

23/005-000 Griffith (Israel) House 5900 Damascus Road  
 23/006-000 Dorsey (Samuel O.) House 5701 Damascus Road  
 23/008-000 Howard Family Cemetery West Side Elton Farm Road near End  
 23/009-000 Elton 3801 Elton Farm Road  
 23/011-000 Howard Chapel Cemetery Howard Chapel & Elton Farm Road  
 23/012-000 Greendale Farm/Royer-Brooks House 23200 Howard Chapel Road  
 23/015-000 Tusculum/Griffith-Hutton House 4601 & 4609 Damascus Road  
 23/017-000 Edgehill 4920 Griffith Road  
 23/019-000 Retirement 5501 Griffith Road  
 23/026-000 The Oaks (Riggs House) 5815 Riggs Road, Laytonsville  
 23/027-000 Riggs (Samuel) Farm/Oaks I 5310 Riggs Road  
 23/029-000 Fair Hill 5929 Sundown Road  
 23/031-000 Pleasant Fields/Sundown Hills 4615 Sundown Road  
 23/033-000 Dwyer (Dr.) House/Bleakwood 3730 Damascus Road  
 23/035-000 Gaither Farm/Rolling Acres 3111 Mt. Carmel Cemetery Road  
 23/037-000 Triadelphia Historic District Triadelphia Reservoir  
 23/038-000 Triadelphia Cemetery South of Triadelphia Lake Road  
 23/045-000 Greenwood Mill Site Georgia Avenue  
 23/046-000 Greenwood 21315 Georgia Avenue  
 23/047-000 Pleasant View 21000 Georgia Avenue  
 23/051-000 Clover Hill 21310 Zion Road  
 23/053-000 Mt. Zion School 5005 Brookeville Road  
 23/054-000 Bon Secours 4901 Brookeville Road  
 23/057-000 Falling Green 4501 Olney-Laytonsville Road  
 23/058-000 Jones (Gustavus) Farm 4112 Brookeville Road  
 23/059-000 Locust Hill 4415 Brookville Road  
 23/060-000 Oakley Log House Brookville Road  
 23/063-000 Longwood 2900 Dubarry Lane  
 23/064-000 Oak Grove 19101 Georgia Avenue  
 23/065-000 Brookeville Historic District  
 23/066-000 Bordley's Choice/Marywood 20015 Georgia Avenue  
 23/069-000 Brookeville Woolen Mill & House 1901 Brighton Dam Road  
 23/071-000 Far View 21650 New Hampshire Avenue  
 23/072-000 Prospect Hill 1811 Brighton Dam Road  
 23/073-000 Gittings Ha Ha 21030 New Hampshire Avenue  
 23/079-000 Roslyn Bank Barn 20401 New Hampshire Avenue  
 23/081-000 Holland (Landgate) Farm 2030 Brighton Dam Road  
 23/082-000 Holland (Grafton) Farm 2240 Brighton Dam Road  
 23/084-000 Brooke Meadow 1711 Gold Mine Road  
 23/084-000 Ellicott Mine 2201 Gold Mine Road, Brookeville  
 23/085-000 Fairfield 20010 New Hampshire Avenue  
 23/089-000 Walnut Hill 19515 New Hampshire Avenue  
 23/090-000 Riverton 1201 Gold Mine Road, Brookeville  
 23/092-000 Della Brooke 19300 Pyrite Lane  
 23/093-000 Sharon 1630 Hickory Knoll Road  
 23/097-000 Rockland 18430 Brooke Grove Road  
 23/098-002 Olney House Olney-Laytonsville Road

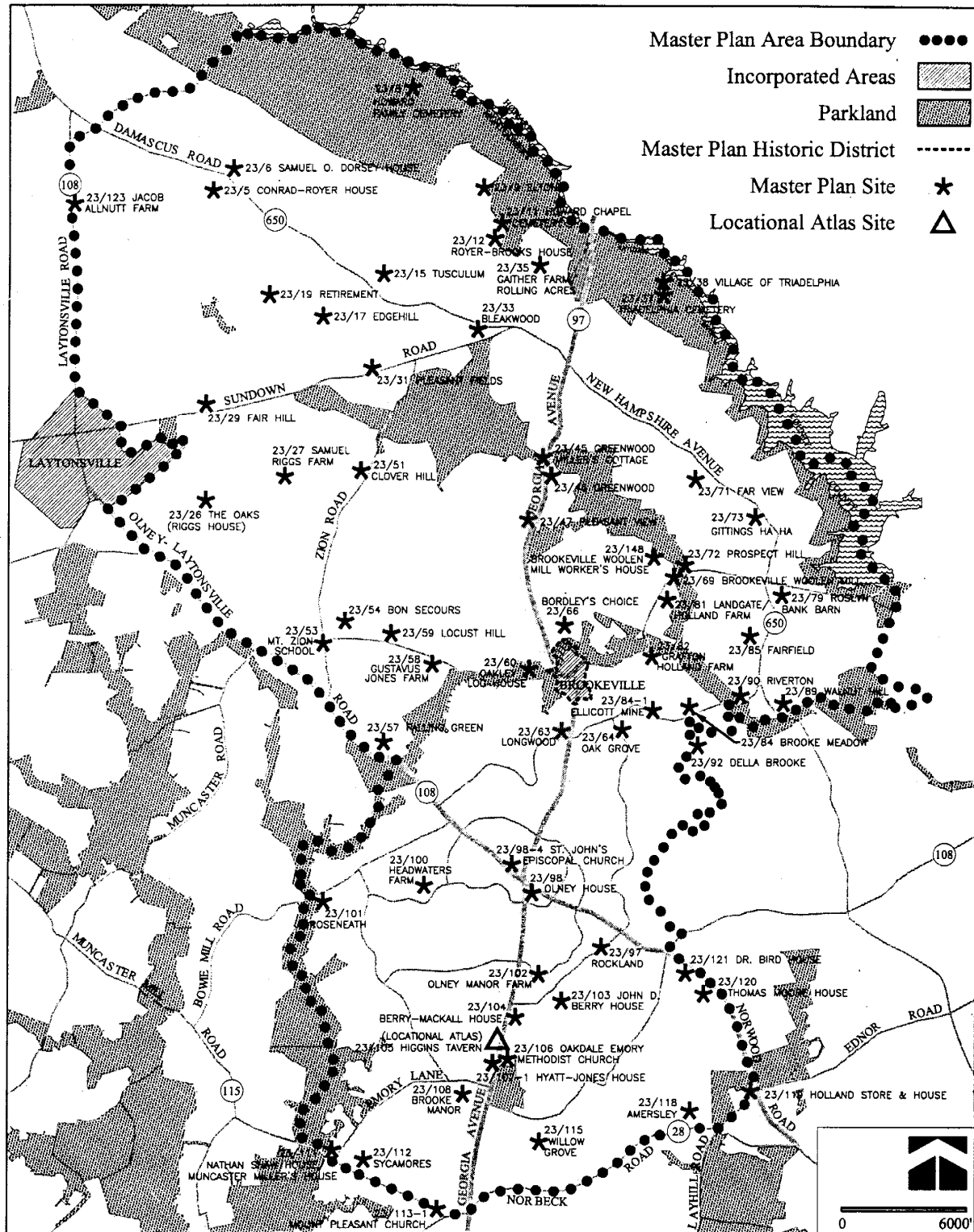
23/098-004 St. John's Episcopal Church 3427 Olney-Laytonsville Road  
23/100-000 Headwaters Long Driveway off Route 108  
23/101-000 Roseneath 17979 Bowie Mill Road  
23/102-000 Olney Manor Farm 17510 Prince Phillip Drive  
23/103-000 John D. Berry House 17201 Palomino Court  
23/104-000 Berry-Mackall House 17017 Georgia Avenue  
23/106-000 Oakdale/Emory United Methodist Church 3515 Emory Church Road  
23/107-000 Hyatt-Jones House 16644 Georgia Avenue  
23/108-000 Brooke Manor/James Barnsley House 16300 Georgia Avenue  
23/111-000 Shaw (Nathan) House/Muncaster Millers House 15910 Emory Lane  
23/112-000 Sycamores 15708 Sycamore Grove Court  
23/113-001 Mount Pleasant Church 4021 Muncaster Mill Road  
23/115-000 Willow Grove 16301 Batchelor's Forest Road  
23/118-000 Amersley 16212 Whitehaven Road  
23/119-000 Holland House and Store 16400 Layhill Road  
23/120-000 Moore (Thomas) House 17214 Dr. Bird Road  
23/121-000 Bird (Dr.) House 17420 Dr. Bird Road  
23/123-000 Allnutt (Jacob) Farm 23601 Route 108  
23/148-000 Brookeville Woolen Mill Worker's House 20529 Riggs Hill Way

