



MONTGOMERY COUNTY PLANNING BOARD

OPINION

DATE MAILED: June 11, 2002

SITE PLAN REVIEW #: 8-02032

PROJECT NAME: Colesville Chevy Chase Bank

Action: Approval subject to conditions. Motion was made by Commissioner Bryant, seconded by Commissioner Robinson, with a vote of 5-0, Commissioners Bryant, Robinson, Perdue, Holmes and Wellington voting for.

The date of this written opinion is June 11, 2002, (which is the date that this opinion is mailed to all parties of record). Any party authorized by law to take an administrative appeal must initiate such an appeal, as provided in the Maryland Rules of Procedure, on or before July 11, 2002 (which is thirty days from the date of this written opinion). If no administrative appeal is timely filed, this Site Plan shall remain valid until the expiration of the projects APFO agreement, as conditioned in the approval.

On June 6, 2002, Site Plan Review #8-02032 was brought before the Montgomery County Planning Board for a public hearing. At the public hearing, the Montgomery County Planning Board heard testimony and evidence submitted in the record on the application. Based on the testimony and evidence presented and on the staff report, which is made a part hereof, the Montgomery County Planning Board finds:

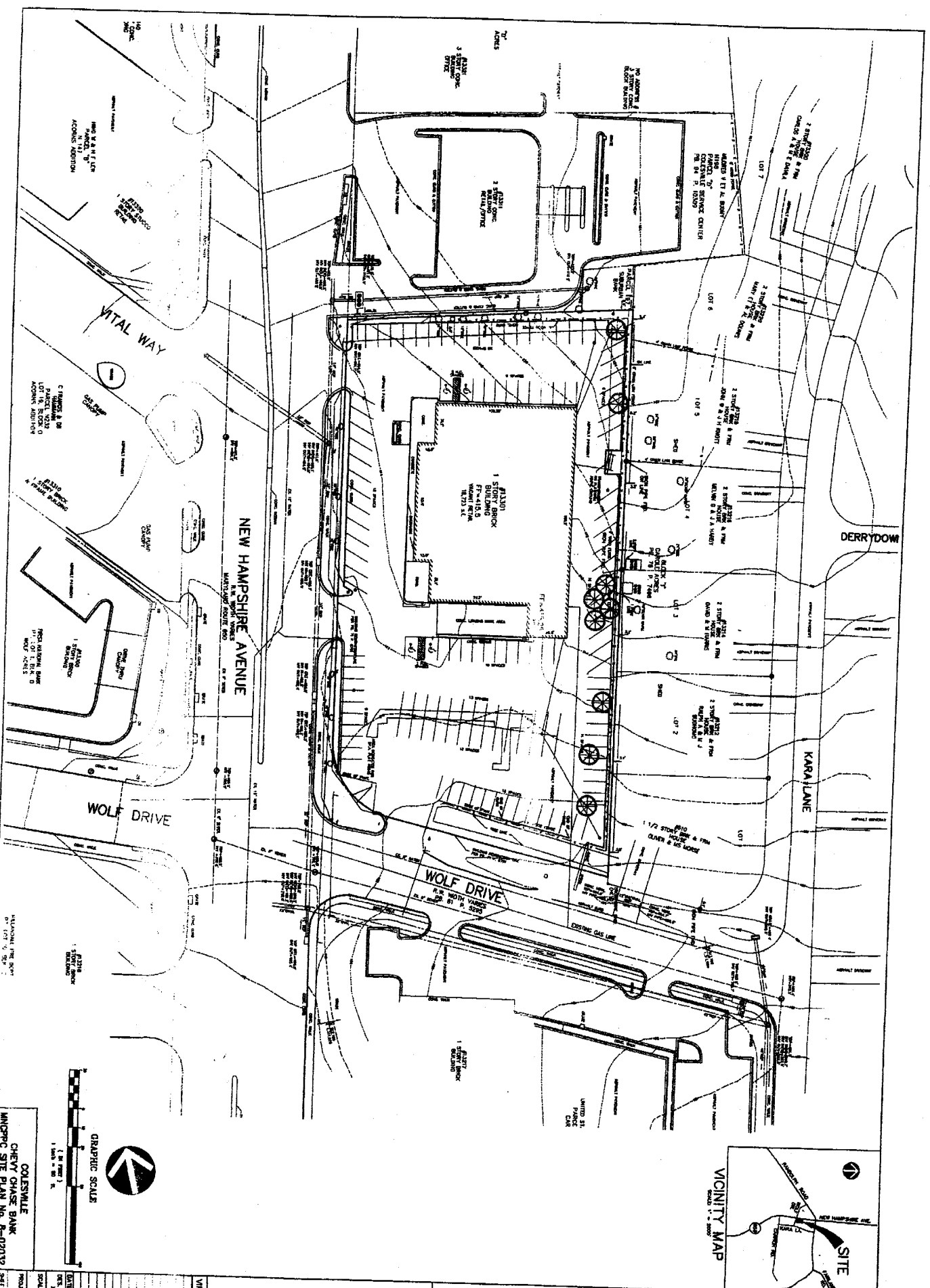
1. *The Site Plan is consistent with the approved development plan or a project plan for the optional method of development if required;*
2. *The Site Plan meets all of the requirement of the C-1 zone;*
3. *The location of the buildings and structures, the open spaces, the landscaping, and the pedestrians and vehicular circulation systems are adequate, safe, and efficient;*
4. *Each structure and use is compatible with other uses and other Site Plans and with existing and proposed adjacent development;*
5. *The Site Plan meets all applicable requirements of Chapter 22A regarding forest conservation;*

