



Item # 11
MCPB 10/23/03

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

MEMORANDUM

DATE: October 17, 2003
TO: Montgomery County Planning Board
VIA: Joseph R. Davis, Chief JRD
Michael Ma, Supervisor
Development Review Division
FROM: Robert A. Kronenberg, RLA RAK
Planning Department Staff
(301) 495-2187

REVIEW TYPE: Site Plan Review
APPLYING FOR: C-1 Zone; 2.04 Acres Property
14, 000 sf of Commercial Retail and 3, 200 sf bank, including drive-in
PROJECT NAME: Colesville Eckerd Drug Store #6328
CASE #: 8-02032A
REVIEW BASIS: Site Plan Review Required in the C-1 Zone, Article 59-C-341.2
Site Plan Review Required for commercial properties adjacent to
residentially zoned properties, Zoning Regulations 59-E-2.81

ZONE: C-1 Commercial
LOCATION: Colesville
Northeast intersection of New Hampshire Avenue and Wolf Drive
MASTER PLAN: White Oak
APPLICANT: Chevy Chase Bank
FILING DATE: July 31, 2003
HEARING DATE: October 23, 2002

STAFF RECOMMENDATION: Approval of a 14, 000 sf commercial retail building and 3, 200 sf bank, including drive-in, with the following conditions:

1. Signature Set
Prior to signature set approval of the site/landscape plans the following revisions shall be made and/or information provided, subject to staff and approval:
 - a. Show all easements, Limits of Disturbance, Rights-of-way, Stormwater Management Parcels, development program inspection schedule, numbers and dates of approval on the drawing;
 - b. All internal sidewalks to be a minimum of 4' in width;
 - c. All conditions of approval from the original site plan for the Colesville Chevy

Chase Bank (#8-02032) remain in full force and effect, unless otherwise amended by this site plan amendment [Appendix B];

- d. Identify and label the existing 6-foot bike path (PB-24, Class III) along New Hampshire Avenue. Replace the asphalt patches with concrete sections, minimum 5-foot sections;
- e. Provide a parking facilities plan for the Phase I and II developments identifying the parking spaces allocated for the bank;
- f. Provide details of the dumpster enclosure. Enclosure to be similar in material to the façade of the proposed building;
- g. Provide an additional striped island for the parking space located with the concrete pad at the southeastern end of the building;
- h. Landscape and Lighting Plan to show the following:
 - i. Provide a lighting distribution plan showing details and specifications for lighting fixtures (fixtures, cut sheets, wattage, illumination summary, pole height, deflector shields); lighting levels shall follow the Illuminating Engineering Society of North America (IESNA), Lighting for Parking Facilities, RP-20-98, which recommends that light levels in parking lots where enhanced security is desired, not exceed a 15:1 Maximum to Minimum Uniformity Ratio;
 - ii. Distribution Plan to include any wall pack or wall mounted fixtures on the proposed building;
 - iii. Distribution Plan to include safety lighting methods to address after-hour lighting distribution;
 - iv. Light poles not to exceed 18 feet in height, except on the eastern boundary, adjacent to the residential neighborhood, which shall not exceed 14 feet in height;
 - v. All light fixtures shall be full cut-off fixtures;
 - vi. Deflectors to be installed on all fixtures causing potential glare or excess illumination, specifically on the adjacent residential property to the east;
 - vii. Illumination levels not to exceed 0.5 footcandles (fc) at any property line abutting a residential zone;

2. Site Plan Enforcement Agreement

Submit a Site Plan Enforcement Agreement, Development Review Program and Homeowners Association Documents for review and approval prior to approval of the signature set as follows:

- a. Development Program to include a phasing schedule as follows:
 - i. Street tree planting and streetscape must progress as street construction is completed, but no later than 6 months after completion of the units and parking;
 - ii. Clearing and grading to correspond to the construction phasing, to minimize soil erosion;
 - iii. Coordination of each section of the development and roads;
 - iv. Phasing of dedications, stormwater management, sediment and erosion control, public use spaces and amenities or other features;
- b. No clearing or grading prior to M-NCPPC approval of signature set of plans.