Resources in the Olney Planning Area currently designated on the *Locational Atlas*:  
23/105-000 Higgins Tavern, and 16812 Georgia Avenue

**Recommendation:**

**Explore opportunities to protect, preserve, and publicize the important historic and archeological resources in the Olney Planning area.**

# Historic Resources





# COMMUNITY FACILITIES PLAN

## SCHOOLS

The Olney Master Plan Area overlaps six high school cluster area boundaries: Sherwood; James Hubert Blake in the Northeast consortium; Rockville; Col. Zadok Magruder; Gaithersburg; and Damascus. A majority of the students in the area attend schools in the Sherwood and Magruder clusters. There are five elementary and two middle schools in the Master Plan area, all of them in Southern Olney.

### Existing Public Schools in the Olney Master Plan Area

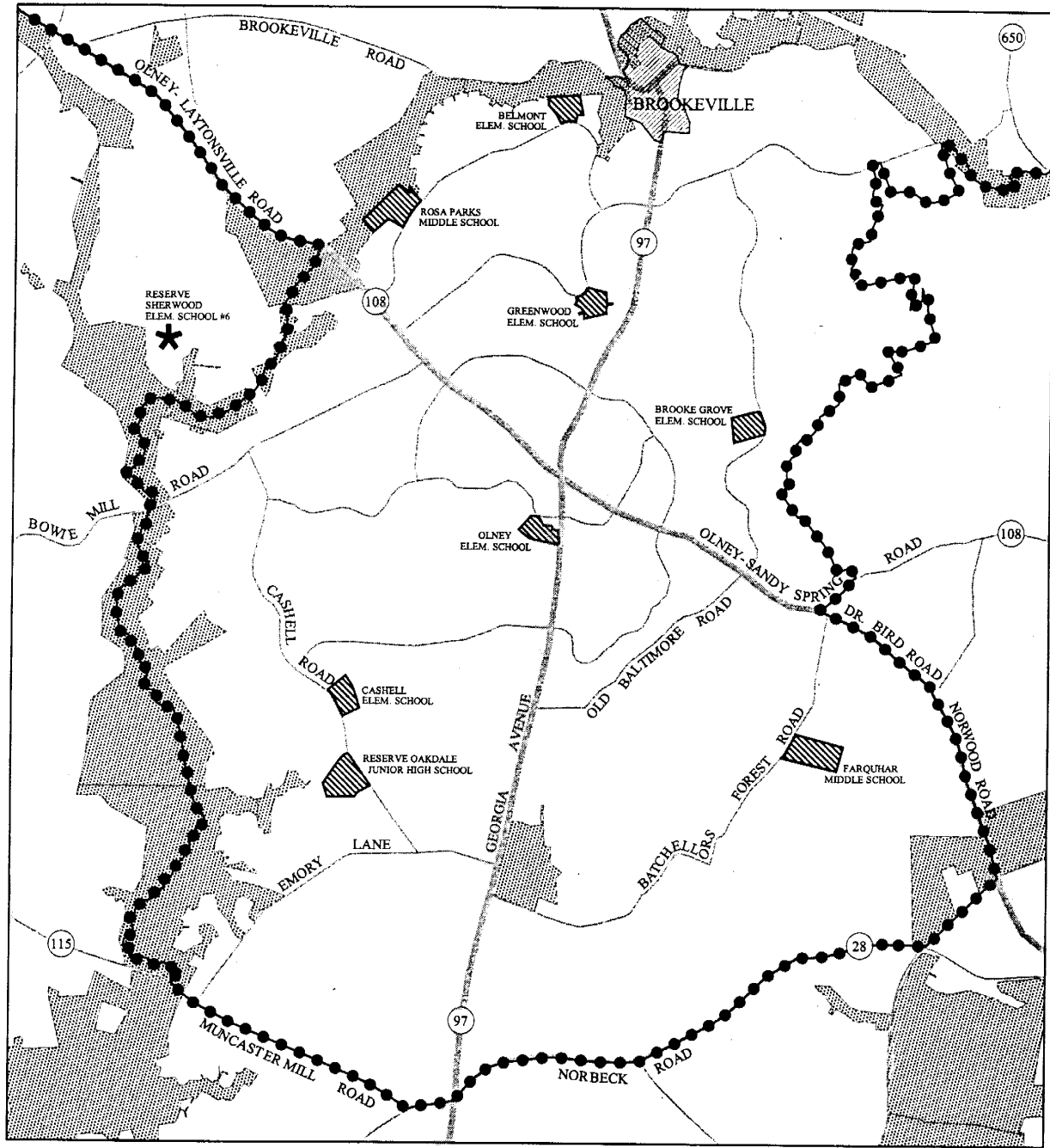
School	Acreage	Building Square Footage	Year Opened/ Renovated
Belmont Elementary School	10.5	49,279	1974
Brook Grove Elementary School	11.0	72,582	1989
Cashell Elementary School	10.2	42,860	1969
Farquhar Middle School	20.0	116,300	1968
Greenwood Elementary School	10.0	45,186	1970
Olney Elementary School	9.9	68,755	1954/1990
Rosa Parks Middle School	24.1	130,374	1992




