: Parcel 3 Rezoning, Westbard Avenue District
Attachments: 11-19-2015 Parcel 3 letter to PB.docx

OFFICE OF THE CHAIRMAN
THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear All,

Please read the attached letter regarding zoning of the above-mentioned site.

Thank you again for your consideration.

Sincerely,
Phyllis R. Edelman
Pres., Springfield Civic Assn.

P.O. Box 644
Glen Echo, MD 20812
November 19, 2015

Mr. Casey Anderson, Chair, and
Members of the Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

Re: Zoning of Parcel 3, Manor Care site in Westbard Avenue District

Dear Casey,

I want to thank you and all members of the Planning Board for letting me speak directly to concerns of the Springfield community during the work session on the Westbard Plan this morning.

Unfortunately, I had to leave before noon and driving back to Bethesda, I realized I made a serious mistake in agreeing to Parcel 3, the Manor site in the Westbard Avenue District, to be zoned as CRT instead of TH, even though it would mean giving up a public benefit. It isn't just that we don't want any commercial use on that site and here's why I'm changing my mind:

Equity One did not mention today that the plans they originally showed the community in February 2015 for that site included a multi-family dwelling of approximately 100 condo units. The Planning Department has drawn in little townhouses for its plan, but Equity One as recently as last week, when Mike Berfield met with some of the Springfield board, did not indicate to us that they would build townhouses. One hundred units is too dense for a parcel that is directly next to and across the street from single family homes.

Granted, the 100-unit building Equity One wants to build is on a parcel that is larger than the current Manor Care site because it takes into consideration the reconfiguration of Westbard Avenue. Now that reconfiguring Westbard Avenue is up in the air, I feel very strongly that Springfield may be short-changed on both fronts. 1) Unless creative traffic controls are instituted, Springfield will continue to get cut-through traffic from River Road headed down Ridgefield Road to Westbard Avenue (and then to Mass Ave.) during the morning rush hour AND Springfield will continue to have trucks turning from River Road onto Westbard Avenue to make deliveries to the Westwood Shopping Center and 2) If the Manor Care site, whether it is reconfigured or not by the redesign of Westbard Avenue is zoned for CRT, we could get a multi-family (100) unit there instead of townhouses.

We need guarantees that townhouses, not a multi-family condo unit will be built on the Manor Care site, whether or not the Manor Care site is reconfigured. If that means lowering the FAR, please consider doing that.

Furthermore, in the discussion of the Park Bethesda, the Planning Board basically agreed that the site closest to the townhouse units would be no higher than 35 feet. It seems unfair that single-family homes directly adjacent to the Manor Care site, get 50' next to them. Manor Care is also one of those

properties where the elevation changes from the lower portion closest to River Road to a higher elevation along the current Westbard Avenue. I'm assuming the difference between one side of the property to the other is about 10' only because Manor Care is three (3) stories on the Westbard Avenue side of the property and four (4) stories on the River Road side.

Therefore, I would appreciate if the Planning Board would reconsider the height on the Manor Care site so that it is 50 feet on the River Road side and no more than 35 feet on the Westbard Avenue side. And, whether or not Westbard Avenue is reconfigured, Springfield needs to be protected from the density of a multi-family unit that could include as many as 100 condos next to single-family homes and on a block that is predominately a single family home neighborhood.

My utmost apologies for going back on what I agreed to, but protection of our neighborhood should be considered at least as much as – if not more than -- any benefit the CRT zoning on the Manor Care site would provide. If you or any other Planning Board members would like to speak personally with me and representatives of the Springfield civic association board, I would be happy to meet with you or other Planning Board members at your convenience.

My thanks again to you and to all the Board members for listening to me and the concerns of the Springfield community.

Sincerely,

A handwritten signature in cursive script that reads "Phyllis".

Phyllis R. Edelman
Pres., Springfield Civic Association

MCP-CTRACK

From: m.shields@comcast.net
Sent: Thursday, November 19, 2015 4:26 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Mary Shields

Address: 5600 Wisconsin Avenue #702

City: Chevy Chase

Zip: 20815

MCP-CTRACK

RECEIVED
1207

NOV 20 2015

From: Linda <lrsan@hotmail.com>
Sent: Thursday, November 19, 2015 5:06 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

OFFICE OF THE CHAIRMAN
THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Linda
5219 Marlyn Dr
Bethesda, MD 20816

MCP-CTRACK

From: healy9@hotmail.com
Sent: Thursday, November 19, 2015 5:15 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Robert Healey

Address:

City: Potomac

Zip: 20818

MCP-CTRACK

From: cburton@mindspring.com
Sent: Thursday, November 19, 2015 5:17 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Carol Burton

Address: 6005 Yale Avenue

City: Glen Echo

Zip: 20812

MCP-CTRACK

From: eileenvogel1@gmail.com
Sent: Thursday, November 19, 2015 5:18 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Eileen Vogel

Address: 7105 Lavrack Lane

City: Bethesda

Zip: 20817

MCP-CTRACK

From: rcchristian715@gmail.com
Sent: Thursday, November 19, 2015 5:20 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Robert Christian

Address: 5301 Westbard Avenue

City: Bethesda

Zip: 20816

MCP-CTRACK

From: filmoreja54@gmail.com
Sent: Thursday, November 19, 2015 5:22 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: James Filmore

Address: Westbard Circle

City: Bethesda

Zip: 20816

MCP-CTRACK

From: Geralyn O'Marra <gomarra@gmail.com>
Sent: Thursday, November 19, 2015 5:38 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Geralyn O'Marra
6100 Overlea Rd
Bethesda, MD 20816

MCP-CTRACK

From: Laurie Calder <lauriefcalder@gmail.com>
Sent: Thursday, November 19, 2015 9:52 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Laurie Calder
5700 Mohican Rd
Bethesda, MD 20816

MCP-CTRACK

From: Cynthia Pugh <cynthia.pugh1@verizon.net>
Sent: Thursday, November 19, 2015 10:07 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Cynthia Pugh
5315 Briley Pl
Bethesda, MD 20816

MCP-CTRACK

From: Barbara Dunkley <bvd9701@gmail.com>
Sent: Friday, November 20, 2015 12:12 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Barbara Dunkley
5804 Namakagan Rd
Bethesda, MD 20816

MCP-CTRACK

From: James Stuart <jimi_13@msn.com>
Sent: Friday, November 20, 2015 12:15 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
James Stuart
5715 Newington Rd
Bethesda, MD 20816

MCP-CTRACK

From: elizabeth carpenter <lizardlizzie@yahoo.com>
Sent: Friday, November 20, 2015 12:17 AM
To: MCP-Chair
Subject: Westbard Redevelopment.

Dear Planning Board,

We would like the Westbard area Revitalized but not Urbanized.

The schools and streets cannot handle increased density even if you are making some bike lanes etc. We request you lower the number of new apartments building and lower buildings heights. The traffic now is already impossible and the schools, such as Wood Acres, are ridiculously over crowded already. You need to limit the total number of apartments building to under 1,000 and the height should not be above 50 feet. The region is way too crowded. Have you ever tried to turn off Mass Ave at Rush Hour or go down town on River or Mass Ave at Rush hour. It is a disaster. Please have smart planning and do not give into the greed of the developers who want to maximize the number of residential units and building heights.

We need more parks and green space. Your drawings make it look like we have lots of green spaces because of the green roofs. However we need larger parks and more open space.

Sincerely,

Liz Levy
Sumner Resident

MCP-CTRACK

From: Deborah Schumann <dschumannmd@gmail.com>
Sent: Friday, November 20, 2015 8:54 AM
To: MCP-Chair
Cc: Paul, Susanne
Subject: Willett Branch Park in Westbard Sector

To: Montgomery County Planning Board

Re: Willett Branch Park plan

Dear Mr. Anderson, Mr. Dreyfuss, Ms. Fani-Gonzalez, Ms. Wells-Harley, and Ms. Presley:

I recently went to a neighborhood meeting regarding the future of Willett Branch as the redevelopment process of the Westbard Sector goes forward. We saw pictures of the current sorry state of the waterway. About 70% of it is either in a concrete-lined trapezoid or underground in a conduit. Where it runs through Westbard, it has become a dumping ground and what could be an asset to the area has become an eyesore in some places.

I grew up just off of River Road and I remember my mother lamenting the channelization of Little Falls Creek near Westbrook School where it runs through Greenacres and under Little Falls Parkway. That must have been over 50 years ago. Until recently I wasn't even aware of Willett Branch because it had been so well hidden by conduits and concrete walls that it didn't even seem like a creek any more.

As the plan for Westbard develops, we have a great opportunity to restore this little waterway to a beautiful natural state that encourages wildlife as well as creating a lovely little park for pedestrian and possibly bike traffic similar to the beloved Crescent Trail.

I really hope that you members of the Planning Board take the time to look at the situation and decide to designate this small part of the Westbard Sector as a public park. Many neighbors would be so happy and my mother would be pleased to hear that I had advocated for something that she believed in: natural waterways that support fish, insect-eating frogs and of course birds.

Sincerely yours,
Deborah Schumann
6804 Tulip Hill Terrace
November 20, 2015

NOV 20 2015

From: Jessie Henry <jhenry@mcrtrust.com>
Sent: Friday, November 20, 2015 9:22 AM
To: MCP-Chair
Cc: Mary and Bob Roop; Anne Barter; James Barter; Brandon Henry
Subject: Re: Objection to Proposed Zoning Change

OFFICE OF THE CHAIRMAN
THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Jessie B. Henry
Mill Creek Residential Trust, LLC
972-834-0241 (cell)

> On Nov 20, 2015, at 9:18 AM, Jessie Henry <jhenry@mcrtrust.com> wrote:

>

> This is a formal complaint about and objection to Greg Ossaant's recent request for a floating zoning provision be added to the westbard sector plan re: the little falls library, such that it be converted to affordable housing at some time in the future. This is an awful idea that, more than any other proposed either by equity one or the county so far, that would negatively affect our home values.

>

> Please advise me of the times and dates of the next hearing so that I can formally object there as well.