3. Stormwater Management
Conditions of MCDPS stormwater management concept approval dated September 7, 2003 [Appendix A].
4. Transportation Planning
 - a. Applicant to comply with the MNCPPC Transportation Planning Memorandum recommendations dated October 17, 2003. [See Appendix A]
 - b. Applicant to close the existing commercial entrance on New Hampshire Avenue, in accordance with MDSHA letter dated September 17, 2003 [Appendix A];
 - c. The revised transportation planning agreement [Appendix B] with the applicant to use pass-by trips and revised trip credits of 18 new and diverted AM peak hour trips and 75 new and diverted PM peak hour trips, for weekdays. This trip credit would allow the construction of 14,000 sf of general retail space without a supermarket. No additional development is permitted on this site.

SUMMARY OF ISSUES:

During the course of site plan review and discussion, staff and the applicant reviewed the building location, access to and from the site, screening of adjacent properties and lighting distribution. The purpose of this amendment is for the increase in square footage for the commercial retail space as it relates to the trips generated for the previous Safeway building. The design and circulation was revised to accommodate a new building configuration. Design and placement of parking spaces was studied for adaptability to the site and more efficient vehicular circulation within the site. Additional landscaping was provided within the 25-foot buffer area for a more efficient screen of the building and parking to the adjacent residential properties.

Consistent with the previous decision by the Planning Board for the bank and commercial/retail space, applicant installed an 8-foot wood fence at the request of the neighboring community. The applicant also razed the existing Safeway prior to occupying the bank. Additionally, the proposed landscaping within the entire 25-foot buffer strip was installed in conjunction with the construction of the bank. The neighboring community testified at the previous hearing on two specific issues: Traffic generation, which related to the demolition of the Safeway building and additional screening along the eastern residential boundary.

The transportation planning agreement [Appendix A] was revised to use pass-by trips and revised trip credits of 18 new and diverted AM peak hour trips and 75 new and diverted PM peak hour trips, for weekdays. This trip credit permitted the construction of 14,000 sf of general retail space without a supermarket. No additional development is permitted on this site.

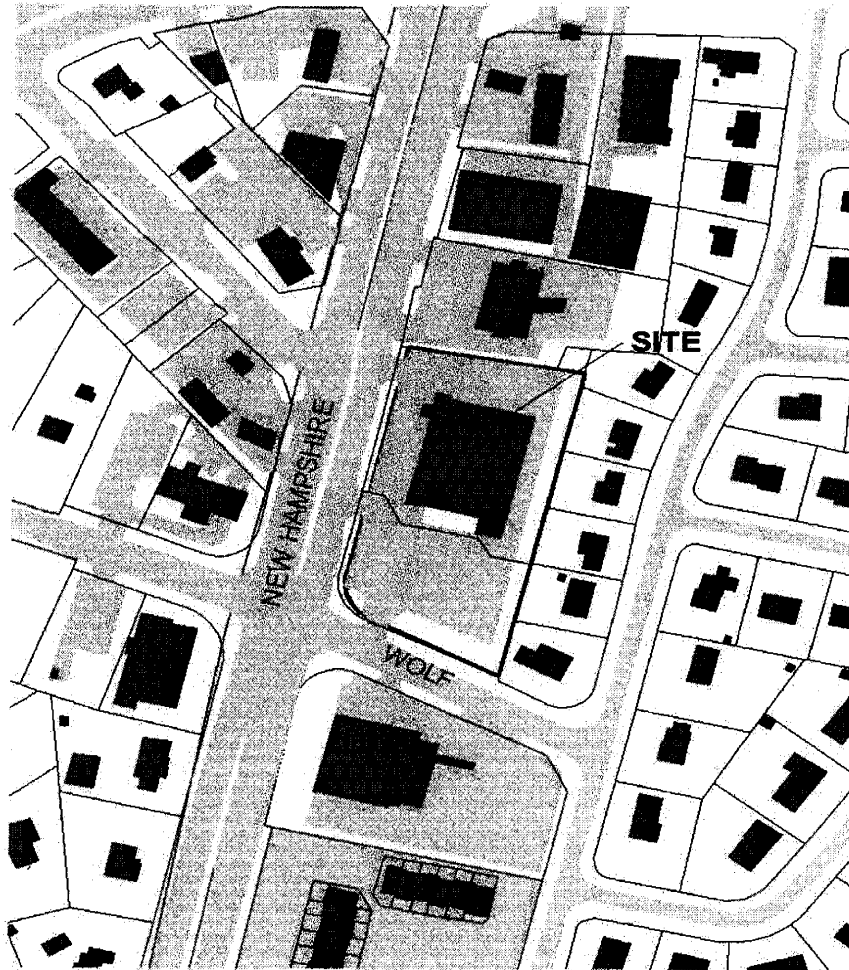
The community requested that the original applicant remove the existing dilapidated wood fence and replace it with an 8-foot board-on-board wood fence. A variance is required for a fence over 6.5' in height. The applicant requested and received support from the community to pursue a variance to install the 8-foot fence. A variance was granted by the Montgomery County Board of Appeals. Care was also taken for the existing Cypress hedge with the installation of the fence. The 25-foot buffer of additional plantings has been completed with the completion of the bank facility.