The 1980 Master Plan analyzed five unused school sites in the Master Plan area: the Olney Southeast Elementary School site was surplus and turned into what is currently Southeast Olney Local Park; the Emory Lane Elementary School site on Emory Lane was surplus by Montgomery County Public Schools (MCPS) and is currently held by the County; the Oakdale Junior High School site on Cashell Road is still held by MCPS; the Olney Senior High School site on Bowie Mill Road near the Pepco lines was surplus and transferred to the County; and Hopewell Junior High School became the current Rosa Parks Middle School on Olney Mill Road.

The demographic profile of Olney indicates a bigger household size than the County as a whole: 3.24 persons per household compared to the County's 2.7. It also has a large portion of its population (24 percent) in the 5-17 year age group, which is reflected in higher school enrollments in the area. Currently, most of the area elementary and middle schools are slightly above capacity and the rest are at or near peak enrollment. Sherwood and Magruder High Schools currently exceed capacity, and projections indicate that they will continue to do so through 2008. Enrollments at other schools that are over capacity now (Rosa Parks Elementary School, Greenwood Elementary School, Sherwood Elementary School, Redland Middle School) are projected to fall within the projected program capacity over the next six years.

This Plan proposes a modest increase in housing growth in the Planning Area. The largest increase is proposed for the Town Center where the commercial core area is encouraged to have multi-family units in mixed-use developments. Outside the Town Center, the Golden Bear area in the northeast corner of Georgia Avenue and Norbeck Road is recommended for rezoning to higher densities with the potential to generate school age population in the Planning Area.

# Public Schools



-  Parkland
-  Incorporated Areas
-  Master Plan Area Boundary



However, additional capacity at this location will not impact schools in Olney since this area feeds into the Flower Valley Elementary School (Rockville Cluster), which is located in the Aspen Hill Master Plan Area, and has available capacity through 2008. A large portion of the Southeast Quadrant, another area with large parcels of vacant land, some of which are expected to be developed in the near future, is in the Blake High School Cluster in the Northeast Consortium and feeds the Sherwood Elementary School. The proposed zoning changes in this area do not increase the overall level of projected growth under existing zoning. However, enrollment in 2002 at Sherwood Elementary School was over capacity by nine students, which continues at that level through year 2006 before it jumps to 63 seats over capacity in 2007 due to a projected drop in program capacity caused by the implementation of the all-day kindergarten program. In the Cashell Elementary School area, the Plan recommends downzoning the Norbeck Country Club site significantly reducing its housing potential.

The proposed potential growth is relatively small and spread out over three high school clusters. It will start to yield children of elementary school age over a five to ten-year period when the current peak in the elementary school is expected to move on to create space for this additional growth. Long-term school enrollment forecasts, and related school facility needs, however, are less certain because of the longer time horizon for master plans (15-20 years).

School facility needs are influenced also by changes in school programs and other educational initiatives (smaller class size, for example). It is possible that additional school facilities would be needed even if there is no significant increase in the area population. MCPS's 18.5-acre Oakdale Junior High School site on Cashell Road would address such unforeseen needs. Although the MCPS has no plans to build a school on this site in the near future, it has recommended that this site be retained for school purposes. The Housing Chapter of this Plan recommends that, if this site is not needed for a school use, it should be considered for affordable housing. MCPS also owns another 17-acre school site on Wickham Drive (Sherwood Cluster Elementary Site #6, outside the Olney Master Plan area), which could be used if any school facilities are needed in the area.

**Recommendation:**

**Retain the proposed Oakdale Junior High School site on Cashell Road for future school needs.**

**OLNEY LIBRARY**

The Olney Library opened in 1980 at its current location on the south side of MD 108 west of Georgia Avenue when the Olney population was approximately 17,000 persons. Since then, the population has nearly doubled and library needs have grown. In addition to library services, the building contains meeting rooms for the community and space for part time staff of the Mid-County services center.

In 1999, the County prepared a study for the much needed renovation of the library. The community at the time requested that the library be expanded to become a civic center for

the community. The current size of the property precludes any major addition or expansion to the library building and its function. However, a joint development or a plan that takes advantage of the redevelopment of the adjoining Olney Shopping Center site, if it redevelops, should be explored for a possible civic center/town commons at his location. If the library is moved to another site, it should be relocated within the Town Center, and co-located with other community facilities to form a civic center. The Specific Properties section of the Land Use Chapter recommends the Olney Library site (#17) as suitable for rezoning to PD-7.