Therefore, the Montgomery County Planning Board **APPROVES** Site Plan #8-02032, consisting of a 3,200 sf commercial office building, specifically a drive-in bank and an 11,000 sf retail building in the C-1 Zone, subject to the following conditions:

1. Standard Conditions dated October 10, 1995.
 - A. Submit a Site Plan Enforcement Agreement, Development Program for review and approval prior to approval of the signature set as follows:
 1. Development Program to include a phasing schedule as follows:
 - a. Street tree planting must progress as street construction is completed, but no later than 6 months after completion of the building and parking facilities;
 - b. Clearing and grading to correspond to the construction phasing, to minimize soil erosion;
 - c. Phasing of dedications, parking commitments, stormwater management, sediment and erosion control.
 2. Site Plan Enforcement Agreement to delineate conditions of approval.
 - B. Signature set of site, landscape/lighting, forest conservation and sediment and erosion control plans to include for staff review prior to approval by Montgomery County Department of Permitting Services (DPS):
 1. Limits of disturbance;
 2. Methods and location of tree protection
 3. Conditions of DPS Stormwater Management Concept approval letter dated May 5, 2001,
 4. Note stating the M-NCPPC staff must inspect tree-save areas and protection devices prior to clearing and grading;
 5. The development program inspection schedule;
 6. Street trees 50 feet on center along all public streets;
 7. Lighting distribution plan to include details and specifications of all fixtures, as well as summary of illumination.
 - C. Forest Conservation Plan shall satisfy all conditions of approval prior to recording of plat and issuance of DPS issuance of sediment and erosion control permit.
 - D. No clearing and grading prior to M-NCPPC approval of signature set of plans.
2. Conditions of MCDPS stormwater management concept approval dated March 5, 2002.
3. Prior to signature set approval, applicant to provide the following revisions and/or information:
 - a. Show all zoning lines, easements, buffers and ROWS
 - b. Sidewalks:
 - i. All internal sidewalks to be a minimum of 4 feet in width;
 - ii. Provide painted crosswalks along New Hampshire Avenue where the sidewalk crosses the entrance;

- iii. Identify and label the existing 6-foot bike path (PB-24, Class III) along New Hampshire Avenue. Replace the asphalt patches with concrete sections, minimum 5-foot sections;
 - iv. Provide a 5-foot wide concrete sidewalk from the intersection of New Hampshire Avenue to the access point into the site from Wolf Drive.
 - c. Provide a parking facilities plan for Phase I and Phase II of development, identifying the parking spaces allocated for the bank and retail use;
 - d. Provide tree protection measures for the existing trees on the northern property line and the 42" dbh Willow Oak at the proposed Wolf Drive entrance, to ensure trees remain healthy during construction activities;
 - e. Landscape and Lighting Plan to show the following:
 - i. Provide a lighting distribution plan showing details and specifications for lighting fixtures (fixtures, cut sheets, wattage, illumination summary, pole height, deflector shields); lighting levels shall follow the Illuminating Engineering Society of North America (IESNA), Lighting for Parking Facilities, RP-20-98, which recommends that light levels in parking lots where enhanced security is desired, not exceed a 15:1 Maximum to Minimum Uniformity Ratio;
 - ii. Distribution Plan to include any wall pack or wall mounted fixtures on the proposed building;
 - iii. Distribution Plan to include safety lighting methods to address after-hour lighting distribution;
 - iv. Light poles not to exceed 18 feet in height, except on the eastern boundary, adjacent to the residential neighborhood, which shall not exceed 14 feet in height;
 - v. All light fixtures shall be full cut-off fixtures;
 - vi. Deflectors to be installed on all fixtures causing potential glare or excess illumination, specifically on the adjacent residential property to the east;
 - vii. Illumination levels not to exceed 0.5 footcandles (fc) at any property line abutting a residential zone;
 - viii. Prior to signature set approval, the applicant shall apply for a variance with the Board of Appeals to install an 8-foot board-on-board wood fence to replace the existing 6-foot stockade fence for the entire length of the eastern boundary. In the event the applicant is denied the application for the 8-foot wood fence, a 6-foot 6-inch board-on-board wood fence will be constructed in that location. Fence to be installed immediately after a decision has been rendered by the Board of Appeals. Building permits can be issued prior to a decision from the Board of Appeals.
 - ix. Provide details for the proposed 6.5-foot or 8-foot wood fence on the eastern perimeter of the site. Label the 8-foot detail to conform to the application for the variance;
 - x. Planting within the entire 25-foot buffer on the eastern perimeter to be installed prior to completion of Phase I.
4. Applicant to improve the entrance into the site from New Hampshire Avenue, consistent with MDSHA design standards and comments dated April 10, 2002. [See

- Appendix B] Applicant is limited to (1) one typical directional entrance along MD 650.
5. Applicant to close the existing entrance from Wolf Drive and replace it with an access further away from the intersection with New Hampshire Avenue, in accordance with MCDPW&T design standards.
 6. Applicant to comply with the MNCPPC Transportation Planning Memorandum recommendations dated May 30, 2002. [See Appendix B]
 7. Applicant to limit development under this Site Plan application to a 3,200 square foot Drive-in Bank facility and an 11,000 square foot general retail building. Applicant may construct additional General Retail or General Office development up to a square footage that will not generate more than 19 A.M. and 78 P.M. weekday Peak Hour Trips. Any additional development or alternative uses are subject to review and approval by the Planning Board.
 8. Prior to the Planning Board release of a building permit for the bank, the applicant shall provide staff with a copy of the application of the demolition permit to be issued by the Montgomery County Department of Permitting Services for the existing Safeway building. The building shall be demolished and all debris removed from the site prior to the applicant accepting a use and occupancy permit for the bank facility.



COLESTWILE
 CHEVY CHASE BANK
 MNCPC SITE PLAN NO. 8-02032

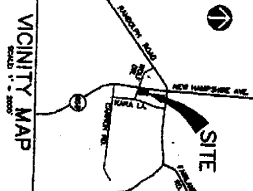


GRAPHIC SCALE
1" = 20' 0"