PROJECT DESCRIPTION: Surrounding Vicinity

The subject property is located at the northeast corner of New Hampshire Avenue (MD 650) and Wolf Drive, approximately 500 feet south from the intersection of East Randolph Road and New Hampshire Avenue. Access into the site from New Hampshire Avenue is limited to one right-in and right-out only entrance and exit. The new entrance on Wolf Drive is approximately 150 feet east from the intersection at New Hampshire Avenue.

The adjacent commercial properties to the north and west across New Hampshire Avenue are zoned C-1 and consist of retail, office and banking facilities. The adjacent subdivision to the east (Carole Acres P.B. 76, P. 7496) and the post office south across Wolf Drive is zoned R-90.

The intersection of Randolph Road and New Hampshire Avenue consists of a mix of commercial and retail uses, surrounded on the outskirts by a mix of residential uses, primarily single-family detached home



PROJECT DESCRIPTION: Site Description

The site was previously occupied by an existing one level Safeway building and parking but was removed prior to the occupancy of the bank site. The bank, including the drive-through and parking was recently constructed, as depicted in Phase I of the original site plan. The 25-foot planted buffer and 8-foot tall wood fence along the eastern edge has also been installed consistent with the original site plan.

The property presently has one access point from New Hampshire Avenue and an additional entrance from Wolf Drive. Access to the site is restricted to right-in, right-out turning movements due to concrete medians prohibiting left turns from New Hampshire Avenue. There is a dedicated left turn lane from MD 650 onto Wolf Drive.

This 2-acre site is part of Parcel A, Block C of Carole Acres subdivision. The frontage of the property contains a 6-foot wide concrete and asphalt sidewalk with minimal street tree planting. The sidewalk also serves as a planned Class III bikeway (PB-24).

The overall slope of the property is approximately 5% from the residential neighborhood toward New Hampshire Avenue.