> Best,

>

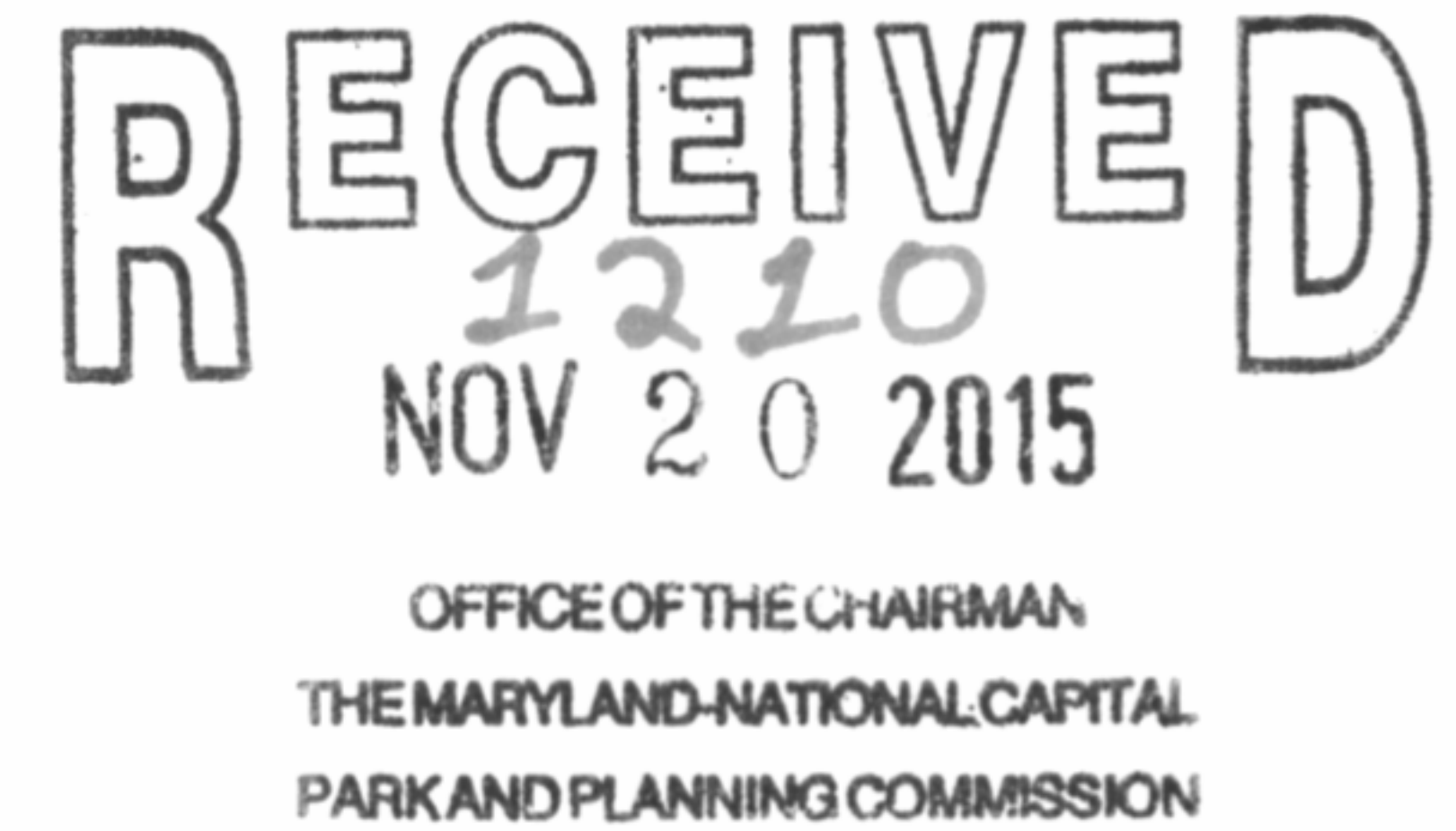
> Jessie B. Henry

> 972-834-0241 (cell)

Kay B. Stevens
5331 Chamberlin Ave.
Chevy Chase, MD 20815
kaystevens@aol.com

November 15, 2015

Chairman Casey Anderson and Members of
the Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910



RE: Westbard Sector Plan

Dear Planning Board Members:

I am writing this letter in support of restoring Willett Branch to a natural stream within a stream valley park in the Westbard Sector Plan.

In considering the importance of Willett Branch as a community resource, let me take you back to when the last sector plan for Westbard was developed. At that time I was a young planner in Montgomery County's Department of Transportation and I was given an early draft of the plan for review. One of the key issues was how to treat the railroad right-of-way: should the County let the railroad sell off the right-of-way to adjacent property owners upon abandonment of train service? My position then was that it would be a dis-service to the community to let the land be divided up; this was a once-in-a-lifetime opportunity to provide an important public amenity and the County should retain it for public use, whether that be for a hiker-biker trail or a future transitway. When I see how important the Capital Crescent Trail has become to the Bethesda-Chevy Chase community, I am grateful that the Planning Board and the County Council had the foresight to preserve the land and create this wonderful public amenity out of a railroad bed.

The same holds true to Willett Branch stream. Restoration of this ribbon of land will be a unique, wildly popular, unifying element for the residents of the Westbard area. It will make adjacent properties more valuable and more desirable places to live, work, and shop. It will improve water quality downstream by letting the water naturally clean itself when it flows in and around earth, grass, and rocks. It will discourage the dumping that now occurs in the stream. It will eliminate vertical flat surfaces for graffiti. It will encourage existing adjacent properties to do a facelift to match the ambiance of this potentially wonderful stream valley.

This is a watershed moment for the Planning Board, a once-in-a-lifetime opportunity to do something that will be universally applauded by future users as being visionary. Have the courage that the previous Planning Board had when the last Westbard Sector Plan was adopted. Restore Willett Branch.

As a side note, I want to commend the staff of the Planning Board. Having my own masters degree in planning, I watched them with a critical eye. To a person, they were professional, good listeners, flexible, and did their very best to be responsive. They were patient and respectful when under fire at various community meetings. It makes me proud to see that Montgomery County government is still filled with dedicated professionals who are devoted to doing their very best for the community and the future of County residents.

Sincerely,


Kay B. Stevens

MCP-CTRACK

RECEIVED
1224
NOV 20 2015

From: Juanita <juanita202@hotmail.com>
Sent: Friday, November 20, 2015 12:35 PM
To: MCP-Chair
Subject: Daylighting of Willett Branch Stream/ Westbard Sector plan

OFFICE OF THE CHAIRMAN
THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Mr. Casey Anderson:

I support a revised Westbard Sector Plan that includes daylighting of the stream, the Willett Branch. The current state of this creek is shameful. Currently the stream is mostly hidden from view in a concrete channel... but, when it *is* visible you see concrete covered in graffiti and banks lined with trash.

Have you taken a walk to view the "hidden" Willett Branch near Westbard? If not, as part of your process for revising the Westbard Sector plan, I urge you to do so with an escort from Montgomery County Parks. They can make sure you get to see it safely.

This eyesore can become a magnificent central amenity, an actual *raison d'etre* for updating the plan. Once you have the apartments and shopping densities planned in... Westbard will just be a place people "drive through" to shop or arrive home. Having an amenity like a trail, that links the Willett Branch from the top of River Road, to the Capital Crescent Trail (CC Trail), where the new EYA townhomes were built last year along Little Falls Parkway, will allow people to linger for pleasure in the area.

This amenity improves things for those new townhome owners, as well as any future residences planned into the new Westbard Sector plan. Having a daylighted Willett Branch brings a walkable path that connects in to the CC Trail; this is great because it offers a loop off of the CC Trail. Secondly, it offers a slower paced walk than the current CC Trail, which has a lot of high speed bike traffic.

It offers access to nearby cafes and restaurants... it allows folks to meander in the area and not speed through after shopping.

As a person involved with the decision making surrounding Westbard development, I request you to take the long view, and see how daylighting a little stream can have a big impact. Do not trade away the 50 foot setbacks; the developers will try to bargain for 35 feet or less; this is what happened with the EYA Townhomes along Little Falls Parkway.

Doing "nothing" and leaving the stream covered, is still going to cost millions--- the concrete needs to be repaired as it is crumbling in places. The benefits of daylighting the stream means you would obviate repairs to the channel.

We can make Willett Branch stream and trail an award winning part of our future. I am confident that this will bring much positive attention to Westbard development if you act to daylight the stream, and do not trade away the 50 foot setbacks.

Sincerely,
Juanita Hendriks
202-246-1823
5421 Wehawken Rd
Bethesda, MD 20816

From: Margot Brooks <margotfiala@gmail.com>
Sent: Friday, November 20, 2015 12:50 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

OFFICE OF THE CHAIRMAN
THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Margot Brooks
5620 Ogden Rd
Bethesda, MD 20816

MCP-CTRACK

From: howweiss@aol.com
Sent: Friday, November 20, 2015 1:11 PM
To: MCP-Chair
Subject: Westbard development

November 20, 2015

My Dear Mr. Casey Anderson, Chair of the Planning Commission,

I support a revised Westbard Sector Plan that includes minimal increased density of development and a naturalized Willett Branch. The current state of this creek is shameful. The walls are covered in graffiti and the banks are lined with trash. It winds behind the building where it is out of sight and out of mind. But it doesn't have to be that way. The environmental planners have come up with an innovated design that makes the creek an amenity for the area – a place where people can walk, enjoy nature and congregate. Instead of turning their backs to the creek, new development should embrace the creek as part of their open space making the Westbard Sector a show place for the County. Moving forward, we need open space for the new residents of the Westbard sector to stretch their legs and enjoy the beautiful natural area that the Little Falls watershed has to offer. Please vote to support a Master Plan with strong environmental component and a naturalized Willett Branch.

I am grateful to you for your public service.

Sincerely,

Howard Weiss
6003 Corbin Rd
Bethesda, MD 20816

MCP-CTRACK

From: Prakash Narayan <jrandpn@gmail.com>
Sent: Friday, November 20, 2015 1:15 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Prakash Narayan
5009 Westpath Ter
Bethesda, MD 20816

MCP-CTRACK

From: cherylbattan@gmail.com
Sent: Friday, November 20, 2015 4:22 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Cheryl Battan

Address: 5400 Wehawken rd

City: Bethesda

Zip: 20816

MCP-Chair

From: piper.n.griffin@gmail.com
Sent: Friday, November 20, 2015 4:30 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Piper Griffin

Address: 5325 Westbard ave. #623

City: Bethesda

Zip: 20816

MCP-CTRACK

RECEIVED

1215
NOV 23 2015

OFFICE OF THE CHAIRMAN
THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

From: Mirjana Peric <mira.peric@yahoo.com>
Sent: Wednesday, November 18, 2015 9:31 AM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
councilmember.riemer@montgomerycountymd.gov;
councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley, Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org; Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: mira.peric@yahoo.com
Date: 11-18-2015

To: Montgomery County Council
Montgomery County Planning Board

RE: Please support a Westbard Plan that favors Westwood redevelopment

Dear County Council and Planning Board,
I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Absolutely in favor of retail redevelopment, the parking space is obviously underused and could be repurposed and refined.