**Recommendation:**

**If the Olney Library is relocated to another site it should be within the Town Center, preferably in a combined civic center with other services and a town commons. Explore the feasibility of a joint development with the adjoining Olney Shopping Center to create a civic center/town commons at his location.**

**PUBLIC SAFETY**

Public safety services are provided by the Montgomery County Police and the Montgomery County Division of Fire and Rescue Services, in conjunction with the Sandy Spring and Laytonsville Volunteer Fire Departments. Three fire stations serve the Olney Master Plan Area: Station 40 on Georgia Avenue in Olney; Station 4 on Brooke Road in Sandy Spring; and Station 17 on MD 108 in Laytonsville. Fire-rescue units from other nearby stations respond to this area when needed. These three stations provide fire suppression, rescue and emergency medical services. Sandy Spring relocated in 2002 to a new facility on Brooke Road close to the former station. Due to its small size and its condition, Laytonsville Station 17 may be renovated on its present site or relocated to a nearby site within the next 10 years. Station 40 is expected to remain at its present site on Georgia Avenue. No additional fire-rescue stations are anticipated within the Olney Master Plan Area in the next 10-15 years. However, the redeployment of certain fire-rescue units may occur based upon changing needs in the area.

To enhance the fire suppression capabilities within areas lacking fire hydrants, the Montgomery County Fire and Rescue Service (MCFRS) urges builders and property owners to voluntarily install underground water tanks directly on their property or at the entrance to housing developments/clusters for use by the MCFRS. These underground water tanks should hold 20,000 gallons or greater based upon fire fighting water flow requirements of the property(ies) to be protected. Tanks should meet the requirements of the National Fire Protection Association Standard, including appropriate connections for hook-up to MCFRS pumpers and a roadside sign or pavement marking identifying the tank's location to fire fighters. Another recommendation is for persons having ponds on their property to make the water readily accessible to fire fighters by installing "dry hydrants" and providing improved access to them (e.g., paved or gravel roadways and turnaround areas) for MCFRS vehicles.

This recommendation should not preclude builders and property owners in rural areas from voluntarily installing fire sprinkler systems within single-family homes and small businesses as the front line measure in structural fire protection.



## **OLNEY POST OFFICE**

The Olney Post Office is located on the south side of MD 108 west of Georgia Avenue. If the post office decides to relocate to another site, it should be relocated within the Town Center, and the site should be considered for a community facility use. The site would also be suitable for housing including affordable housing. The Specific Properties section of the Land Use Chapter recommends the Olney Post Office site (#16) as suitable for rezoning to PD-7.

## **OLNEY THEATRE**

The Olney Theatre Center for the Arts has been a tradition in Olney for more than 60 years. The theater opened on July 25, 1938. Since then, some of the biggest names in American theater have been associated with the Olney Theatre. In addition to its mainstage season which emphasizes 20<sup>th</sup> century American classics, new works, area premieres, reinterpretations of classics and musical theater, the Olney Theatre also offers several outreach programs including: National Players, America's longest running classical touring company (since 1949); Potomac Theatre Project; special school performances of mainstage shows; free Summer Shakespeare Festival; and post-show discussions sponsored by the Arts and Humanities Council of Montgomery County.

Currently, the theater is moving ahead with a plan to build a new theater and transform its 14 acres into a nationally acclaimed cultural arts center and education campus. Future additions and improvements to the theater should be consistent with the Plan's vision of the Olney Theatre as a unique cultural facility that can co-exist in harmony with its neighbors and continue to add richness to Olney's quality of life.

### **Recommendation:**

**Support the Olney Theatre's plans for potential future expansion in accordance with the approved plans and zoning.**



# IMPLEMENTATION PLAN

## INTRODUCTION

This chapter outlines the mechanisms to implement the recommendations of this Plan. It includes zoning, community sewer service, community water service, acquisition of parkland, and Legacy Open Space recommendations.

## ZONING

The land use recommendations of this Plan will be implemented primarily through zoning. All zoning changes recommending Euclidian zones will be implemented through the Sectional Map Amendment Process following the approval of this Plan by the County Council and the subsequent adoption of the approved Master Plan by the M-NCPPC. The Sectional Map Amendment process is a comprehensive rezoning of the planning area as recommended by the approved Master Plan. Zoning changes recommending floating zones can be mapped either at the Sectional Map Amendment stage, or later at the request of the property owners.

The following table outlines the proposed zoning changes based on the discussion of specific properties in the Land Use Chapter and a proposed new zone in the Town Center Chapter.

### Proposed Zoning Changes

	Properties	Acres (estimated)	Current Zoning	Proposed Zoning	Sewer Service	Comments
<b>Northeast Quadrant</b>						
1	Mess	198.3	RE-2	RNC	Yes	
2	Brooke Grove Foundation	15.8	RE-2	RNC	Yes	Currently has a nursing home
3	Simms	10.6	RE-2	RNC	Yes	Recommended for park acquisition
<b>Southeast Quadrant</b>						
4	Applegate	6.63	RE-2	RNC	Yes	
5	Barnes	10.00	RE-2	RNC	No	
6	Bowns	6.00	RE-2	RNC	No	
7	Brownley	9.67	RE-2	RNC	Yes	
8	Bruzee	24.00	RE-2	RNC	No	
9	Campbell	7.50	RE-2	RNC	Yes	
10	Casey	92.6	RE-2	RNC	Yes	The eastern 17.2- acre portion recommended for park acquisition
12	Cronin	16.00	RE-2	RNC	No	