PROJECT DESCRIPTION: Proposal

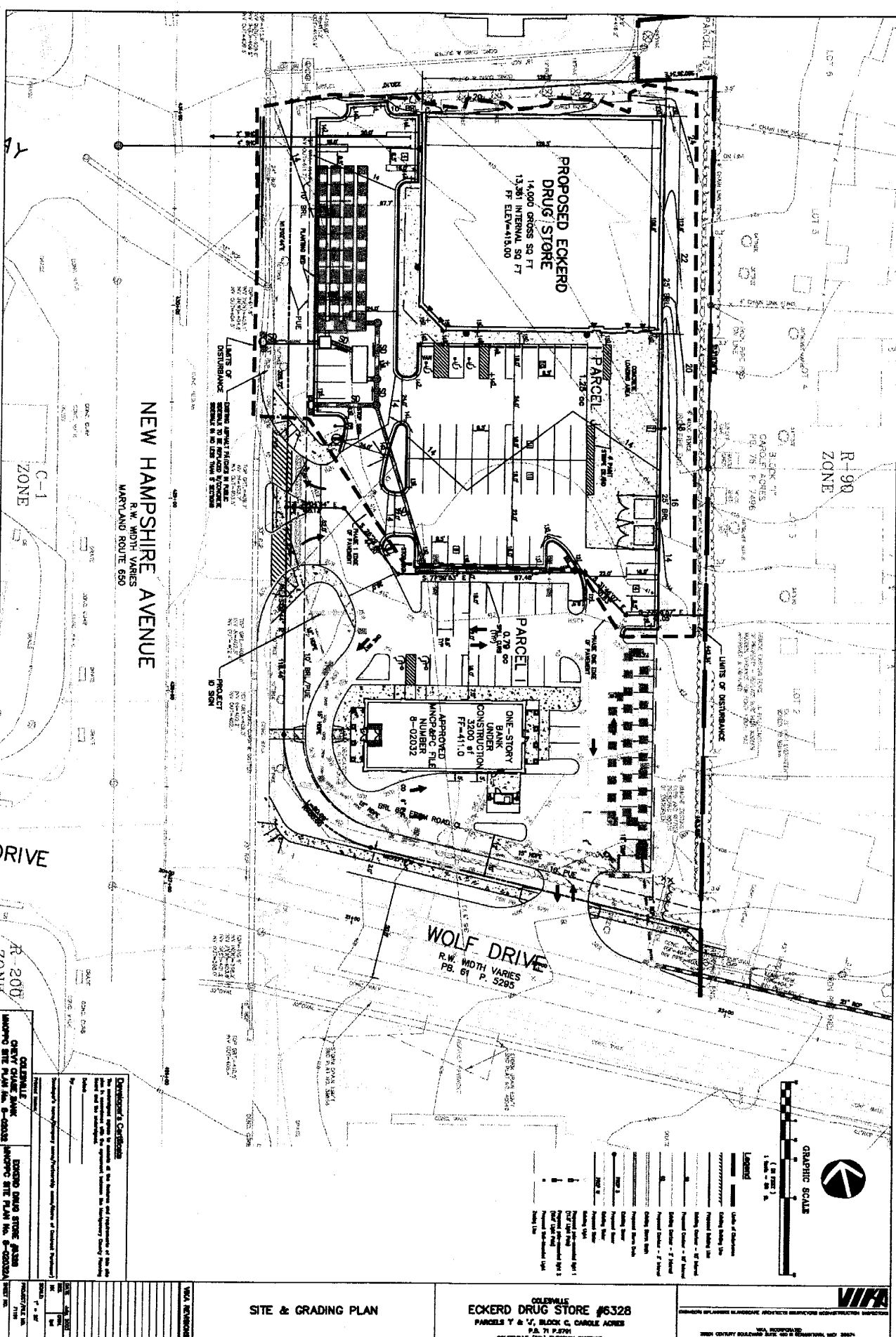
The current proposal for this site plan amendment consists of an existing 3,200 s.f. bank site, including a drive-in. The bank site, including the drive-in, is located on a separate pad site to the south of the proposed retail building. The bank was constructed as part of Phase I and the retail building will be constructed under Phase II. This amendment to the site plan is to increase the square footage of the retail use from 11,000 sf to 14,000 sf. An amendment to the approved site plan was anticipated during review of the original application.

The transportation planning agreement [Appendix A] was revised to use pass-by trips and revised trip credits of 18 new and diverted AM peak hour trips and 75 new and diverted PM peak hour trips, for weekdays. This trip credit permitted the construction of 14,000 sf of general retail space without a supermarket. No additional development is permitted on this site.

Vehicular circulation into the site consists of a limited single access from New Hampshire Avenue and a reconstructed two-way access point from Wolf Drive. Vehicular circulation for the bank site will consist of a one-way entrance on the western perimeter to serve the drive-in and parking, with drive aisles around the remainder of the building. Additional handicapped-accessible spaces are clearly marked with walkways into each building. Pedestrian circulation into the site will be improved with lead walks into the site and clearly marked crosswalks from New Hampshire Avenue. A 5-foot sidewalk connects the new development with the neighboring community on the north side of Wolf Drive. Each access point serving the site will also be clearly marked with painted crosswalks for pedestrian movement.