Name: Mirjana Peric
Address: 5 Ardmore Ct
City: Bethesda
Zip: 20816

MCP-CTRACK

From: Ft. WMCAB <geoffrey.cook@yahoo.com>
Sent: Wednesday, November 18, 2015 9:59 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Ft. WMCAB
5225 Westpath Way
Bethesda, MD 20816

MCP-CTRACK

From: Eric Riser <eriser@yahoo.com>
Sent: Wednesday, November 18, 2015 2:46 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
councilmember.riemer@montgomerycountymd.gov;
councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley, Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: eriser@yahoo.com

Date: 11-18-2015

To: Montgomery County Council
Montgomery County Planning Board

RE: Please support a Westbard Plan that favors Westwood redevelopment

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Eric Riser
Address: 5622 lamar rd
City: bethesda
Zip: 20816

MCP-CTRACK

From: Jodi torchin <Suepotomac@aol.com>
Sent: Wednesday, November 18, 2015 3:00 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
councilmember.riemer@montgomerycountymd.gov;
councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley, Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: Suepotomac@aol.com

Date: 11-18-2015

To: Montgomery County Council
Montgomery County Planning Board

RE: Please support a Westbard Plan that favors Westwood redevelopment

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Jodi torchin
Address: 11419 georgetowne drive
City: Potomac
Zip: 20854

MCP-CTRACK

From: Margaret McCarthy <mccarthy_ML@aol.com>
Sent: Wednesday, November 18, 2015 3:12 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Margaret McCarthy
5020 Wyandot Ct
Bethesda, MD 20816

MCP-CTRACK

From: meredith walser <cwalsers429@aol.com>
Sent: Wednesday, November 18, 2015 3:21 PM
To: councilmember.berliner@montgomerycountymd.gov;
councilmember.elrich@montgomerycountymd.gov;
councilmember.hucker@montgomerycountymd.gov;
councilmember.floreen@montgomerycountymd.gov;
councilmember.leventhal@montgomerycountymd.gov;
councilmember.navarro@montgomerycountymd.gov;
councilmember.riemer@montgomerycountymd.gov;
councilmember.katz@montgomerycountymd.gov;
county.council@montgomerycountymd.gov; MCP-Chair; Wells-Harley, Marye; Presley, Amy; Dreyfuss, Norman; Anderson, Casey; Natali.Fani-Gonzales@mncppc-mc.org;
Wright, Gwen
Subject: Please support a Westbard plan that favors Westwood redevelopment

Sent from: cwalsers429@aol.com

Date: 11-18-2015

To: Montgomery County Council
Montgomery County Planning Board

RE: Please support a Westbard Plan that favors Westwood redevelopment

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: meredith walser
Address: 2 sangamore
City: bethesda
Zip: 20818

MCP-CTRACK

From: Mary Radigan <mrr5508@yahoo.com>
Sent: Wednesday, November 18, 2015 6:27 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Mary Radigan
5508 Dorset Ave
Chevy Chase, MD 20815

MCP-CTRACK

From: Francine Collins <fpccpa@aol.com>
Sent: Wednesday, November 18, 2015 7:32 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Francine Collins
5208 Augusta St
Bethesda, MD 20816

MCP-CTRACK

From: Kate Friedman <kstusrud@yahoo.com>
Sent: Wednesday, November 18, 2015 9:26 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Kate Friedman
5907 Namakagan Rd
Bethesda, MD 20816

MCP-CTRACK

From: Margaret Champagne <champagne301@yahoo.com>
Sent: Wednesday, November 18, 2015 11:28 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Margaret Champagne
5611 Namakagan Rd
Bethesda, MD 20816

MCP-CTRACK

From: Meredith Hammond <merwat1@aol.com>
Sent: Wednesday, November 18, 2015 11:32 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Meredith Hammond
5136 Newport Ave
Bethesda, MD 20816

MCP-CTRACK

From: Jennifer Khovananth <jenhackwith@yahoo.com>
Sent: Thursday, November 19, 2015 3:54 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Jennifer Khovananth
5808 Namakagan Rd
Bethesda, MD 20816

MCP-CTRACK

From: Daniel Riemer <Mrdanny@aol.com>
Sent: Thursday, November 19, 2015 8:35 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Daniel Riemer
5802 Namakagan Rd
Bethesda, MD 20816

MCP-CTRACK

From: Gustavo Radics <aradics@yahoo.com>
Sent: Thursday, November 19, 2015 9:05 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Gustavo Radics
5002 Fort Sumner Dr
Bethesda, MD 20816

MCP-CTRACK

From: Clare Garrick <claregarrick@yahoo.com>
Sent: Thursday, November 19, 2015 9:29 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Clare Garrick
5212 Belvoir Dr
Bethesda, MD 20816

MCP-CTRACK

From: lollydine@aol.com
Sent: Thursday, November 19, 2015 2:24 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Laura Aaronson

Address: 5206 Westwood Drive

City: Bethesda

Zip: 20816

MCP-CTRACK

From: Anne Ramachandran <apinsent20816@yahoo.com>
Sent: Thursday, November 19, 2015 2:24 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Anne Ramachandran
5012 River Hill Rd
Bethesda, MD 20816

MCP-CTRACK

From: moondust642@yahoo.com
Sent: Thursday, November 19, 2015 2:48 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: ashley lane

Address:

City: rockville

Zip: 20883

MCP-CTRACK

From: breebear@aol.com
Sent: Thursday, November 19, 2015 4:28 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Bree Layton

Address: 5205 Nebraska Avenue

City: Washington DC

Zip: 20015

MCP-CTRACK

From: leonardjeffries71@aol.com
Sent: Thursday, November 19, 2015 4:30 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Leonard Jeffries

Address: Westbard Avenue

City: Bethesda

Zip: 20816

MCP-CTRACK

From: Eliana Weiss <howweiss@aol.com>
Sent: Thursday, November 19, 2015 5:02 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Eliana Weiss
6003 Corbin Rd
Bethesda, MD 20816

MCP-CTRACK

From: jujubeans125@yahoo.com
Sent: Thursday, November 19, 2015 5:14 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: julie kurts

Address:

City: bethesda

Zip: 20816

MCP-CTRACK

From: fjones200@yahoo.com
Sent: Thursday, November 19, 2015 5:24 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: felica jones

Address: 4324 rosedale ave

City: bethesda

Zip: 20814

MCP-CTRACK

From: chinattyler@yahoo.com
Sent: Friday, November 20, 2015 5:37 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: china tyler

Address: 110 58th st se

City: washington

Zip: 20019

MCP-CTRACK

From: jeffspaulding999@gmail.com
Sent: Friday, November 20, 2015 6:02 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Jeff Spaulding

Address: 5706 Newington Road

City: Bethesda

Zip: 20816

MCP-CTRACK

From: innov8music@about.me
Sent: Friday, November 20, 2015 6:12 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: daniel innovate

Address: 5325 westbard ave

City: bethesda

Zip: 20816

NOV 23 2015

From: Jeanne Wolfe <dj5wolfies@gmail.com>
Sent: Saturday, November 21, 2015 12:00 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

OFFICE OF THE CHAIRMAN
THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Jeanne Wolfe
5603 Parkston Rd
Bethesda, MD 20816

MCP-CTRACK

From: jean.ratner341@gmail.com
Sent: Saturday, November 21, 2015 12:43 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: jean ratner

Address: 8209 hamilton spring court

City: bethesda

Zip: 20861

MCP-CTRACK

From: michael.truscott2@usdoj.gov
Sent: Saturday, November 21, 2015 1:07 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Michael Truscott

Address: 4629 Windom Place

City: Washington

Zip: 20016

MCP-CTRACK

From: adar@worldbank.org
Sent: Saturday, November 21, 2015 1:17 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Amit Dar

Address: 5705 Matengo Road

City: Bethesda

Zip: 20816

MCP-CTRACK

From: Suzanne Richman <suzanne_richman@hotmail.com>
Sent: Saturday, November 21, 2015 1:21 PM
To: MCP-Chair
Subject: I Support a Willett Branch Park in the Westbard Sector

Dear Mr. Anderson and Planning Board Members,

I've been a board member of Little Falls Watershed Alliance and have lived in my home in Brookdale since 1983, having been a lifetime resident of Montgomery County.

I am appalled to hear that the developers are trying to convince you all to change the regulations to allow them to use part of the riparian area of the Willett Branch.

I support a revised Westbard Sector Plan that includes a renovated and naturalized Willett Branch. The current state of this creek is shameful. The walls are covered in graffiti and the banks are lined with trash. It winds behind the buildings where it is out of sight and out of mind. But it doesn't have to be that way. The environmental planners have come up with an innovated design that makes the creek an amenity for the area – a place where people can walk, enjoy nature and congregate. Instead of turning their backs to the creek, new development will embrace the creek as part of their open space making the Westbard Sector a show place for the County.

Moving forward, we need open space for the new residents of the Westbard sector as well as those of us who will be sharing our parks, to stretch their legs and enjoy the beautiful natural area that the Little Falls watershed has to offer. Please vote to support a Master Plan with strong environmental component and a naturalized Willett Branch.

Sincerely,

Suzanne Bogart Richman
4712 Overbrook Road
Bethesda, MD 20816
301-951-0365

MCP-CTRACK

From: crunchyroll1@gmail.com
Sent: Saturday, November 21, 2015 1:28 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Natalie Jones

Address: 9707 Old Georgetown Rd Apt 2207

City: Bethesda

Zip: 20814

MCP-CTRACK

From: alkinter@gmail.com
Sent: Saturday, November 21, 2015 1:44 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Audrey Kinter

Address: 6200 Dunrobbin Dr

City: Bethesda

Zip: 20816

MCP-CTRACK

From: bonetti.matthew@gmail.com
Sent: Saturday, November 21, 2015 2:05 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Matt Bonetti

Address: 5325 Westbard Ave

City: Bethesda

Zip: 20816

MCP-CTRACK

From: Radhika Sinha <raj.sin.2@gmail.com>
Sent: Saturday, November 21, 2015 3:50 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Radhika Sinha
5206 Ridgefield Rd
Bethesda, MD 20816

MCP-CTRACK

From: mcheca@solartours.com
Sent: Saturday, November 21, 2015 3:54 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Maria Checa

Address: 5510 Jordan Rd

City: Bethesda

Zip: 20816

MCP-CTRACK

From: George Jovanovic <djovan@hotmail.com>
Sent: Saturday, November 21, 2015 3:56 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
George Jovanovic
5528 Westbard Ave
Bethesda, MD 20816

MCP-CTRACK

From: Wendy lachman <wendylachman@gmail.com>
Sent: Saturday, November 21, 2015 3:56 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Wendy lachman
5618 Newington Rd
Bethesda, MD 20816

MCP-CTRACK

From: troupleighton@gmail.com
Sent: Saturday, November 21, 2015 4:06 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Charlotte Leighton