	Properties	Acres (estimated)	Current Zoning	Proposed Zoning	Sewer Service	Comments
13	Danshes	38.60	RE-2	RNC	No	
14	Dodge	26.14	RE-2	RNC	No	
15	Doherty	15.00	RE-2	RNC	No	
16	Flannery	5.70	RE-2	RNC	No	
17	Gandel	60.00	RE-2	RNC	No	
18	Graefe	10.36	RE-2	RNC	No	
19	Guzick	15.35	LDRC	RNC	Yes	Already developed
20	Hanks	10.70	RE-2	RNC	Yes	
21	Hyde	49.70	RE-2	RNC	Yes	Not including Good Counsel High School
22	Johnson	6.17	RE-2	RNC	No	
23	Kimble	16.48	LDRC	RNC	Yes	
24	Koenig	7.20	RE-2	RNC	Yes	
25	Kozorski	6.98	RE-2	RNC	Yes	
26	Kupersmidt	45.11	RE-2	RNC	Yes	
27	Little	6.89	RE-2	RNC	Yes	
28	Lockwood	27.14	LDRC	RNC	Yes	Already developed
29	Lyons	8.94	RE-2	RNC	No	
30	Mandell	72.4	LDRC	RNC	Yes	Already developed
31	McKeever	5.60	RE-2	RNC	Yes	
32	Miller	7.25	RE-2	RNC	Yes	
33	Northwest Investment	107.00	RC	RNC	Yes	
34	Pachulskja	10.20	RE-2	RNC	Yes	
35	Polinger	176.00	RE-2	RNC	Yes	
36	Weidner	7.20	RE-2	RNC	Yes	
37	Golden Bear Area	85.0	RE-2	R- 200/TDR-7	Yes	
<b>Southwest Quadrant</b>						
38	Silo Inn	3.0	C-1/R-200	R-200	Yes	
39	Norbeck CC	198.6	RE-1	RNC	Yes	
<b>Town Center</b>						
40	Olney P.O.	1.5	R-60	PD-7	Yes	
41	Olney Library	2.5	R-60	PD-7	Yes	
42	Olney E.S.	9.9	R-200	MXTC	Yes	
43	Town Center Core	87.0	Multiple zones	MXTC	Yes	Currently zoned C-1, C-2, C-T, C-O, and OM



## Rezoning of LDRC Properties in the Southeast Quadrant

The Land Use Chapter recommends the four areas currently zoned LDRC to be rezoned RNC on community water and sewer with no more than 0.2 units per acre. The requirements of the LDRC Zone are generally similar to the RNC Zone at 0.2 units per acre on community sewer. Properties already developed under LDRC Zone will be able to conform to the minimum open space and other requirements of the RNC Zone. Properties that have been zoned LDRC but have not gone through the subdivision process will be rezoned to RNC and required to follow the RNC Zone regulations if subdivided. Since no land outside the Olney's Southeast Quadrant is zoned LDRC, the LDRC Zone should be deleted from the Zoning Ordinance following the rezoning of all LDRC properties to the RNC Zone.

The Zoning Ordinance should be amended to indicate that properties already developed under the LDRC Zone would be considered conforming under the RNC Zone as they are currently developed. The proposed text amendment to the RNC Zone is as follows:

*Developments approved pursuant to the LDRC Zone prior to December 31, 2003 are considered conforming for the purposes of zoning compliance. Any significant modification or addition to such properties must comply with the requirements of the RNC Zone as applicable.*

## PROPOSED NEW ZONE IN THE TOWN CENTER

The Town Center Chapter recommends a new zone, Mixed-use Town Center Zone (MXTC) for the Olney Town Center. The major elements of the proposed zone are as follows:

### Permitted Uses

#### **Residential**

Apartment hotels; Boarding houses; Residential, single and multiple-family; group homes, small and large; Hotels or motels; Housing and related facilities for senior adults or persons with disabilities.

#### **Transportation, Communications, and Utilities**

Cable communications systems; Electric power transmission and distribution lines; Parking of motor vehicles, off-street, in connection with any uses permitted; public utility buildings and structures; Radio and television broadcasting studios; Rooftop mounted antennas and related unmanned equipment buildings or structures; Taxicab stands; Telephone and telegraph lines, underground; Telephone offices and communication centers.

#### **Retail**

Retail sales, trade, businesses and services of a general commercial nature; Antique shops, handicrafts or art sales; Automobile parts, supplies and tire stores, limited to 20,000 square feet floor area; Bookstores; Convenience food and beverage stores;

Delicatessens; Drug stores, Eating and drinking establishments; Florists; Furniture stores; carpet or related furnishing sales or service, limited to 20,000 square feet floor area; Garden supply shops; Gift shops; Grocery stores; Hardware stores, limited to 20,000 square feet floor area; Jewelry stores; News stands; Pet shops; Photographic and art supply stores; Variety and dry goods stores; Wearing apparel stores.

### **Services**

General and professional offices; Ambulance or rescue squad; Animal boarding places; Veterinary hospitals; Child day care facilities; Family or group day care homes; Clinics or doctor's offices;

Automobile filling stations, by special exception only; Automobile fluid maintenance stations, by special exception only, Automobile repair and services, limited to 20,000 square feet of floor area if located on a major highway; Car wash, by special exception only; Tire, battery, and accessory stores located in integrated shopping center, limited to 20,000 square feet floor area; Transitory uses;

Banks and commercial institutions; Barber and beauty shops; Blacksmith shops; Duplicating services; Dry cleaning or laundry establishments; Self service laundromats or pick up stations; Express or mailing centers; Furniture or upholstery repair shops; Appliance repair shops; Shoe repair shops; Tailoring or dress making shops; Sign painting shops;

Charitable or philanthropic institutions; Nursing homes; Educational institutions; Trade, artistic or technical schools; Fire stations; Places of worship, Libraries; Museums.

### **Cultural, Entertainment and Recreation**

Amusement centers, by special exception only; Billiard parlors; Bowling alleys; Health clubs; Miniature golf centers; Movie theaters; Roller or ice skating rinks; commercial or community swimming pools, indoor; Christmas tree sale between December 5 and December 25.

### **Maximum Floor Area Ratio/Maximum Housing Units**

A base maximum floor area ratio for non-residential uses will be limited to 0.3 FAR.

An additional 0.5 FAR of non-residential floor space will be allowed if the development provides a public open space on-site at the ratio of one square foot of public open space for every five square feet of additional floor area beyond the base 0.3 FAR.

Mixed-use projects that include residential floor area will be allowed to have up to 15 units per acre. Elderly housing projects will not be subject to the limit of maximum units per acre.

## **Development Standards**

Renovations and small additions limited to 1,000 square feet or five percent of the existing floor area, whichever is higher, will not be subject to the Site Plan review requirements. All other projects will be subject to the requirements of site-plan review.

## **Height and Setback Controls**

Buildings within the core area of the Town Center can be as high as five stories. Buildings along the edges of the Town Center should be limited to three to four stories depending upon the height of the adjoining residential developments.