Landscaping consists of shade trees within the parking lot and a mix of evergreen, ornamental and shade trees on the northern and eastern perimeters of the property. An 8-foot board-on-board fence replaced the existing 6-foot wood fence to screen the adjacent residential properties to the east. The original applicant for the bank was granted a variance to construct an 8-foot wood fence, as opposed to the standard 6.5-foot fence. Landscaping for the entire eastern perimeter was installed in the 25-foot buffer strip to add to the screening during Phase I Shrub massing, in conjunction with the shade trees will assist in providing a necessary screen along New Hampshire Avenue. The streetscape for the commercial properties along New Hampshire Avenue will continue with the replacement of the damaged Bradford Pears with new street trees. Lighting was reviewed for conformance to guidelines for parking facilities and adverse effects on adjacent residential properties. The applicant has reduced the pole height to 18 feet on the site from the existing conditions. The poles in the eastern corner will be lowered to 14 feet and equipped with deflector shields to avoid any negative glare or excess illumination on the adjacent residential property. Lighting and landscaping conforms to the original site plan approval.

Storm Water Management Concept for the Site Plan was approved on May 11, 2001 and re-approved on September 7, 2003 for Phase II by the Montgomery County Department of Permitting Services.



NEW HAMPSHIRE AVENUE
R.W. WIDTH VARIES
MARTLAND ROUTE 650

WOLF DRIVE
R.W. WIDTH VARIES
PB. OF P. 5295

PROPOSED ECKERD
DRUG STORE
14,000 GROSS SQ FT
13,361 INTERNAL SQ FT
FT. ELEV.=415.00

APPROVED
ANNUAL FILE
NUMBER
9-02032

R-98
ZONE

C-1
ZONE

DATE: 11/18/80

DESIGNER: COLLETTA / CHRYSLER BANK

PROJECT: ECKERD DRUG STORE #6328

APPROVED SITE PLAN NO.: 9-02032

DATE: 11/18/80

SCALE: 1/8" = 1'-0"

PROJECT NO.: 1181

DATE: 11/18/80

DATE: 11/18/80

SCALE: 1/8" = 1'-0"

PROJECT NO.: 1181

DATE: 11/18/80

DATE: 11/18/80

SCALE: 1/8" = 1'-0"

PROJECT NO.: 1181

DATE: 11/18/80

SITE & GRADING PLAN

COLLETTA / CHRYSLER BANK
ECKERD DRUG STORE #6328
PARCELS I & II, BLOCK C, CHARLE ACRES
COLUMBIA, MD. 21046

GRAPHIC SCALE

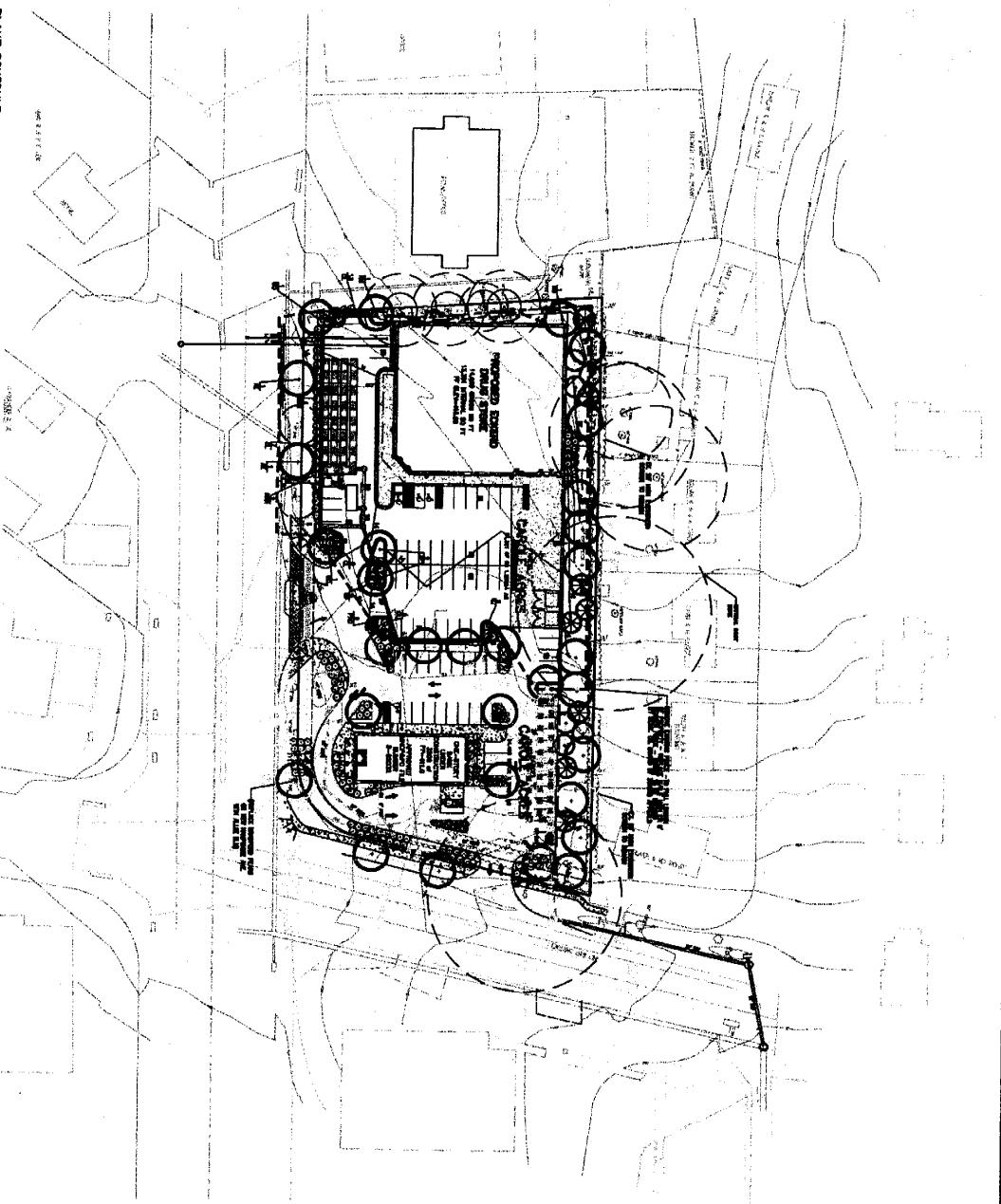
1" = 100'

1/8" = 12.5'

1/16" = 6.25'

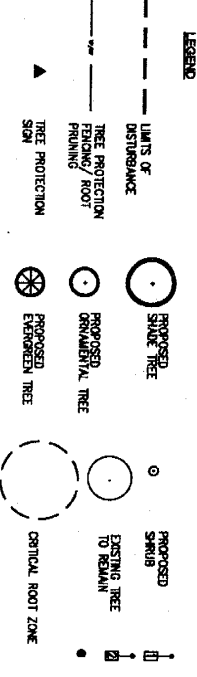


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PLANT SCHEDULE

NO.	QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	COMMENTS
1	1	(Symbol)	Proposed Shade Tree		1 1/2" - 2" dbh
2	1	(Symbol)	Proposed Ornamental Tree		1 1/2" - 2" dbh
3	1	(Symbol)	Proposed Evergreen Tree		1 1/2" - 2" dbh
4	1	(Symbol)	Proposed Shrub		1 1/2" - 2" dbh
5	1	(Symbol)	Proposed Existing Tree		1 1/2" - 2" dbh
6	1	(Symbol)	Proposed Critical Root Zone		1 1/2" - 2" dbh
7	1	(Symbol)	Proposed Pole-mounted Light 1 (11.5' Light Pole)		1 1/2" - 2" dbh
8	1	(Symbol)	Proposed Pole-mounted Light 2 (15.0' Light Pole)		1 1/2" - 2" dbh
9	1	(Symbol)	Proposed Wall-mounted Light		1 1/2" - 2" dbh
10	1	(Symbol)	Proposed Tree Protection Sign		1 1/2" - 2" dbh



FOREST CONSERVATION WORKSHEET

- ANNOTATE**
1. NAME OF TREE
 2. DATE OF TREE
 3. DBH OF TREE AT BREAST HEIGHT
 4. HEIGHT OF TREE
 5. SPECIES
 6. CONDITION
 7. COMMENTS
 8. TREE PROTECTION FENCING
 9. TREE PROTECTION SIGN
 10. TREE PROTECTION LIGHT
 11. TREE PROTECTION SIGN
 12. TREE PROTECTION SIGN
 13. TREE PROTECTION SIGN
 14. TREE PROTECTION SIGN
 15. TREE PROTECTION SIGN
 16. TREE PROTECTION SIGN
 17. TREE PROTECTION SIGN
 18. TREE PROTECTION SIGN
 19. TREE PROTECTION SIGN
 20. TREE PROTECTION SIGN

COLLECTIVE

1. DATE OF FOREST CONSERVATION WORKSHEET

2. NAME OF FOREST CONSERVATION WORKSHEET

3. NAME OF FOREST CONSERVATION WORKSHEET

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15. NAME OF FOREST CONSERVATION WORKSHEET

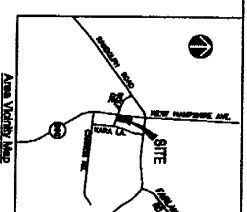
16. NAME OF FOREST CONSERVATION WORKSHEET

17. NAME OF FOREST CONSERVATION WORKSHEET

18. NAME OF FOREST CONSERVATION WORKSHEET

19. NAME OF FOREST CONSERVATION WORKSHEET

20. NAME OF FOREST CONSERVATION WORKSHEET



LANDSCAPE/ FOREST CONSERVATION PLAN

COLESHVILLE ECKERDT DRUG STORE #6328
 PARCELS T & Y, BLOCK C, CARROLL ACRES
 P.L. 71 P.5791
 COLESHVILLE (300) ELECTRON DISTRICT
 HORTHURST COUNTY, MARYLAND

COLESHVILLE CHERRY CHASE BLANK
 WASHINGTON SITE PLAN NO. S-60032

DATE	10/20/01
SCALE	1" = 20'
DRAWN BY	...
CHECKED BY	...
APPROVED BY	...
DATE	10/20/01

VIFA
 VISTA FOLIAGE ARCHITECTS & LANDSCAPE ARCHITECTS
 1000 CENTURY HILLWAY ALEXANDRIA, VA 22304
 (703) 499-8000
 GREENVILLE, VA GREENVILLE, VA

PROJECT DESCRIPTION: Prior Approvals

The subject property is a recorded parcel (Part of Parcel A, Block C) within the Carole Acres Subdivision.

Prior to the subject amendment, the site was approved for 3,200 sf of bank, including drive-in facility and 11,000 sf of retail, Site Plan #8-02032 on October 21, 2002.

ANALYSIS: Conformance to Master Plan

The proposal conforms to the 1997 Approved and Adopted White Oak Master Plan recommendations for environmental management and land use. The subject site is specifically defined as part of the "Colesville Community", which is in the northern portion of the Master Plan area.

Land Use

This property is located at the intersection of Wolf Drive and New Hampshire Avenue. Numerous commercial and retail businesses operate in this vicinity, especially to the north at the Randolph Road, New Hampshire Avenue intersection.

The Master Plan provides guidance for improving streetscapes along New Hampshire Avenue, improving buffer areas for adjoining residential properties and improving pedestrian access to residential properties from New Hampshire Avenue.

The proposed building will enhance the area and site and will be compatible with the surrounding neighborhood. The landscaping, screening and subsequent site improvements will significantly enhance the overall appearance visual quality of the area.

Environmental

The subject site meets all of the requirements for forest conservation on-site, and the proposed structures will not impact any forest or specimen trees.

ANALYSIS: Conformance to Development Standards

PROJECT DATA TABLE

<u>Development Standard</u>	<u>Permitted/ Required</u>	<u>Proposed</u>
Lot Area (ac.):		2.04 acres
Pcl I (bank site-Phase I = 0.79 ac.)		
Pcl J (Eckerd-Phase II = 1.25 ac.)		
Green Area (%):	10%	32%
Impervious Area (%):		76%
Building Height (ft.)	30	*35'-4"
Parking Setbacks (ft.):		
From R/W	10	10
From residential (R-90 Zone)	25	25
Side	4	4
Building Setbacks (ft.):		
From R/W on Master Plan	10	66.7
Rear (from adjacent residential)	25	26
Side (no yard except where yard Is provided)	10	10.3/92.3
Parking:		
Office (bank) 3,200 s.f. (2.9 sp./1000sf)	9	32
Retail 14, 000 sf	<u>70</u>	<u>66</u>
Total	79	102
		(includes 5 hc)

*The Montgomery County Zoning Ordinance (Chapter 59-C-4.342) provides for an increase to 45' from the average elevation of finished grade surface along the base of the front, rear and sides of the building to the highest point of roof surface of a flat roof; and between the mean height level between eaves and ridges of a gable, hip or gambrel roof. The building height proposes 25'-6" to the parapet and 35'-4" to the peak of the gable.

FINDINGS for Site Plan Review:

1. The site plan is consistent with an approved development plan or a project plan for the optional method of development, if required. None required.
2. The site plan meets all of the requirements of the zone in which it is located.

See Project Data Table above.

3. The locations of the buildings and structures, the open spaces, the landscaping, recreation facilities, and the pedestrian and vehicular circulation systems are adequate, safe and efficient.

a. Location of Buildings

The existing bank site, including a drive-in and proposed commercial retail building, is oriented in a safe and efficient manner. The buildings are located as close to New Hampshire Avenue as possible for visibility and access, creating a more compatible situation to the adjacent residential community. Also, consistent with the original site plan, the existing Safeway building was removed prior to occupancy of the bank site.

b. Open Spaces

The Stormwater Management Concept for the proposed development was approved with conditions by the Montgomery County Department of Permitting Services (DPS) on May 11, 2001 and re-approved for Phase II on September 7, 2003.

c. Landscaping and Lighting

The 32 percent of green space proposed on the property surpasses the required 10 percent. The green space will include landscaping, grass and buffer areas within the parking facility and on the perimeter of the property. A 25-foot buffer strip with planting separating the proposed parking and residential properties was installed during the construction of the bank facility.

Landscaping on the site consists of shade trees within the parking area to create a cooling effect in the summer heat. A mixture of evergreen and deciduous trees, as well as shrub massing provides screening from adjacent residential properties within the 25-foot buffer strip. An 8-foot board-on-board fence replaced the existing stockade fence on the eastern boundary of the site to provide additional screening for the residential property, consistent with requests from the community.

Exterior lighting is proposed for the building and the ancillary parking area. Lighting was reviewed for safety and conformance to parking standards for commercial properties. Pole heights have been limited to 18 feet, except along the eastern boundary where the pole height is limited to 14 feet. Deflector shields will also be required to mitigate any negative glare or illumination on adjacent properties, specifically the residentially zoned properties of Carole Acres Subdivision.

e. Vehicular and Pedestrian Circulation

Vehicular and pedestrian circulation is safe and efficient and provides improved turning movement within the site.

There is two access points into the site: one from New Hampshire Avenue and one from Wolf Drive. Vehicular circulation has been improved with a relocated and more defined one-way out turning movement from New Hampshire Avenue. The two-way access point from Wolf Drive has been relocated for safety and efficiency considerations. Internal circulation will consist of one-way movement for the drive-in and two-way vehicular movement for the remainder of the parking lot. Additional handicapped-accessible spaces are being provided. Pedestrian circulation into the site has been improved with lead walks into the site and clearly marked crosswalks on New Hampshire Avenue. Each access point serving the site will also be clearly marked with painted crosswalks for pedestrian movement.

4. Each structure and use is compatible with other uses and other site plans and with existing and proposed adjacent development.

The relationship of the building is consistent with the surrounding commercial and retail uses. The activity associated with the existing bank facility and the proposed retail building will not cause any negative effect on the adjacent properties.

Landscaping within and around the site will significantly enhance the visual quality of the site and overall appearance of the road intersection.

Light poles and fixtures will be relocated and the pole height will be reduced to prevent glare or negative illumination on adjacent properties to the east.

5. The site plan meets all applicable requirements of Chapter 22A regarding forest conservation.

Forest conservation requirements, including credit for trees and landscaping is being mitigated on site within the parking islands and the 25 foot buffer area.

APPENDIX

- A. Documentation and memos from supporting agencies
- B. Opinion from original site plan #8-02032

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