Address: 8005 Cypress Grove lane

City: Cebin john

Zip: 20818

MCP-CTRACK

From: llstops2@hotmail.com
Sent: Saturday, November 21, 2015 4:21 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Thomas Langston

Address: Greentree Rd

City: Bethesda

Zip: 20817

MCP-CTRACK

From: johnshammas@gmail.com
Sent: Saturday, November 21, 2015 4:24 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: John Shammas

Address: 4701 Willard Ave

City: Chevy Chase

Zip: 20815

MCP-CTRACK

From: wessywes@hotmail.com
Sent: Saturday, November 21, 2015 4:40 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Wesley Douglass

Address: 319 Valley Brook Dr

City: Silver Spring

Zip: 20904

MCP-CTRACK

From: thelonewanderer@gmail.com
Sent: Saturday, November 21, 2015 5:17 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Jennifer Suh

Address:

City: Bethesda

Zip: 20817

MCP-CTRACK

From: rbradley80@gmail.com
Sent: Saturday, November 21, 2015 5:17 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Robert James

Address: 7513 Bradley Blvd

City: Bethesda

Zip: 20817

MCP-CTRACK

From: cocopuff20@hotmail.com
Sent: Saturday, November 21, 2015 5:22 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Daphne Paul

Address: 2827 Hardy Ave

City: Wheaton

Zip: 20902

MCP-CTRACK

From: Jean Denney <jdenney27@yahoo.com>
Sent: Saturday, November 21, 2015 6:47 PM
To: MCP-Chair
Subject: Little Falls

Dear Casey Anderson

I support a revised Westbard Sector Plan that includes a naturalized Willett Branch. The current state of this creek is shameful. The walls are covered in graffiti and the banks are lined with trash. It winds behind the building where it is out of sight and out of mind. But it doesn't have to be that way. The environmental planners have come up with an innovated design that makes the creek an amenity for the area – a place where people can walk, enjoy nature and congregate. Instead of turning their backs to the creek, new development should embrace the creek as part of their open space making the Westbard Sector a show place for the County.

Moving forward, we need open space for the new residents of the Westbard sector to stretch their legs and enjoy the beautiful natural area that the Little Falls watershed has to offer. Please vote to support a Master Plan with strong environmental component and a naturalized Willett Branch.

Sincerely, _____ jean denney

20816 _____

Contact Information

Planning Board

Casey Anderson, Chair M-NCPPC
8787 Georgia Ave.
Silver Spring, MD 20910 MCP-Chair@mncppc-mc.org

Jean

Happy Thanksgiving

There is one day that is ours. Thanksgiving Day is the one day that is purely American
O. Henry

MCP-CTRACK

From: kaoningxue@gmail.com
Sent: Saturday, November 21, 2015 7:01 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: cyntia kao

Address: massachussets avenue

City: bethesda

Zip: 20816

MCP-CTRACK

From: rparreaguirre@guardianrealty.com
Sent: Saturday, November 21, 2015 7:03 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: ron parreaguirre

Address: 600 executive boulevard suite 400

City: north bethesda

Zip: 20852

MCP-CTRACK

From: haberbergerclaire@gmail.com
Sent: Saturday, November 21, 2015 7:07 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: claire haberberger

Address: 5325 westbard ave

City: bethesda

Zip: 20816

MCP-CTRACK

From: bobbilbo@msn.com
Sent: Saturday, November 21, 2015 7:09 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: bob livezey

Address: 5112 lawton drive

City: bethesda

Zip: 20816

MCP-CTRACK

From: kathyklks@gmail.com
Sent: Saturday, November 21, 2015 7:11 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: kathy shinaberg

Address: 4909 ft. sumner drive

City: bethesda

Zip: 20816

MCP-CTRACK

From: wahra@hotmail.com
Sent: Saturday, November 21, 2015 7:12 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: glenn williams

Address: lawton drive

City: bethesda

Zip: 20816

MCP-CTRACK

From: nicryba@hotmail.com
Sent: Saturday, November 21, 2015 7:13 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: nicola ryba

Address: 6405 crane terrace

City: bethesda

Zip: 20817

MCP-CTRACK

From: mb.kelly53@gmail.com
Sent: Saturday, November 21, 2015 7:14 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: marybeth kelly

Address: 5400 ridgefield rd

City: bethesda

Zip: 20816

MCP-CTRACK

From: troy1@imf.org
Sent: Saturday, November 21, 2015 7:15 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: troy allen

Address: flint drive

City: bethesda

Zip: 20816

MCP-CTRACK

From: joshuaelijahmorris@gmail.com
Sent: Saturday, November 21, 2015 7:22 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: joshua morris

Address: 5401 westbard ave

City: bethesda

Zip: 20816

MCP-CTRACK

From: Celia V. Martin <celiavmartin@comcast.net>
Sent: Saturday, November 21, 2015 10:07 PM
To: MCP-Chair
Subject: I Support a Willett Branch Park in the Westbard Sector

Dear Mr. Anderson and Planning Board Members,

I support a revised Westbard Sector Plan that includes a renovated and naturalized Willett Branch. The current state of this creek is shameful. The walls are covered in graffiti and the banks are lined with trash. It winds behind the buildings where it is out of sight and out of mind. But it doesn't have to be that way. The environmental planners have come up with an innovated design that makes the creek an amenity for the area – a place where people can walk, enjoy nature and congregate. Instead of turning their backs to the creek, new development will embrace the creek as part of their open space making the Westbard Sector a show place for the County.

Moving forward, we need open space for the new residents of the Westbard sector to stretch their legs and enjoy the beautiful natural area that the Little Falls watershed has to offer. Please vote to support a Master Plan with strong environmental component and a naturalized Willett Branch.

Sincerely,

Celia Martin

Bethesda resident and naturalist

MCP-CTRACK

From: eks1958@rcn.com
Sent: Saturday, November 21, 2015 10:13 PM
To: MCP-Chair; county.council@montgomerycountymd.gov; oicemail
Subject: Please support a naturalized Willett Branch at Westbard

Dear Mr. Anderson, dear Mr. Leggett, and to the County Council of Montgomery County:

I have met my best friend near Willett Branch for years in order to take a walk in the green surroundings and to rest from our stressful jobs. And since it has given us such peace, I would like to ask your support for a naturalized Willett Branch.

I recently heard of an effort by environmental planners to update and upgrade the area for county citizens' pleasure. What a wonderful plan, and I hope that you will support it. Open spaces should not be a luxury...we all need them and benefit greatly from the beautiful surroundings. If my friend and I are any indication, **your support of the Master Plan for the Naturalization of the Willett Branch in the Westbard Sector will be a huge win for county residents!**

Thank you so much for your support in the effort!

Sincerely,
Eva Santorini
8714 Sundale Drive
Silver Spring, MD 20910
301 588 7980

MCP-CTRACK

From: Robert Anderson <robertanderson1@hotmail.com>
Sent: Saturday, November 21, 2015 11:24 PM
To: MCP-Chair
Subject: I Support a Willett Branch Park in the Westbard Sector

Dear Mr. Anderson and Planning Board Members,

I support a revised Westbard Sector Plan that includes a renovated and naturalized Willett Branch. The current state of this creek is shameful. The walls are covered in graffiti and the banks are lined with trash. It winds behind the buildings where it is out of sight and out of mind.

But it doesn't have to be that way. The environmental planners have come up with an innovated design that makes the creek an amenity for the area – a place where people can walk, enjoy nature and congregate. Instead of turning their backs to the creek, new development will embrace the creek as part of their open space making the Westbard Sector a show place for the County.

Moving forward, we need open space for the new residents of the Westbard sector to stretch their legs and enjoy the beautiful natural area that the Little Falls watershed has to offer. Please vote to support a Master Plan with strong environmental component and a naturalized Willett Branch.

Sincerely,

Rob Anderson
5900 Namakagan Road

MCP-CTRACK

RECEIVED

2217
NOV 23 2015

From: Lindsay Spector <lspectordc@gmail.com>
Sent: Sunday, November 22, 2015 9:30 AM
To: MCP-Chair
Subject: Willett Branch

OFFICE OF THE CHAIRMAN
THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Planning Board,

As a long-time resident of Montgomery County and specifically growing up in Westmoreland Hills and now living in Glen Mar Park, I support a Westbard Sector Plan that includes a naturalized Willett Branch. The environmental planners have come up with an innovated design that makes the creek an amenity for the area – a place where people can walk, enjoy nature and congregate. The current state of this creek is shameful. The walls are covered in graffiti and the banks are lined with trash. It winds behind the building where it is out of sight and out of mind. But it doesn't have to be that way. Instead of turning their backs to the creek, new development would embrace the creek as part of their open space making the Westbard Sector a show place for the County.

Moving forward, we need open space for the new residents of the Westbard sector to stretch their legs and enjoy the beautiful natural area that the Little Falls watershed has to offer. Please vote to support a Master Plan with strong environmental component and a naturalized Willett Branch with no exemptions or waiver for any development or developer.

Sincerely,

Lindsay Spector
5902 Namakagan Road
Bethesda, MD 20816

MCP-CTRACK

From: Amy Reichert <sergaya@aol.com>
Sent: Sunday, November 22, 2015 9:59 AM
To: MCP-Chair
Subject: I Support a Willett Branch Park in the Westbard Sector

Dear Mr. Anderson and Planning Board Members, I support a revised Westbard Sector Plan that includes a renovated and naturalized Willett Branch. The current state of this creek is shameful. The walls are covered in graffiti and the banks are lined with trash. It winds behind the buildings where it is out of sight and out of mind. But it doesn't have to be that way. The environmental planners have come up with an innovated design that makes the creek an amenity for the area – a place where people can walk, enjoy nature and congregate. Instead of turning their backs to the creek, new development will embrace the creek as part of their open space making the Westbard Sector a show place for the County.

Moving forward, we need open space for the new residents of the Westbard sector to stretch their legs and enjoy the beautiful natural area that the Little Falls watershed has to offer. Please vote to support a Master Plan with strong environmental component and a naturalized Willett Branch.

Sincerely,

Amy Reichert, Richard Sergay, Nathaniel Sergay and Joan Sergay

MCP-CTRACK

From: Maya Teitelbaum <swissflora@yahoo.com>
Sent: Sunday, November 22, 2015 1:12 PM
To: MCP-Chair
Subject: I Support a Willett Branch Park in the Westbard Sector

2228 Richland Street
Silver Spring, MD 20910

Dear Mr. Anderson and Planning Board Members, Nov. 22, 2015

I support a revised Westbard Sector Plan that includes a renovated and naturalized Willett Branch. The current state of this creek is shameful. The walls are covered in graffiti and the banks are littered with trash. Currently, Willett Branch winds behind existing buildings where it is out of sight and out of mind.

But it doesn't have to be that way. M-NCPPC environmental planners have created an innovative design that makes this creek an amenity for this area – a place where people can walk, enjoy nature and easily congregate. Instead of buildings turning their backs to the creek, new developments will be designed to utilize Willett Branch Creek as part of their open space, making the Westbard Sector a positive example for the County.

Moving forward, we need open space for current and expected new residents of the Westbard Sector area to stretch their legs and enjoy this beautiful natural area within the Little Falls watershed. Please vote to support a Master Plan with strong environmental component and a naturalized Willett Branch.

Sincerely,

Joel Teitelbaum
Montgomery County Resident
Sent from my iPad

MCP-CTRACK

From: laurajohn49@gmail.com
Sent: Sunday, November 22, 2015 2:03 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Laura John

Address: 5504 Beech Ave

City: Bethesda

Zip: 20814

MCP-CTRACK

From: s_white3@gmail.com
Sent: Sunday, November 22, 2015 2:09 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Stephen White

Address: 4907 Earlston Dr

City: Bethesda

Zip: 20816

MCP-CTRACK

From: carol.bassen@gmail.com
Sent: Sunday, November 22, 2015 2:19 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Carol Bassen

Address: 28 Invernes Street

City: Bethesda

Zip: 20815

MCP-CTRACK

From: kesanete@gmail.com
Sent: Sunday, November 22, 2015 2:21 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Andrea Johnson

Address: 6415 Kenhowe Drive

City: Bethesda

Zip: 20817

MCP-CTRACK

From: tsegai91@hotmail.com
Sent: Sunday, November 22, 2015 2:23 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Semhar Tsegai

Address: 1002 Old Georgetown Road

City: Bethesda

Zip: 20817

MCP-CTRACK

From: locoloco21@hotmail.com
Sent: Sunday, November 22, 2015 2:23 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: felipa rodrigez

Address: 199 rollins ave

City: rockville

Zip: 20852

MCP-CTRACK

From: greenebean12@hotmail.com
Sent: Sunday, November 22, 2015 3:06 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Maurice greene

Address: 4515 chestnut st

City: bethesda

Zip: 20814

MCP-CTRACK

From: scrocker18@gmail.com
Sent: Sunday, November 22, 2015 3:19 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Seam Crocker

Address: 2222 Wyoming Ave Nw

City: Wasington DC

Zip: 20008

MCP-CTRACK

From: msidorczuk@gmail.com
Sent: Sunday, November 22, 2015 3:25 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Mark Sidorczuk

Address: 6913 Winterberry Lane

City: Bethesda

Zip: 20817

MCP-CTRACK

From: nucleareclipse@gmail.com
Sent: Sunday, November 22, 2015 3:41 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: allen mccain

Address: 5604 pioneer lane

City: bethesda

Zip: 20816

MCP-CTRACK

From: seanrs998@gmail.com
Sent: Sunday, November 22, 2015 3:45 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Sean Roberts

Address: 22329 Cathedral Avenue

City: Washington DC

Zip: 20008

MCP-CTRACK

From: mrbigstuff10@hotmail.com
Sent: Sunday, November 22, 2015 4:13 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: jacob wade

Address: 3333 university blvd w apt g5

City: kensington

Zip: 20895

MCP-CTRACK

From: dushaun.jackson@gmail.com
Sent: Sunday, November 22, 2015 4:37 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Dushaun Jackson

Address: 5452 Nebraska Avenue

City: Washington DC

Zip: 20015

MCP-CTRACK

From: ellisonf2015@outlook.com
Sent: Sunday, November 22, 2015 4:55 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Frank Ellison

Address: Westbard Circle

City: Bethesda

Zip: 20816

MCP-CTRACK

From: pauliewheaton66@gmail.com
Sent: Sunday, November 22, 2015 5:04 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Paulette Johnson

Address: 11919 Andrew St

City: Wheaton

Zip: 20902

MCP-CTRACK

From: CpDavis57@hotmail.com
Sent: Sunday, November 22, 2015 5:15 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Christopher Davis

Address: 6206 Vorlich Ln

City: Bethesda

Zip: 20816

MCP-CTRACK

From: woods_15@hotmail.com
Sent: Sunday, November 22, 2015 5:26 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

please bring a Wal-Mart

Name: urrika woods

Address: 719 erie ave apt 7

City: takoma park

Zip: 2091

MCP-CTRACK

From: FPCCPA@aol.com
Sent: Sunday, November 22, 2015 10:27 PM
To: MCP-Chair
Subject: Westbard

Please do NOT support the increased heights and density of the proposed building sites. I know that you want ,ore tax revenue, but how about sticking to your agreements and trying to please those of us who live here and will not support you in the future.

Francine Collins

MCP-CTRACK

From: Chip Heartfield <cheartfield@comcast.net>
Sent: Sunday, November 22, 2015 11:18 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Chip Heartfield
5133 Westpath Way
Bethesda, MD 20816

MCP-CTRACK

RECEIVED
1220
NOV 23 2015

From: NARAYANAN ramachandran <narayan23@hotmail.com>
Sent: Monday, November 23, 2015 7:50 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

OFFICE OF THE CHAIRMAN
THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
NARAYANAN ramachandran
5012 River Hill Rd
Bethesda, MD 20816

MCP-CTRACK

From: Lori Wark <loriwark@gmail.com>
Sent: Monday, November 23, 2015 9:45 AM
To: MCP-Chair
Subject: I Support a Willett Branch Park in the Westbard Sector

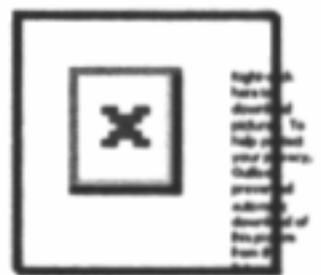
Dear Mr. Anderson and Planning Board Members,

I support a revised Westbard Sector Plan that includes a renovated and naturalized Willett Branch. The current state of this creek is shameful. The walls are covered in graffiti and the banks are lined with trash. It winds behind the buildings where it is out of sight and out of mind. But it doesn't have to be that way. The environmental planners have come up with an innovated design that makes the creek an amenity for the area – a place where people can walk, enjoy nature and congregate. Instead of turning their backs to the creek, new development will embrace the creek as part of their open space making the Westbard Sector a show place for the County.

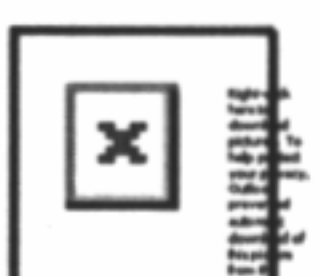
Moving forward, we need open space for the new residents of the Westbard sector to stretch their legs and enjoy the beautiful natural area that the Little Falls watershed has to offer. Please vote to support a Master Plan with strong environmental component and a naturalized Willett Branch.

Sincerely,

Lori Wark



Biograph II Productions
Web Design & Development
biographiiproductions.com
loriwark@gmail.com
(Email is the best way to reach me.)
Office: 240-271-1740



MCP-CTRACK

From: Dan Dozier <DDozier@pressdozierlaw.com>
Sent: Monday, November 23, 2015 11:39 AM
To: Anderson, Casey; Dreyfuss, Norman; Wells-Harley, Marye; Presley, Amy; natali.fani-gonzales@mncppc-mc.org; MCP-Chair
Cc: Marcolin, John; Kronenberg, Robert; Nelson, Katherine; Paul, Susanne; Fuster, Marco; Cole, Jai
Subject: Westbard Sector Plan Comments from the Little Falls Watershed Alliance
Attachments: LFWA Letter to PB about Westbard FINAL.pdf

Attached are the comments from the Little Falls Watershed Alliance about the Westbard Sector Plan. I request that this letter be included in the package of materials for Board members for the December 3, 2015 hearing.

Thank you,

Dan Dozier
Little Falls Watershed Alliance

Daniel Preston Dozier
Press & Dozier, LLC
7910 Woodmont Avenue, Suite 1350
Bethesda, Maryland 20814
Direct: 301-922-2704 | Office: 301-913-5200
www.pressdozierlaw.com



LITTLE FALLS WATERSHED ALLIANCE

EDUCATION - ACTION - STEWARDSHIP

4920 Dorset Avenue, Chevy Chase, MD 20815

www.lfwa.org

November 23, 2015

Via Email to Casey.Anderson@mncppc-mc.org

Mr. Casey Anderson, Chair, and
Members of the Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20912

RE: Comments by the Little Falls Watershed Alliance ("LFWA") about Requests for Revisions to the August 2015 Public Hearing Draft of the Westbard Sector Plan ("Sector Plan") for Planning Board Review at the December 3, 2015 Worksession

Dear Chairman Anderson and Members of the Planning Board:

This letter is to follow up our letter of March 27, 2015 and our testimony at the public hearing on September 24, 2015 in which the Little Falls Watershed Alliance ("LFWA") expressed our views and environmental concerns with regard to the Westbard Sector Plan.

LFWA thanks you and the Planning Board staff for the environmental provisions of the Sector Plan. We appreciate and publically acknowledge that **the Board staff listened to the community and developed an innovative approach that makes the Willett Branch the central, organizing principal of the Sector Plan.**

We strongly support the staff draft that addresses some of the problems in the Willett Branch. The staff draft provides:

- 1) **Willett Branch stream naturalization** with pedestrian paths and public use natural spaces;
- 2) **A walkable green ribbon along the Willett Branch** connecting the Capital Crescent Trail and Little Falls Park;
- 3) Making the **Willett Branch an urban stream valley park**, thus insuring the protection and maintenance of the stream for future generations;
- 4) Keeping existing **100 foot stream buffers** and restoring buffers where possible;
- 5) Establishing a long-term goal of **daylighting and naturalizing** as much of the Little Falls Watershed creeks as possible;
- 6) Providing for **green spaces**, green buffering zones and parks within the Sector;
- 7) **Eliminating the current trash-filled open dump** that the Willett Branch has become; and

8) **Additional trees** to provide shade over streets and parking lots.

Following are the LFWA comments about specific issues and properties within the Plan.

Kenwood Station/Whole Foods Property

LFWA supports designating a 100 foot buffer along the Willett Branch as it passes this property and using that strip for future community open space. Buffering streams is the best and sometimes the only method of protecting water quality; buffers and stream naturalizing are green technologies that improve water quality. We understand that at the November 19, 2015 public meeting the Board accepted the staff recommendation for height at this property in return for keeping the 100 foot buffer. **LFWA supports restricting future development within the Whole Foods parking lot, as outlined in the staff draft Plan, to the State mandated 100 foot stream buffer for the Willett Branch.**

Westwood II Property

We understand that the owner, Equity One, has stated that it does not support daylighting the Willett Branch across the Westwood II property. Our first comment is that the Branch is currently open to the daylight as it passes through the Westwood II property to the east of Ridgefield Road and south of River Road except for the portion of the branch entering from the west that passes under the Westwood II parking lot. **For the portion of the stream that passes under River Road onto the Westwood II property and that portion of the stream that flows under the Westwood II parking lot from the west, we believe that it is essential that the stream be improved and naturalized as much as possible.** The staff draft proposal will improve water quality and provide a benefit to the owner and the public while improving stream flow and water quality. The public and private benefit is an attractive waterfall with a touch of natural beauty near the corners of Ridgefield and River Roads. Further, a close look at the concrete stream walls in this location will show that there must be repair and improvement in the stream banks to avoid future problems. Any such repairs must be considered only in conjunction with plans to naturalize and improving the creek. The creek then enters a tunnel at the American Plant Food property.

We support daylighting the stream on the west side of Ridgefield Road as it flows to the Westwood II property along River Road. There is no reason to not daylight this portion of the stream as daylighting and naturalizing the stream in this reach would have little if any impact land use as the stream flows next to River Road in that section.

American Plant Food Bridge

As you know, the Willett Branch passes under a very wide bridge that connects the American Plant Food and Jack's Roofing properties to Westbard Avenue. While we prefer removal of the bridge and naturalizing that reach of the stream, we understand total bridge removal may not be possible. The staff draft proposes reducing the width and beautifying the bridge and naturalizing the creek as it passes under the bridge. It appears that the bridge may soon need repairing; if so, it makes sense to undertake the beautifying and naturalization in conjunction with the bridge repairs. Even if bridge repair is not necessary, **the width of the bridge should be reduced, the bridge beautified, and the stream naturalized to the greatest extent possible.**

HOC Property

The County, through the Housing Opportunities Commission (“HOC”), is effectively a property owner in the sector. The HOC apartment building and property is located exactly where the Sector Plan proposes significant stream and stream side improvements. **The HOC property along the stream is currently a disgrace as it looks like an urban dump.** We understand that the County/HOC and Equity One wish to modify the stream buffers, required by State law to protect water quality. It is not enough to suggest that future reductions in buffers is justified by past decisions that contributed to the degraded status of the stream. That logic would prevent any future stream improvements. We support keeping as close to **a 100 foot stream buffer as possible along this reach of the stream and an access trail connecting the Equity One shopping center and the Capital Crescent Trail.**

We support naturalizing the stream; building a park near the HOC property and the naturalized stream; a trail along the stream; and other public amenities along the stream as proposed in the staff draft Sector Plan. As an owner, the County/HOC must be a financial participant – along with Equity One and other owners along the stream – to improve the watershed. Adjacent owners benefit from a healthy watershed. A well-designed public amenity along the creek will improve the environment most directly for the residents living in the HOC buildings.

New Road

If the Plan includes a road connecting Westbard Avenue with River Road, plans for this road should take into consideration local neighborhood views about the route of the road. The road must not take any property from the Capital Crescent Trail, not even an inch. **Any such road must meet municipal green street specifications and road design standards that are context sensitive and with effective, best-practice stormwater treatment in the right-of-way.**

Proposed Park Lands

LFWA supports the approach in the staff draft of creating small urban parks and green spaces in locations along the Willett Branch wherever feasible. We note that Figure 2.1.3: Proposed Land Uses on page 21 of the Plan showing zoning and land uses does not reflect that the Plan calls for the new stream valley park along the Willett Branch from Dorsett Avenue, under River Road to the Capital Crescent Trail as shown in Figure 2.4.2: Proposed Parks, Trails and Open Spaces on page 44 of the Plan. **We assume the omission in Figure 2.1.3 on page 21 is an error.**

Environmental Site Design and Stormwater Management

Montgomery County modern stormwater management regulations, if appropriately enforced, can improve stream water quality. Even more improvement can be obtained if owners are provided with incentives to improve on the County’s stormwater management standards. **We support granting stormwater credits to landowners who significantly contribute to improving the Willett Branch by helping to implement the Sector Plan’s vision of stream improvement.**

Past Land Use Decisions

Past Planning Board land use decisions and development activities have allowed the Willett Branch to become an open dump and source of poor water quality in the Little Falls watershed and ultimately in the Chesapeake Bay Watershed. Past land use decisions in our region have led to non-point source

contamination and reduced water quality. These decisions have led to contamination of the Chesapeake Bay, the ultimate receiving waters for all streams in the County. All sources contributing to the decline in the Bay will have to contribute to its cleanup. This cleanup will cost millions of dollars to reduce damage to the Bay and ultimately to restore water quality.

The environmental and fiscal costs of the environmentally poor land use decisions were imposed on all of us, often for the private benefit of land owners and developers. We – all of us – will have to pay to reduce the non-point source contamination that has degraded the quality of water flowing into our creeks. In particular, planning and land use decisions have made the watershed in the Sector one of the most degraded in Montgomery County. We have seen the deleterious effects of these decisions in our neighborhoods. We recognize that land use planning and development activities in our neighborhoods have contributed to the water quality crisis in the Chesapeake Bay and degraded our environment.

It is much better for the environment *and* more cost effective if we make sure that the built environment is designed to minimize the flow of contamination into our watersheds. Your decisions have direct effects on these environmental issues and on the costs the County will have to pay to minimize and/or treat contamination. Why should the public pay for the costs imposed on us by private land use decisions that benefit the few?


Conclusion

LFWA strongly supports improving, daylighting, and naturalizing the Willett Branch and creating and revitalizing green stream buffers, a stream-side trail, and parks along the Branch as the major amenity within the Plan.

We have two major concerns. First, that the environmental promises in the staff draft will be cut back and reduced by the Planning Board in response to private pressure. This would result in private interests trumping the public interest. Your role is to protect the public interest.

Our second concern is even if Sector Plan environmental and watershed plans in the staff draft are adopted by the Planning Board and ultimately by the County Council, we want to make sure that 'on the ground' decisions to implement the Plan actually happen. From difficult experience after the 1982 sector plan, which promised environmental benefits that were never implemented, we want the environmental promises contained in this Plan to become real.

Respectfully submitted



Daniel P. Dozier
President, Little Falls Watershed Alliance

cc: John Marcolene, john.marcolene@montgomeryplanning.org
Robert Kronenberg, robert.kronenberg@montgomeryplanning.org
Katherine Nelson, katherine.nelson@montgomeryplanning.org
Susanne Paul, susanne.paul@montgomeryparks.org
Marco Fuster, marco.fuster@montgomeryplanning.org
Jai Cole, jai.cole@montgomeryparks.org

MCP-CTRACK

From: Christine Sow <cksow@earthlink.net>
Sent: Monday, November 23, 2015 2:30 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Christine Sow
5310 Sangamore Rd
Bethesda, MD 20816

MCP-CTRACK

RECEIVED
1225

NOV 24 2015

From: ksbb1@yahoo.com
Sent: Saturday, November 21, 2015 1:28 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

OFFICE OF THE CHAIRMAN
THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Karl Snow

Address: 7301 Durbin Ter

City: Bethesda

Zip: 20817

MCP-CTRACK

From: supersauce100@aol.com
Sent: Saturday, November 21, 2015 1:36 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Shakiesha Flemmings

Address: 2431knapps Way

City: Odenton

Zip: 21113

MCP-CTRACK

From: Karen Spencer <kmsahs@aol.com>
Sent: Saturday, November 21, 2015 2:24 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

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You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Karen Spencer
5301 Westbard Cir, #434
Bethesda, MD 20816

MCP-CTRACK

From: khskramm@aol.com
Sent: Saturday, November 21, 2015 2:39 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Harold Kramm

Address: 5123 Warren Place

City: Washington

Zip: 20016

MCP-CTRACK

From: htsolutions@aol.com
Sent: Saturday, November 21, 2015 5:25 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Heather Boyle

Address: 7437 Rosewood Manor Lane

City: Gaithersburg

Zip: 20882

MCP-CTRACK

From: donnadaniels45@aol.com
Sent: Saturday, November 21, 2015 5:25 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Donna Daniels

Address: 531 Randolph rd

City: Silver Springs

Zip: 20904

MCP-CTRACK

From: boubou1978@yahoo.com
Sent: Saturday, November 21, 2015 7:04 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: ingrid bouille

Address: 6409 macarthur road

City: bethesda

Zip: 20816

MCP-CTRACK

From: hmingle@yahoo.com
Sent: Saturday, November 21, 2015 7:06 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: hude abdi

Address: 5401 westbard ave

City: bethesda

Zip: 20816

MCP-CTRACK

From: jessedim@yahoo.com
Sent: Saturday, November 21, 2015 7:17 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: jesse bradford

Address: wiley rd

City: bethesda

Zip: 20816

MCP-CTRACK

From: crpenters@yahoo.com
Sent: Saturday, November 21, 2015 7:19 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: abigail carpenter

Address: flint drive

City: bethesda

Zip: 20816

MCP-CTRACK

From: Deborah Gordis <djgordis@yahoo.com>
Sent: Sunday, November 22, 2015 12:55 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Deborah Gordis
5210 Wapakoneta Rd
Bethesda, MD 20816

MCP-CTRACK

From: miller_scott18@yahoo.com
Sent: Sunday, November 22, 2015 2:06 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Scott Miller

Address: 7029 Winterberry Ln

City: Bethesda

Zip: 20817

MCP-CTRACK

From: simplegrape10@yahoo.com
Sent: Sunday, November 22, 2015 2:15 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

please keep the community in mind during development

Name: claudia stevenson

Address: 108 elmcroft blvd

City: rockville

Zip: 20850

MCP-CTRACK

From: kdahern@yahoo.com
Sent: Sunday, November 22, 2015 2:48 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: K Ahern

Address: Kenwood

City: Bethesda

Zip: 20817

MCP-CTRACK

From: milboyd_12@yahoo.com
Sent: Sunday, November 22, 2015 3:15 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Milward Boyd

Address: 1807 Florin St

City: Silver Spring

Zip: 20902

MCP-CTRACK

From: jlong420@aol.com
Sent: Sunday, November 22, 2015 3:23 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: jamie long

Address: 5100 king charles way

City: bethesda

Zip: 20814

MCP-CTRACK

From: xepona@yahoo.com
Sent: Sunday, November 22, 2015 3:31 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: Kate Oconnor

Address: 5600 Wisconsin Avenue Apt 604

City: Chevy Chase

Zip: 20815

MCP-CTRACK

From: burnsb112@yahoo.com
Sent: Sunday, November 22, 2015 4:40 PM
To: MCP-Chair
Subject: Please support a Westbard plan that favors Westwood redevelopment.

To: Montgomery County Council and Planning Board

Dear County Council and Planning Board,

I support a Westbard Sector Plan that includes the envisioned redevelopment of Westwood Shopping Center and surrounding properties. The Westbard community will benefit from the modern retail, numerous community gathering and open spaces, enhanced environmental design, and improved connectivity this redevelopment will provide.

Name: frank burns

Address: 5476 marlin st

City: rockville

Zip: 208536

MCP-CTRACK

RECEIVED
1226
NOV 24 2015

From: Dr. Gray <ntg94@aol.com>
Sent: Monday, November 23, 2015 10:46 AM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

OFFICE OF THE CHAIRMAN
THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Dr. Gray
5109 Baltan Rd
Bethesda, MD 20816

MCP-CTRACK

From: Elizabeth Ehinger <ewehinger@aol.com>
Sent: Monday, November 23, 2015 2:57 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Elizabeth Ehinger
6920 Ayr Ln
Bethesda, MD 20817

MCP-CTRACK

From: Sydney Frymire <sydneyfrymire@yahoo.com>
Sent: Monday, November 23, 2015 9:08 PM
To: MCP-Chair
Subject: I Support a Willett Branch Park in the Westbard Sector

Dear Mr. Anderson and Planning Board Members,

I've owned a home in Kenwood Forest for over 20 years and I support a revised Westbard Sector Plan that includes a renovated and naturalized Willett Branch. I walk regularly from my home on the trail and hope that the Willett Branch be naturalized and a greenway built exactly as outlined in the Sector Plan. One reason I bought my home is that it is close to green space and creeks. If there is going to be new development, we need a park and places for people to enjoy nature. No exceptions should be granted to any developers. Just as the Little Falls Stream Valley Park is a haven in our densely populated area, Willett Branch can be a haven in Westbard and a show case for the County. The current state of this creek is shameful. The walls are covered in graffiti and the banks are lined with trash. It winds behind the buildings where it is out of sight and out of mind. But it doesn't have to be that way. The environmental planners have come up with an innovated design that makes the creek an amenity for the area – a place where people can walk, enjoy nature and congregate. Instead of turning their backs to the creek, new development will embrace the creek as part of their open space making the Westbard Sector a show place for the County.

Moving forward, we need open space for the new residents of the Westbard sector and residents of surrounding areas to stretch their legs and enjoy the beautiful natural area that the Little Falls watershed has to offer. Please vote to support a Master Plan with strong environmental component and a naturalized Willett Branch.

Sincerely,
Sydney Frymire
6700 Offutt Lane
Chevy Chase, MD. 20815

MCP-CTRACK

From: Patricia Caldwell <patty.caldwell@verizon.net>
Sent: Monday, November 23, 2015 10:59 PM
To: MCP-Chair
Subject: Need Major Limitations to new Westbard Master Plan

Dear Chairman Casey Anderson,

I oppose the current efforts to dramatically increase development and density in the greater Westbard Community, in the area being called "The New Westwood" by the developer.

I am outraged by the planning board's flawed assumptions that our community wants or needs dramatic population growth, or excessive commercialization. The charrettes were a charade and the planning board's conclusions do not reflect the opinions of thousands in this community.

I support needed, cosmetic improvements and retail amenities but oppose the plan you will receive in December which aims to triple the density of the Westbard area, double commercial use, and designate Westbard as an Urban area for purposes of limiting roads and transportation.

You can protect our community and earn my support by limiting the heights of all buildings in the Westbard sector to 50 feet, and limiting the number of permitted residential units to 1,600, which is already 500 over the current allowable capacity.

I expect you as a County leader or representative to represent my voice. I expect your action and your support. Thank you.

Regards,
Patricia Caldwell
5308 Briley Pl
Bethesda, MD 20816



LITTLE FALLS WATERSHED ALLIANCE

EDUCATION - ACTION - STEWARDSHIP

4920 Dorset Avenue, Chevy Chase, MD 20815

www.lfwa.org

November 23, 2015

Via Email to Casey.Anderson@mncppc-mc.org

Mr. Casey Anderson, Chair, and
Members of the Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20912

RE: Comments by the Little Falls Watershed Alliance ("LFWA") about Requests for Revisions to the August 2015 Public Hearing Draft of the Westbard Sector Plan ("Sector Plan") for Planning Board Review at the December 3, 2015 Worksession

Dear Chairman Anderson and Members of the Planning Board:

This letter is to follow up our letter of March 27, 2015 and our testimony at the public hearing on September 24, 2015 in which the Little Falls Watershed Alliance ("LFWA") expressed our views and environmental concerns with regard to the Westbard Sector Plan.

LFWA thanks you and the Planning Board staff for the environmental provisions of the Sector Plan. We appreciate and publically acknowledge that **the Board staff listened to the community and developed an innovative approach that makes the Willett Branch the central, organizing principal of the Sector Plan.**

We strongly support the staff draft that addresses some of the problems in the Willett Branch. The staff draft provides:

- 1) **Willett Branch stream naturalization** with pedestrian paths and public use natural spaces;
- 2) **A walkable green ribbon along the Willett Branch** connecting the Capital Crescent Trail and Little Falls Park;
- 3) Making the **Willett Branch an urban stream valley park**, thus insuring the protection and maintenance of the stream for future generations;
- 4) Keeping existing **100 foot stream buffers** and restoring buffers where possible;
- 5) Establishing a long-term goal of **daylighting and naturalizing** as much of the Little Falls Watershed creeks as possible;
- 6) Providing for **green spaces**, green buffering zones and parks within the Sector;
- 7) **Eliminating the current trash-filled open dump** that the Willett Branch has become; and

8) **Additional trees** to provide shade over streets and parking lots.

Following are the LFWA comments about specific issues and properties within the Plan.

Kenwood Station/Whole Foods Property

LFWA supports designating a 100 foot buffer along the Willett Branch as it passes this property and using that strip for future community open space. Buffering streams is the best and sometimes the only method of protecting water quality; buffers and stream naturalizing are green technologies that improve water quality. We understand that at the November 19, 2015 public meeting the Board accepted the staff recommendation for height at this property in return for keeping the 100 foot buffer. **LFWA supports restricting future development within the Whole Foods parking lot, as outlined in the staff draft Plan, to the State mandated 100 foot stream buffer for the Willett Branch.**

Westwood II Property

We understand that the owner, Equity One, has stated that it does not support daylighting the Willett Branch across the Westwood II property. Our first comment is that the Branch is currently open to the daylight as it passes through the Westwood II property to the east of Ridgefield Road and south of River Road except for the portion of the branch entering from the west that passes under the Westwood II parking lot. **For the portion of the stream that passes under River Road onto the Westwood II property and that portion of the stream that flows under the Westwood II parking lot from the west, we believe that it is essential that the stream be improved and naturalized as much as possible.** The staff draft proposal will improve water quality and provide a benefit to the owner and the public while improving stream flow and water quality. The public and private benefit is an attractive waterfall with a touch of natural beauty near the corners of Ridgefield and River Roads. Further, a close look at the concrete stream walls in this location will show that there must be repair and improvement in the stream banks to avoid future problems. Any such repairs must be considered only in conjunction with plans to naturalize and improving the creek. The creek then enters a tunnel at the American Plant Food property.

We support daylighting the stream on the west side of Ridgefield Road as it flows to the Westwood II property along River Road. There is no reason to not daylight this portion of the stream as daylighting and naturalizing the stream in this reach would have little if any impact land use as the stream flows next to River Road in that section.

American Plant Food Bridge

As you know, the Willett Branch passes under a very wide bridge that connects the American Plant Food and Jack's Roofing properties to Westbard Avenue. While we prefer removal of the bridge and naturalizing that reach of the stream, we understand total bridge removal may not be possible. The staff draft proposes reducing the width and beautifying the bridge and naturalizing the creek as it passes under the bridge. It appears that the bridge may soon need repairing; if so, it makes sense to undertake the beautifying and naturalization in conjunction with the bridge repairs. Even if bridge repair is not necessary, **the width of the bridge should be reduced, the bridge beautified, and the stream naturalized to the greatest extent possible.**

HOC Property

The County, through the Housing Opportunities Commission (“HOC”), is effectively a property owner in the sector. The HOC apartment building and property is located exactly where the Sector Plan proposes significant stream and stream side improvements. **The HOC property along the stream is currently a disgrace as it looks like an urban dump.** We understand that the County/HOC and Equity One wish to modify the stream buffers, required by State law to protect water quality. It is not enough to suggest that future reductions in buffers is justified by past decisions that contributed to the degraded status of the stream. That logic would prevent any future stream improvements. We support keeping as close to **a 100 foot stream buffer as possible along this reach of the stream and an access trail connecting the Equity One shopping center and the Capital Crescent Trail.**

We support naturalizing the stream; building a park near the HOC property and the naturalized stream; a trail along the stream; and other public amenities along the stream as proposed in the staff draft Sector Plan. As an owner, the County/HOC must be a financial participant – along with Equity One and other owners along the stream – to improve the watershed. Adjacent owners benefit from a healthy watershed. A well-designed public amenity along the creek will improve the environment most directly for the residents living in the HOC buildings.

New Road

If the Plan includes a road connecting Westbard Avenue with River Road, plans for this road should take into consideration local neighborhood views about the route of the road. The road must not take any property from the Capital Crescent Trail, not even an inch. **Any such road must meet municipal green street specifications and road design standards that are context sensitive and with effective, best-practice stormwater treatment in the right-of-way.**

Proposed Park Lands

LFWA supports the approach in the staff draft of creating small urban parks and green spaces in locations along the Willett Branch wherever feasible. We note that Figure 2.1.3: Proposed Land Uses on page 21 of the Plan showing zoning and land uses does not reflect that the Plan calls for the new stream valley park along the Willett Branch from Dorsett Avenue, under River Road to the Capital Crescent Trail as shown in Figure 2.4.2: Proposed Parks, Trails and Open Spaces on page 44 of the Plan. **We assume the omission in Figure 2.1.3 on page 21 is an error.**

Environmental Site Design and Stormwater Management

Montgomery County modern stormwater management regulations, if appropriately enforced, can improve stream water quality. Even more improvement can be obtained if owners are provided with incentives to improve on the County’s stormwater management standards. **We support granting stormwater credits to landowners who significantly contribute to improving the Willett Branch by helping to implement the Sector Plan’s vision of stream improvement.**

Past Land Use Decisions

Past Planning Board land use decisions and development activities have allowed the Willett Branch to become an open dump and source of poor water quality in the Little Falls watershed and ultimately in the Chesapeake Bay Watershed. Past land use decisions in our region have led to non-point source

contamination and reduced water quality. These decisions have led to contamination of the Chesapeake Bay, the ultimate receiving waters for all streams in the County. All sources contributing to the decline in the Bay will have to contribute to its cleanup. This cleanup will cost millions of dollars to reduce damage to the Bay and ultimately to restore water quality.

The environmental and fiscal costs of the environmentally poor land use decisions were imposed on all of us, often for the private benefit of land owners and developers. We – all of us – will have to pay to reduce the non-point source contamination that has degraded the quality of water flowing into our creeks. In particular, planning and land use decisions have made the watershed in the Sector one of the most degraded in Montgomery County. We have seen the deleterious effects of these decisions in our neighborhoods. **We recognize that land use planning and development activities in our neighborhoods have contributed to the water quality crisis in the Chesapeake Bay and degraded our environment.**

It is much better for the environment *and* more cost effective if we make sure that the built environment is designed to minimize the flow of contamination into our watersheds. Your decisions have direct effects on these environmental issues and on the costs the County will have to pay to minimize and/or treat contamination. **Why should the public pay for the costs imposed on us by private land use decisions that benefit the few?**

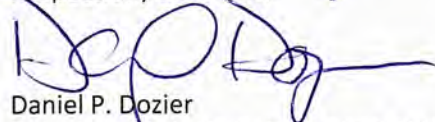
Conclusion

LFWA strongly supports improving, daylighting, and naturalizing the Willett Branch and creating and revitalizing green stream buffers, a stream-side trail, and parks along the Branch as the major amenity within the Plan.

We have two major concerns. First, that the environmental promises in the staff draft will be cut back and reduced by the Planning Board in response to private pressure. This would result in private interests trumping the public interest. Your role is to protect the public interest.

Our second concern is even if Sector Plan environmental and watershed plans in the staff draft are adopted by the Planning Board and ultimately by the County Council, we want to make sure that ‘on the ground’ decisions to implement the Plan actually happen. From difficult experience after the 1982 sector plan, which promised environmental benefits that were never implemented, we want the environmental promises contained in this Plan to become real.

Respectfully submitted



Daniel P. Dozier
President, Little Falls Watershed Alliance

cc: John Marcolene, john.marcolene@montgomeryplanning.org
Robert Kronenberg, robert.kronenberg@montgomeryplanning.org
Katherine Nelson, katherine.nelson@montgomeryplanning.org
Susanne Paul, susanne.paul@montgomeryparks.org
Marco Fuster, marco.fuster@montgomeryplanning.org
Jai Cole, jai.cole@montgomeryparks.org

JONATHAN D. BREUL
5204 Willet Bridge Court
Bethesda, MD 20816

November 20, 2015

Casey Anderson, Chair
M-NCPPC
8787 Georgia Avenue
Silver Spring, MD 20910

RECEIVED
1227
NOV 24 2015

OFFICE OF THE CHAIRMAN
THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Mr. Anderson:

I support a revised Westbard Sector Plan that includes a naturalized Willett Branch. The Sector Plan must take into account the carrying capacity of our local environment and address the ecological damage that over 70 years of unsustainable development has caused and not simply focus on slowing down degradation. The current creek is shameful. The walls are covered in graffiti and the banks are lined with trash. It flows behind buildings and goes underground through concrete tunnels where it is out of sight and out of mind. But it should not be that way.

The environmental planners have come up with an innovative design that makes the creek a unifying feature for the community – a place where people can walk, enjoy nature and congregate. Instead of turning their back to the creek, new development will embrace the creek as part of their open space making the Westbard Sector a show place for the County.

Moving forward, the Sector Plan must have effective storm water management, using 'green' technology to the greatest extent possible to reduce and eliminate harmful storm water runoff. Impervious surfaces in Westbard must be reduced in the redevelopment areas owned by Equity One and other covered in the Sector Plan. Please vote to support the Westbard Sector Plan's strong environmental component and a naturalized Willett Branch.

Sincerely,

Jonathan D. Breul

MCP-CTRACK

RECEIVED
1228

NOV 24 2015

From: Norman G. Knopf <knopf@knopf-brown.com>
Sent: Monday, November 23, 2015 6:20 PM
To: MCP-Chair
Cc: Rubin, Carol; Kronenberg, Robert; knopf@knopf-brown.com
Subject: Westbard Sector Plan Washington Episc. School-URGENT

OFFICE OF THE CHAIRMAN
THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

Dear Chair Anderson and Members of the Board,

Attached please find a letter concerning a very important matter raised at the last Westbard Plan work session that needs immediate attention.

Thank you.

Norman Knopf

LAW OFFICES OF

KNOPF & BROWN

401 EAST JEFFERSON STREET
SUITE 206
ROCKVILLE, MARYLAND 20850
(301) 545-6100

FAX: (301) 545-6103

E-MAIL KNOPF@KNOPF-BROWN.COM

WRITER'S DIRECT DIAL
(301) 545-6104

NORMAN G. KNOPF

November 23, 2015

MCP-Chair@MNCPPC-mc.org

Casey Anderson and Members of the Board
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, Maryland 20910

RE: **Westbard Sector Plan- Washington Episcopal School/Senior Housing Property**

Dear Chair Anderson and Members of the Board,

During the work session on the Westbard Sector plan draft on November 19th, I raised the question of what effect the proposed zoning for the Washington Episcopal School (WES) property would have on the binding elements imposed by the County Council in its previous approval of WES's application for a Local Map Amendment for PD-28 zoning , permitting development of the property for a school and for senior housing. The Citizens Coordinating Committee and its constituent 19 association members , which I represented in the local map amendment process, worked closely with the applicant and supported the Local Map Amendment based upon the development being subject to numerous binding elements deemed essential for the protection of the surrounding communities. These binding elements range from caps on school enrollment, school drop off and pick-up vehicle circulation patterns, and funding of a traffic light at Landy Lane and River Road , to the requirement that the housing be for seniors.

In response to my inquiry, staff stated that the Sector Plan's zoning for the site would have no effect on the binding elements as they all would remain operative. *However, after the work session, Carol Rubin, Esq. and Robert Kronenberg advised me that this response was their preliminary understanding but that additional research would be necessary to confirm it.* They promised to address it after the Thanksgiving holiday.

Based on my research, I have concluded that the Sector Plan's zoning of the property will eliminate the applicability and enforceability of the binding elements unless the Board takes clear and specific action.

Section 59.7.7.1 B 5 (Page 7-40) of the Zoning Code provides that:

"a. Any development allowed on property where the zoning classification on October 29, 2014 was the result of a Local Map Amendment must satisfy any binding elements until:

i. the property is subject to a Sectional Map Amendment that implements a master plan approved after October 30 2014:" (Emphasis added.)

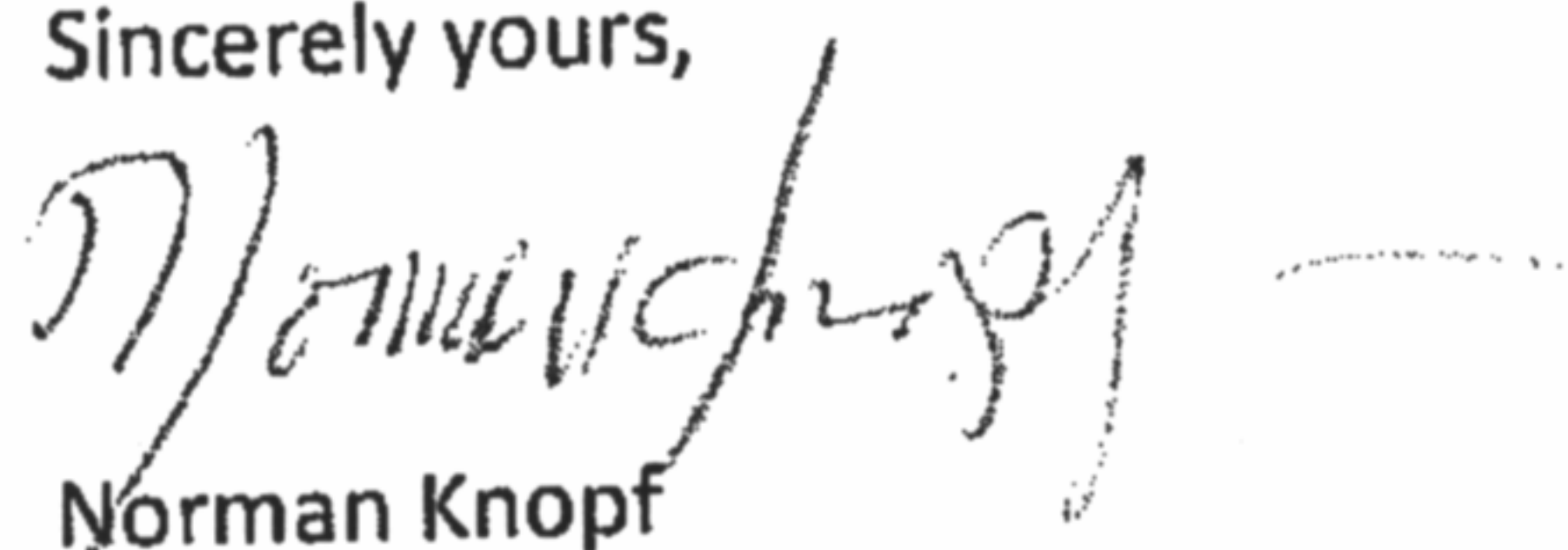
My understanding of this provision is that the binding elements imposed by the County Council in 2008 as necessary for the approval of PD-28 zoning by Local Map Amendment remained fully in effect after October 30, 2014 when the County adopted a new zoning code and converted classifications throughout the County in accordance with that code. However, as the above provision provides, those binding elements no longer must be satisfied once the property is subject to a Sectional Map Amendment implementing a master plan, which is exactly what will occur with the adoption of the Westbard Sector Plan.

Accordingly, to preserve the binding elements, the WES property must remain zoned PD-28 in the Sector Plan with a notation that all of the binding elements remain in effect that were part of the Council's original approval of the zone. If another zone under the new zoning code is placed on the property, language in the Sector Plan must clearly provide the development of the property is subject to and bound by each of the binding elements set for the in the predecessor PD-28 zoning approval. If there is any uncertainty as to whether such language will be effective and in guaranteeing implementation of the binding elements, PD-28 rezoning must remain.

This is a matter great concern to the residents of the area and the site is the subject of pending site and subdivision applications. It is requested that this matter be discussed and resolved at the Board's next work session.

Thank you for consideration of this matter.

Sincerely yours,


Norman Knopf

CC: Carol Rubin, Esq., Carol.Rubin@montgomeryplanning.org
Robert Kronenberg , Robert.Kronenberg@ Montgomeryplanning.org