## **COMMUNITY SEWER SERVICE**

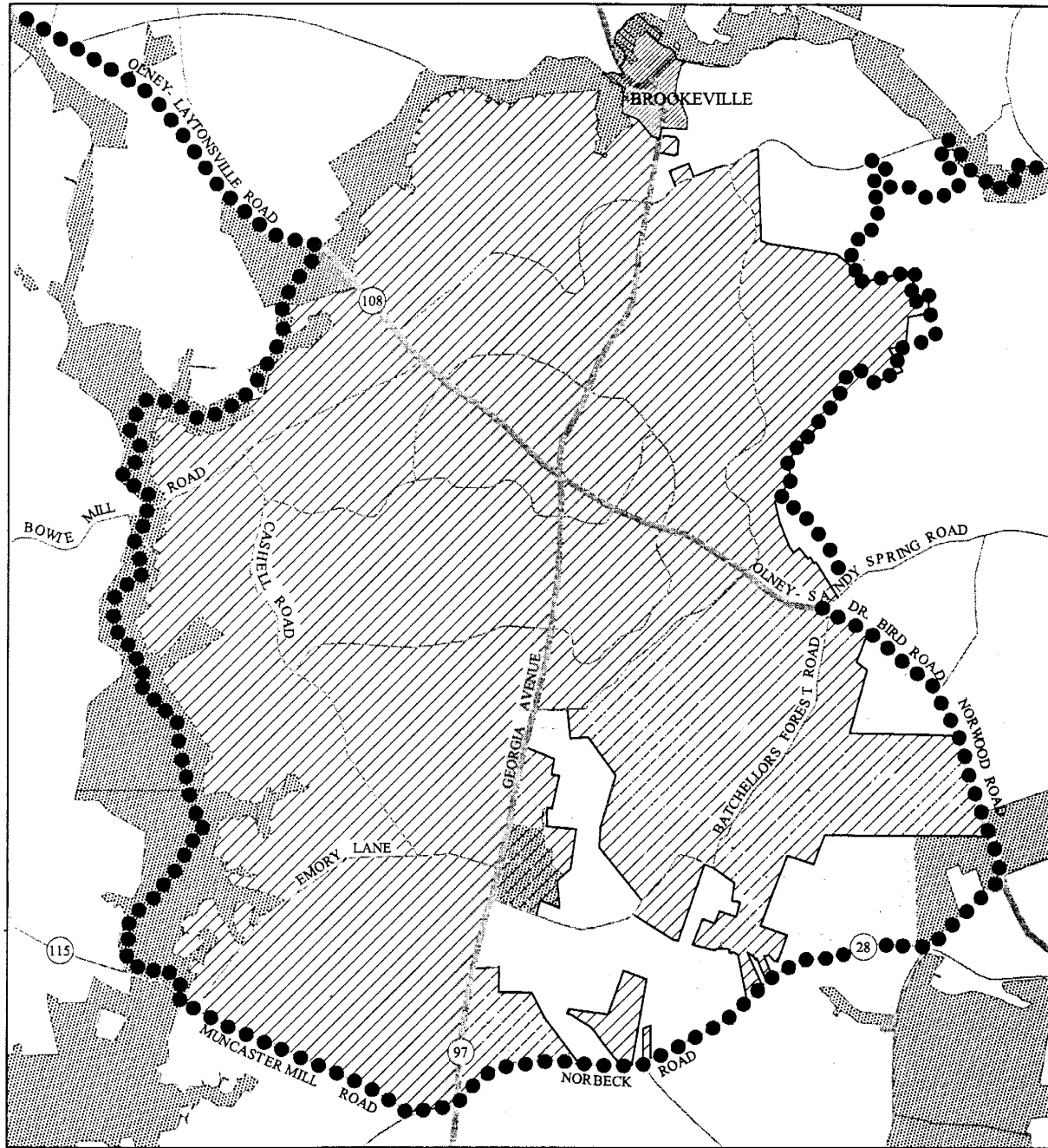
The County's policies on the provision of community sewer service are governed by the Water and Sewer Plan, the County's General Plan, master plans, the state's Smart Growth policies, and other policy documents. Master plans recommend where service is to be provided, generally in areas of more than one unit per acre, consistent with Water and Sewer Plan policies. In lower density wedge areas, sewer is generally provided only where cluster zoning categories or affordable housing are specifically recommended in the master plan and the developer proposes cluster development.





Community sewer service in the planning area is provided through trunk lines that parallel the North Branch of Rock Creek and the Batchellors Forest tributary of the Northwest Branch. In the North Branch of Rock Creek, sewer lines parallel the stream to the point where Williamsburg run joins the North Branch, then proceeds east to serve medium density areas in Olney west of Georgia Avenue. In the south, these trunk lines join to form the main trunk line down the Rock Creek through the District of Columbia and on to the Blue Plains Treatment Plant. In the Northwest Branch, there are two main trunk lines: one serves the area that drains to the Northwest Branch, and the other serves areas of the Town Center in the Hawlings River watershed through the James Creek drainage.

Providing community sewer service to relieve failed septic systems can help to minimize groundwater contamination. However, depending on density and clustering options, the provision of community sewer service can damage sensitive habitat and water resources by facilitating development to the maximum zoning density. While extensions along stream valleys are designed to minimize direct environmental impacts, they can alter the characteristics of streams and stream buffer habitat and modify the natural hydrologic system due to wetland fragmentation. Lines that must cross streams or parallel them within the stream buffer can be troublesome if eroding stream channels expose sewer mains and manholes, leaving them more susceptible to damage.



# Sewer Service Areas



-  Proposed Sewer Service Area
-  Parks
-  Incorporated Areas
-  Master Plan Area Boundary



Where the recommendations of the Master Plan and the policies of the Comprehensive Water and Sewer Plan do not support the provision of community sewer service, development should occur, as feasible, using on-site sewerage systems. Septic and other on-site sewage disposal systems are permitted and regulated by the County's Department of Permitting Services. Community sewer service extensions in this Plan are recommended for areas where density levels and clustering are compatible with resource protection and where such extensions would not require new trunk lines in stream valleys.