DATE	FILE	BY
11/11/2009	8-02032	MM
SCALE	1" = 20'	
PROJECT/FILE NO.	ASST	
SHEET NO.	2	

EXISTING CONDITIONS
 PLAN

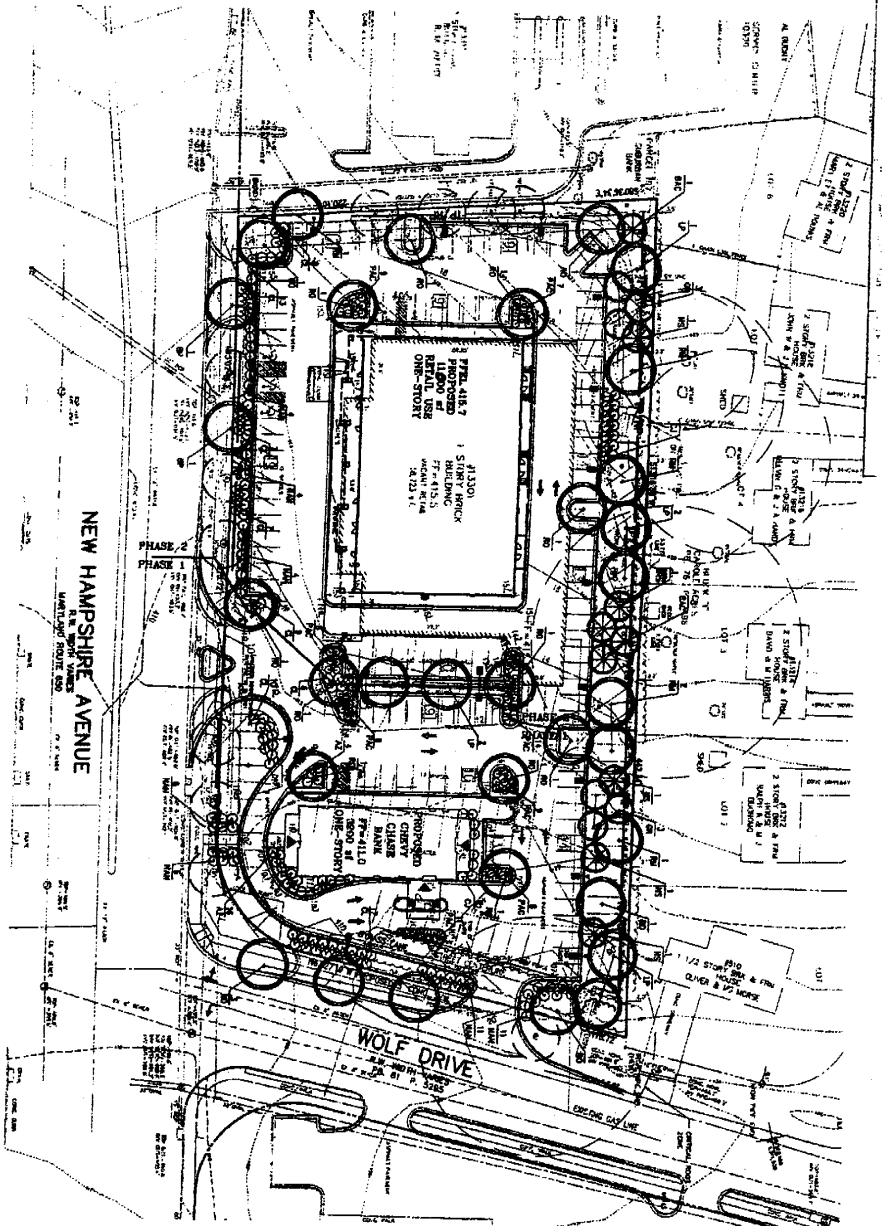
COLESTWILE
 CHEVY CHASE BANK
 COLESTWILE DISTRICT
 MONTGOMERY COUNTY, MARYLAND



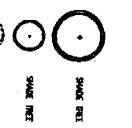
VICINITY MAP
 SCALE 1" = 2000'
 ENGINEERS & PLANNERS & LANDSCAPE ARCHITECTS & SURVEYORS & OPS SERVICES
 VIVA
 2050 CENTURY BOULEVARD SUITE 200 & GAITHERSBURG, MARYLAND 20878
 (301) 941-7100 © (301) 941-2862

PLANT SCHEDULE

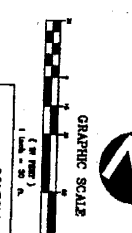
NO.	QUANTITY	SYMBOL	COMMON NAME	SIZE	COMMENT
1	20	AS	Aspen	1.5-2.0 ft.	
2	20	AL	Alumina	1.5-2.0 ft.	
3	20	AM	Amelanchier	1.5-2.0 ft.	
4	20	AR	Arbutus	1.5-2.0 ft.	
5	20	AT	Atlantic	1.5-2.0 ft.	
6	20	AV	Alder	1.5-2.0 ft.	
7	20	AW	Alder	1.5-2.0 ft.	
8	20	AX	Alder	1.5-2.0 ft.	
9	20	AY	Alder	1.5-2.0 ft.	
10	20	AZ	Alder	1.5-2.0 ft.	



PLANNING NOTES:
 1. THE PROPOSED BUILDING AND GARAGE ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE ZONING ORDINANCE OF THE DISTRICT OF COLUMBIA.
 2. THE PROPOSED BUILDING SHALL BE A TWO-STORY RESIDENTIAL BUILDING WITH A GARAGE ATTACHED TO THE REAR.
 3. THE PROPOSED GARAGE SHALL BE A SINGLE-CAR GARAGE WITH A CONCRETE FLOOR AND A GABLE ROOF.
 4. THE PROPOSED BUILDING SHALL BE SET BACK FROM THE FRONT YARD BY A MINIMUM OF 10 FEET.
 5. THE PROPOSED GARAGE SHALL BE SET BACK FROM THE REAR YARD BY A MINIMUM OF 5 FEET.
 6. THE PROPOSED BUILDING SHALL BE SET BACK FROM THE SIDE YARD BY A MINIMUM OF 5 FEET.
 7. THE PROPOSED GARAGE SHALL BE SET BACK FROM THE SIDE YARD BY A MINIMUM OF 5 FEET.
 8. THE PROPOSED BUILDING SHALL BE SET BACK FROM THE STREET BY A MINIMUM OF 10 FEET.
 9. THE PROPOSED GARAGE SHALL BE SET BACK FROM THE STREET BY A MINIMUM OF 10 FEET.
 10. THE PROPOSED BUILDING SHALL BE SET BACK FROM THE STREET BY A MINIMUM OF 10 FEET.



LEGEND



GRAPHIC SCALE
 1" = 10'
 COLESVILLE

FOREST CONSERVATION PLAN NOTES

1. THE SITE AND EXISTING FOREST, TOGETHER WITH THE PROPOSED BUILDING AND GARAGE, ARE SHOWN ON THE ATTACHED MAP.
2. THE PROPOSED BUILDING AND GARAGE ARE SHOWN ON THE ATTACHED MAP.
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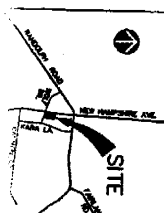
FOREST CONSERVATION WORKSHEET

NO.	DESCRIPTION	DATE
1	TOTAL AREA OF FOREST	10.00 AC.
2	TOTAL AREA OF OPEN SPACE	10.00 AC.
3	TOTAL AREA OF FOREST TO BE PRESERVED	10.00 AC.
4	TOTAL AREA OF FOREST TO BE REMOVED	0.00 AC.
5	TOTAL AREA OF FOREST TO BE PLANTED	0.00 AC.
6	TOTAL AREA OF FOREST TO BE MAINTAINED	0.00 AC.
7	TOTAL AREA OF FOREST TO BE MONITORED	0.00 AC.
8	TOTAL AREA OF FOREST TO BE REVEGETATED	0.00 AC.
9	TOTAL AREA OF FOREST TO BE RESTORED	0.00 AC.
10	TOTAL AREA OF FOREST TO BE RECONSTRUCTED	0.00 AC.

**LANDSCAPE PLAN/
 FOREST CONSERVATION PLAN**

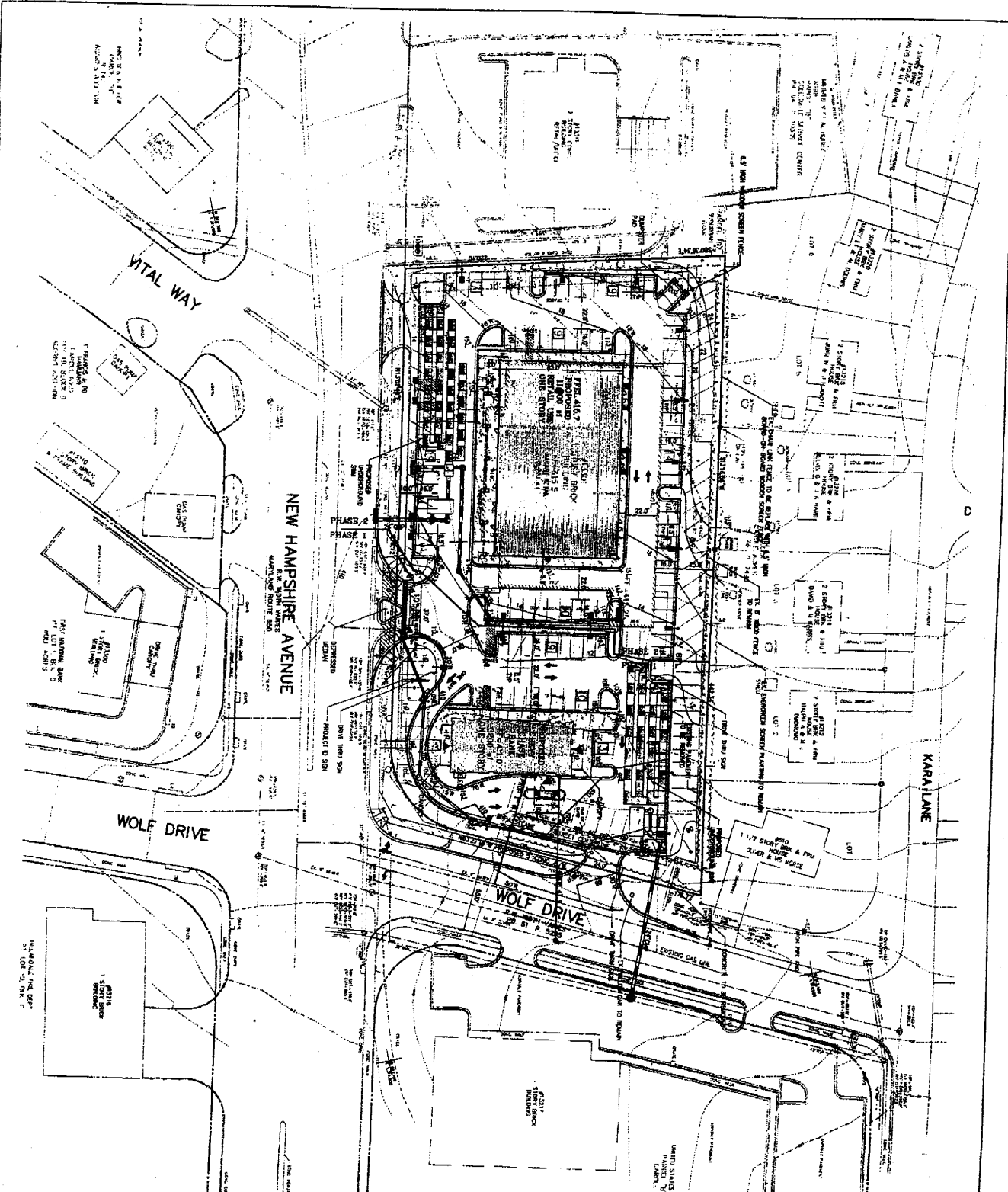
COLESVILLE
 CHEVY CHASE BANK
 COLESVILLE DISTRICT
 MONTGOMERY COUNTY, MARYLAND

VICINITY MAP



VFA REVISIONS

NO.	DATE	DESCRIPTION
1	10/1/00	ISSUED FOR PERMIT
2	10/1/00	ISSUED FOR PERMIT
3	10/1/00	ISSUED FOR PERMIT
4	10/1/00	ISSUED FOR PERMIT
5	10/1/00	ISSUED FOR PERMIT
6	10/1/00	ISSUED FOR PERMIT
7	10/1/00	ISSUED FOR PERMIT
8	10/1/00	ISSUED FOR PERMIT
9	10/1/00	ISSUED FOR PERMIT
10	10/1/00	ISSUED FOR PERMIT



3



GRAPHIC SCALE
1" = 100'
1" = 30.48 M

COLESVILLE
CHEVY CHASE BANK
MNOFPC SITE PLAN No. 8-02032

REVISIONS:

REVISION 1: AS SHOWN ON SHEET 8-02032-1

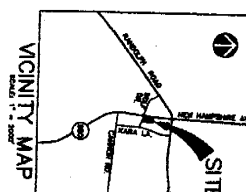
REVISION 2: AS SHOWN ON SHEET 8-02032-2

REVISION 3: AS SHOWN ON SHEET 8-02032-3

REVISION 4: AS SHOWN ON SHEET 8-02032-4

NO.	DESCRIPTION
1	EXISTING BUILDING LINE
2	PROPOSED BUILDING LINE
3	EXISTING CONDITIONS OF MATERIAL
4	PROPOSED CONDITIONS OF MATERIAL
5	EXISTING CONTIGUOUS 2' MATERIAL
6	PROPOSED CONTIGUOUS 2' MATERIAL
7	EXISTING STORM SEWER
8	PROPOSED STORM SEWER
9	EXISTING SIDEWALK
10	PROPOSED SIDEWALK
11	EXISTING DRIVE
12	PROPOSED DRIVE
13	EXISTING WALKER
14	PROPOSED WALKER
15	EXISTING LIGHT POLE
16	PROPOSED LIGHT POLE
17	EXISTING MAIL BOX
18	PROPOSED MAIL BOX

LEGEND



VICINITY MAP
SCALE: 1" = 200'

VIA REVISIONS

SITE AND GRADING PLAN

COLESVILLE
CHEVY CHASE BANK
COLESVILLE DISTRICT
MONTGOMERY COUNTY, MARYLAND



DESIGNERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ GPS SERVICES
VIA CONSULTANTS
2050 CENTURY BOLDEN DRIVE, SUITE 220 ■ ROCKVILLE, MARYLAND 20850
(301) 948-4700 ■ (301) 948-2200
WWW.VIACONSULTANTS.COM

DATE: FEB. 2002	SCALE: 1" = 30'
DRAWN BY: [Name]	CHECKED BY: [Name]
PROJECT/DATE NO. 881	SHEET NO. 4