#### **Recommendations:**

- 1. Provide community sewer service in the planning area generally in conformance with Water and Sewer Plan service policies. This will generally exclude areas zoned for low-density development (RE-1, RE-2, and RC) not already approved for service from further extension of existing sewer mains.**
- 2. Extend sewer service to areas proposed for RNC in the planning area, where feasible and as recommended in the Land Use Chapter of this Plan. Extend sewer service to RE-1 cluster only where the cluster option is used.**
- 3. In the North Branch of Rock Creek, Hawlings River and Northwest Branch watershed stream valleys, on-site sewer extensions to serve new development should follow roadways where possible and avoid stream buffers.**

#### **COMMUNITY WATER SERVICE**

Water policies of the County's Water and Sewer Plan allow for the provision of community water service throughout the majority of the Master Plan area except for the area zoned RDT. Community water service has been extended to the area around the Oaks Landfill in fulfillment of the agreement between the County and the residents concerned about potential water supply contamination. This has resulted in the extension of public service to areas zoned RDT which are not usually intended for such service. The County Council's action in granting this service was not to stand as a precedent for public water service elsewhere in the RDT Zone. The Council has specifically excluded community water service from properties zoned RDT around the Town of Laytonsville. The County has proposed the extension of community water service to the Town of Laytonsville, just west of the planning area. This will provide greater availability of water service in the northwestern part of the planning area, where WSSC's ability to provide service is now constrained by water system pressure limitations.

The provision of community water service is generally required for areas zoned for moderate to high-density development. Areas zoned for one, two, and five-acre densities are allowed for the consideration of water service on a case-by-case basis. Some lower density areas that initially developed using private, on-site wells are unlikely to receive community water service for the foreseeable future. In addition, some areas now within the community water service envelope initially developed using individual wells and continue to use them. On-site well water supply systems are permitted and regulated by the County's Department of Permitting Services.

**Recommendation:**

**Provide community water service in the planning area in conformance with the Water and Sewer Plan policies.**

**SUMMARY OF PARKLAND RECOMMENDATIONS**

The following properties are recommended as parkland for active and passive recreation purposes. Properties recommended for parkland acquisition through the Legacy Open Space Program are listed separately in this chapter.

**Properties with Proposed Parkland Acquisition**

<b>Property</b>	<b>Recommendations</b>
<b>Recreation Opportunities</b>	
Casey Property (adjacent to Farquhar Middle School)	Acquire as a local park through dedication
Gandel Property	Acquire a portion of the property along its western edge for a trail connection
Graefe Property	Acquire all or a portion for possible recreation
Kimble Property	Acquire for active recreation
WSSC Property in Olney Mill	Acquire if not needed by WSSC
<b>Resource Protection</b>	
Norbeck Country Club	Seek dedication during redevelopment process to improve stream quality in the North Branch of Rock Creek.  Seek dedication of a portion of the property for a local park, if there is a need for a local park in the area at the time of subdivision.

## LEGACY OPEN SPACE RECOMMENDATIONS

The *Legacy Open Space Functional Master Plan* (LOS Plan) is a key program to achieve the multiple open space goals expressed in this Plan. It is designed to protect a broad range of valuable open spaces through a variety of tools, ranging from easements and private donations to acquisition and dedication.

Several properties in the Olney Master Plan Area are identified in the LOS Plan as Class III sites (Legacy Open Space Master Plan Appendix D) to indicate that further study was necessary before making recommendations regarding their suitability for the program. These sites have been studied in depth as part of this master plan process and this Plan amends the LOS Plan to add or remove these sites from the Legacy program as shown in the following two tables.

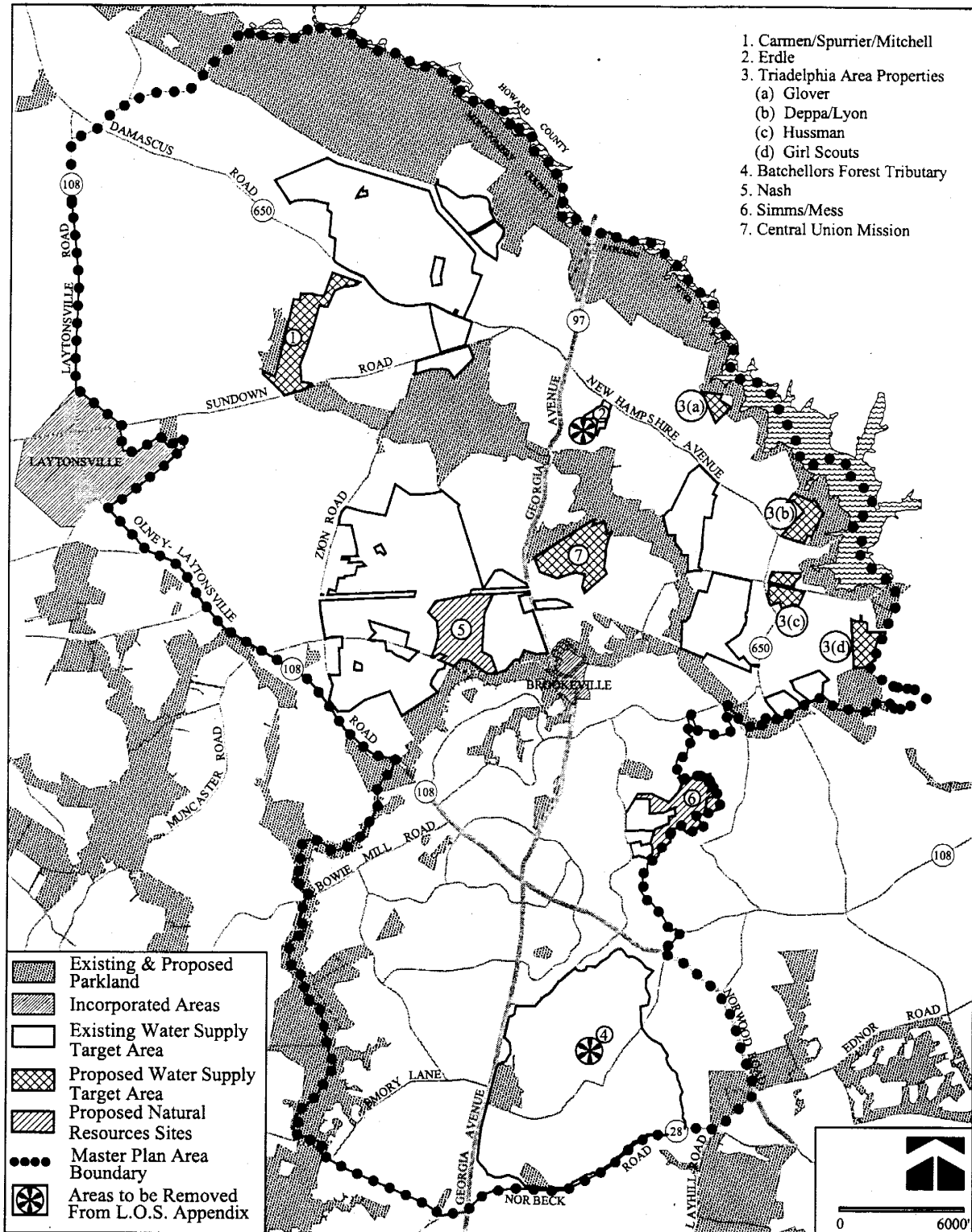
### Legacy Open Space Recommendations for Class III (Appendix D) Sites

Site Number & Name	Comments	Legacy Category Recommendation	Protection Techniques
1. Rachel Carson Extension: Spurrier, Carmen, & Mitchell properties	Second most important forest stand in Olney Master Plan Area. Potential trail connectivity from Rachel Carson to Patuxent River	Add to Water Supply target area (Class II)	Protect through dedication or acquisition
2. Erdle Property	Property already partially developed. No significant resources	Delete from Class III	N/A
3. Triadelphia Lake Area - Four areas were identified in LOS Master Plan process:			
3a. Glover	Reservoir edge property. Enhances Patuxent River trail opportunities (Green Ribbon Trail)	Add to Water Supply target area (Class II)	Protect through dedication or acquisition
3b. Deppa/Lyon	Reservoir edge property. Enhances Patuxent River trail opportunities (Green Ribbon Trail)	Add to Water Supply target area (Class II)	Protect through dedication or acquisition

Site Number & Name	Comments	Legacy Category Recommendation	Protection Techniques
3c. Hussman properties	Reservoir edge property. Enhances Patuxent River trail opportunities (Green Ribbon Trail)	Add to Water Supply target area (Class II)	Protect through dedication or acquisition
3d. Girl Scouts	Patuxent River gap property. Enhances Patuxent River trail opportunities (Green Ribbon Trail)	Add to Water Supply target area (Class II)	Protect through easement with current use  Seek dedication or acquisition if land use changes
4. Batchellors Forest Tributary	Several properties evaluated according to LOS natural resources criteria. Important natural resources, but fell short of LOS criteria	Delete Batchellors Forest tributary from Class III	Important to protect forest, wetlands and other green space through appropriate zoning and development patterns as described elsewhere in this Plan

In addition to the above sites, two properties that already lie within the Water Supply target area of Legacy Open Space Plan have been judged to include enough significant forest and wetlands that they should be added to the Natural Resources category. A third property has been evaluated as deserving of placement in the Water Supply target area. The following table summarizes the rationale and recommendations for these properties.

# Legacy Open Space Recommendations



## Natural Resources and Legacy Open Space

Site Number & Name	Comments	Legacy Category Recommendation	Protection Technique Recommendation
5. Nash Properties (Park acquisition area only)	Large, high quality complex of forest and wetlands adjacent to existing parkland. Contributes to preserving quality of Reddy Branch Biodiversity Area	Add to Natural Resources category (Class I) - Retain within agricultural and water supply target areas	<ul style="list-style-type: none"> <li>- Protect through dedication or acquisition</li> <li>- Potential for combining with Ag preservation efforts on the rest of Nash properties</li> <li>- Potential for heritage protection</li> </ul>
6. Mess and Simms properties (Park acquisition area only)	Large, high quality forest complex. Key trail connection from Northwest Branch to Hawlings & Patuxent Rivers	Add to Natural Resources category (Class I) - Retain within agricultural and water supply target areas	<ul style="list-style-type: none"> <li>- Protect Mess through dedication of open space required by RNC Zone</li> <li>- Protect Simms through acquisition</li> </ul>
7. Central Union Mission	Two large forested areas immediately adjacent to parkland. Provides important ecological buffer to Hawlings River Biodiversity Area	Add to Water Supply target area (Class II)	<ul style="list-style-type: none"> <li>- Protect through easement with current use</li> <li>- If land use changes, preferred option is to seek dedication or acquisition of the portion of the forest that adjoins the Hawlings River Stream Valley Park. Use easements to protect the rest of the forest. At the time of subdivision, easements could be used to protect all or part of the forest if deemed appropriate by the Planning Board.</li> </ul>

## **ACKNOWLEDGEMENTS**

Charles R. Loehr, Director  
Montgomery County Department of Park and Planning

John A. Carter, Chief  
Community-Based Planning Division

Khalid Afzal, Georgia Avenue Corridor Team Leader  
Community-Based Planning Division

## **PROJECT STAFF**

Khalid Afzal, Project Planner, Community-Based Planning Division  
Marion Clark, Countywide Planning Division, Environmental Planning  
Lyn Coleman, Countywide Planning Division, Park Planning and Resource Analysis  
Mary Dolan, Countywide Planning Division, Environmental Planning  
Dan Hardy, Countywide Planning Division, Transportation Planning  
Marsha Kadesch, Community-Based Planning Division  
Ki Kim, Countywide Planning Division, Transportation Planning  
Amy Lindsey, Community-Based Planning Division  
Margaret Rifkin, Community-Based Planning Division  
Brenda Sandberg, Countywide Planning Division, Park Planning and Resource Analysis  
Tanya Schmieler, Countywide Planning Division, Park Planning and Resource Analysis  
Mark Symborski, Countywide Planning Division, Environmental Planning  
Gwen Wright, Countywide Planning Division, Historic Preservation

## **TECHNICAL STAFF**

Holly Adams, Word Processing  
Charles Coleman, Production  
Sam Dixon, Mapping and Graphics  
Kevin Leonard, Mapping and Graphics  
Julie Poindexter, Production  
Jim Sumler, Mapping and Graphics  
Tom Vanderpoel, Production  
Bob Vollmerhausen, Mapping and Graphics

Special thanks to all Park and Planning Department staff and staff of various Montgomery County and State of Maryland agencies who contributed to this Plan.





PLANNING BOARD DRAFT  
**OLNEY MASTER PLAN**

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION