



Consent Amendment: Sandy Spring Townhomes: Site Plan No. 82016001A

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Completed: 09/16/16

Description

A. Sandy Spring Townhomes: Site Plan No. 82016001A:

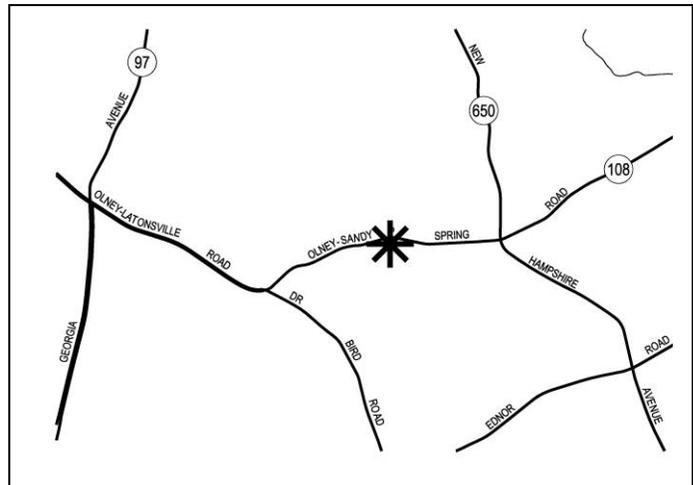
Request to revise the data table to reduce the minimum lot size, and to adjust the paving materials used in the open space plaza, located approximately 250 feet west of the intersection with Meeting House Road; 2.3 acres, CRN 0.75 C-0.25 R-0.75 H-45; 2015 Sandy Spring Rural Village Plan.

Recommendation – Approval

Applicant: Tyler Nichols

Submittal Date: August 9, 2016

Review Basis: Chapter 59



Summary

The purpose of this Amendment is to correct an incorrect value shown in the original Site Plan zoning standards data table for the minimum lot size. The data table showed a minimum lot size of 2,300 square feet, however, the smallest lot as shown on the Site Plan Drawing was 1,926 square feet. This amendment application seeks to change the data table for minimum lot size to reflect the Site Plan Drawing.

Additionally, this Amendment requests to change the materials used in the combined fire department turnaround/common open space plaza from a paver material to a stained and stamped concrete material. The colors and pattern will be nearly identical to what was originally approved, and the durability of the surface is expected to increase.

SECTION 1 – RECOMMENDATION AND CONDITIONS

SITE PLAN AMENDMENT NO. 82016001A: Staff recommends approval of the Site Plan Amendment. All previous conditions of approval of the Site Plan No. 820160010 remain unchanged, and in full force and effect.

SECTION 2 – SITE LOCATION & DESCRIPTION

Site Location

The subject property is located on the south side of Olney Sandy Spring Road (“MD 108”) approximately 250 feet west of Meeting House Road and consists of Lot 1, Block A shown on Plat No. 12224 (Attachment 4), and Parcel No. P426 for a total of 2.31 acres (“Site” or “Subject Property”)(Figure 1). The Subject Property is zoned CRN 0.75 C-0.25 R-0.75 H-45, and is located in the Village Core Neighborhood of the Sandy Spring Rural Village Plan.



Figure 1 – Aerial map

Site Vicinity

To the east and southeast of the Subject Property is the Sandy Spring Historic District. Important structures in this Historic District include the Sandy Spring National Bank and the Montgomery Mutual Insurance Company buildings which are located in the CRN 0.75 Zone. To the south and west is the Sandy Spring Village condominiums which is a townhome condominium community developed in the 1980s and is located in the RT-10 Zone. North of the Site on the opposite side of MD 108 are the Holly Cottage and Kirk House, both old residential structures currently occupied by businesses, and are located in the CRN-0.75 Zone. Also across MD 108 and to the west is a small equestrian farm located in the RNC Zone.

Site Analysis

The Subject Property is currently improved with a parking lot used by the Montgomery Mutual commercial buildings located to the east. The remainder of the Site is undeveloped, with an existing forest cover of 0.75 acres and a substantial canopy cover. The Site is fairly flat with just a slight drop in elevation from north to south. The Site is located in the Northwest Branch watershed, a Use IV-P stream. There are no documented streams, wetlands, or rare or endangered species on or immediately adjacent to the Subject Property.

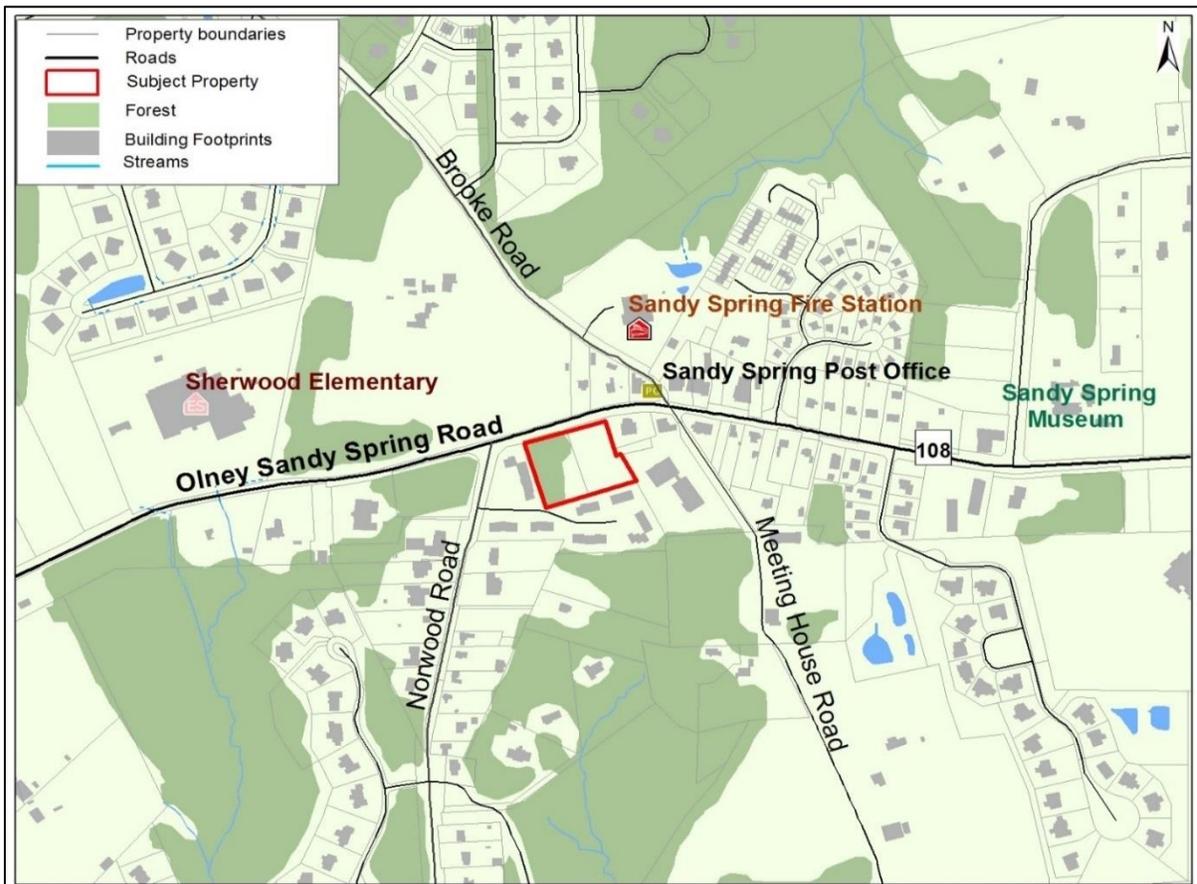


Figure 2 – Vicinity map

SECTION 3 – APPLICATIONS AND PROPOSAL

Previous Regulatory Approvals

Site Plan No. 819880600 Montgomery Mutual Computer Center

The Subject Property was part of site plan No. 819880600, approved in 1989 allowing construction of two office buildings located on the properties to the southeast of the Site, including the overflow parking that is currently constructed on the Subject Property in accordance with this prior site plan.

Preliminary Plan No. 120090230 Sandy Spring, Parcel B

Preliminary plan No. 120090230 was approved by Resolution No. 10-02 on March 9, 2010 for a total of 72,121 square feet of office use, 12,238 square feet of child care use and 1,718 square feet of retail use. The approval included the existing improvements constructed from the original site plan, plus the addition of a 40,000 square foot, three story building with a two level parking structure on the Subject Property. The additional improvements approved in this preliminary plan have never been constructed.

Preliminary Plan 120160030

The Preliminary Plan, No. 120160030, approved by resolution MCPB No. 16-012 on March 30, 2016, subdivided lot 1 and parcel No. 426 into 19 lots for one-family attached housing, an open space parcel and an outlot for parking.

Site Plan 820160010

The Site Plan, No. 820160010, approved by resolution MCPB No. 16-013 on March 30, 2016, approved 19 one-family attached dwellings, associated parking and open space amenities on the subject property. Construction of the development approved by this site plan has not begun on the site.

Current Amendment

Site Plan Amendment 82016001A

The current amendment under review requests a modification to the zoning development standards table to reduce the minimum lot size, and requests a change in materials from pavers to stamped concrete being used on the fire department turnaround/common open space plaza (Amendment).

The development standards table presented by the Applicant on the original site plan drawings, and the zoning data table presented by Staff, incorrectly listed the minimum lot size provided as 2,300 square feet. Neither Staff or the Applicant caught that three of the lots as drawn on the actual site plan drawings measured at 1,926 square feet (lots 9, 10 and 11). This error was found when the Applicant attempted to record the plats for the property that matched the site plan drawings. The associated preliminary plan had a lot and parcel diagram that did correctly label the lots with their drawn lot sizes but this document was not part of the site plan review.

Staff has no objections to changing the minimum lot size shown in the table from 2,300 to 1,926 square feet in the site, as shown in Table 1. The minimum lot size for an attached dwelling allowed by the zoning ordinance in the CRN zone is 800 square feet, which is still much smaller than what is proposed by the Applicant. There is no need to adjust any of the findings made by the Planning Board because the lot and structure layout, circulation, landscaping and open spaces were all located and reviewed based on the drawn 1,926 square foot lots.

The Applicant has requested an additional change to the site plan details for the combined emergency vehicle turnaround/plaza that is shown in the primary common open space parcel (Community Green) in the northwestern corner of the site. The approved site plan specified a design of stone pavers and brick inlay that served the dual purpose of being supportive of a fire truck while providing aesthetic value to the open space. The Applicant through this Amendment is asking to change the materials to a poured colored stamped concrete to increase the durability of the initial surface and to reduce future maintenance costs associated with the plaza. The Applicant will use a colored concrete which will be stamped with a fieldstone texture for the majority of the surface within the open area. To retain the effect of the original design with the edging details, the Applicant has agreed to using a similar stone textured border stamp along the concrete edges, as well as to continue some of the pattern of circles shown on the original plans (Figure 3 and 4). Staff believes the proposed design and materials is substantially similar in quality and purpose to the original proposal, and will likely reduce the future maintenance to the HOA, therefore, Staff supports this modification.

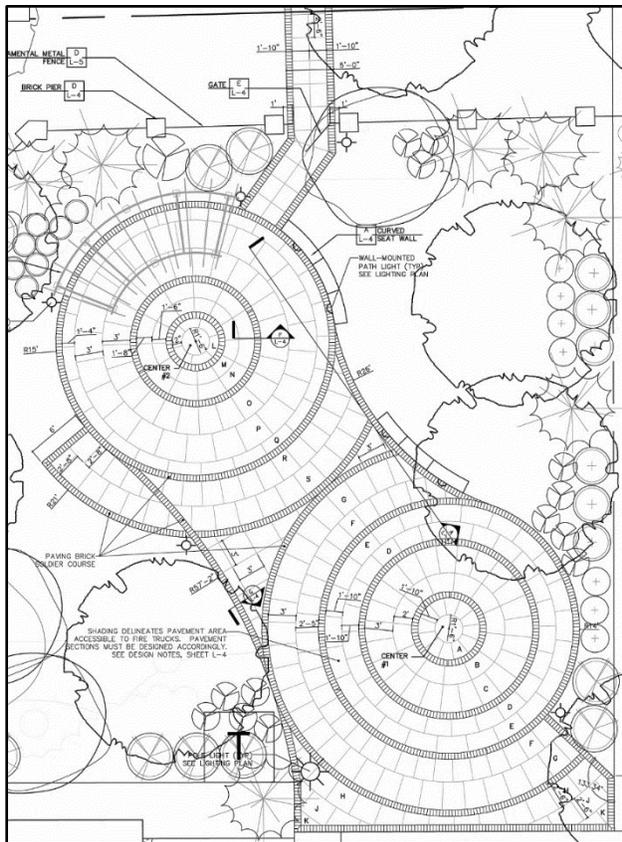


Figure 3 – Originally approved turnaround/plaza

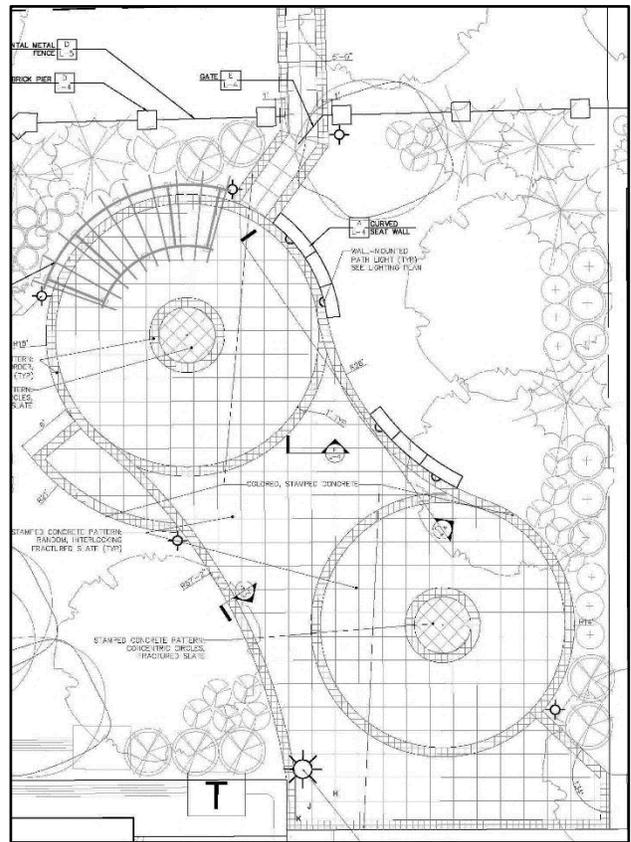


Figure 4 – Proposed turnaround/plaza

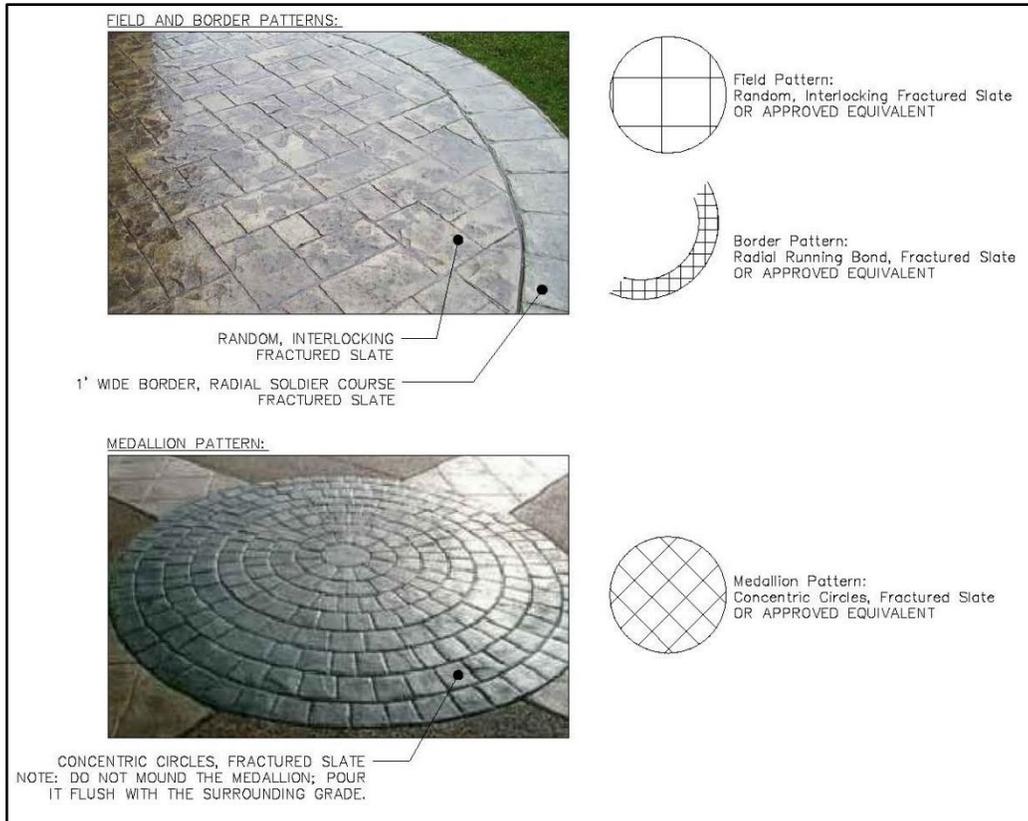


Figure 5 – Stamp pattern and legend

TABLE 1 - Section 4.5 Zoning Data Table: CRN 0.75 C-0.25 R-0.75 H-45		
<u>Standard</u>	<u>Required</u>	<u>Provided</u>
Site		
Common Open Space, Site >10,000 sq. ft.	10%, 8,416 sq. ft.	25%, 22,140 sq. ft.
Lot and Density		
Lot Area	800 sq. ft.	2,300 1,926 sq. ft. ¹
Lot width at front building line	12'	24'
CRN Density Max (mapped)	C-0.25, R-0.75	C- 0.00, R-0.63
Placement		
Front Setback	5'	18'
Side Street Setback	5'	N/A
Side Setback, abutting AG, RR, Residential Detached or Residential Town Zones	4'	22'

¹ The 1,926 sq. ft. value represents the current smallest lot size on the submitted plans. The Applicant is requesting flexibility at the time of record plat should final survey or review of the plat necessitate minor lot line adjustments. The Applicant is therefore requesting the ability to plat a lot as small as 1,800 sq. ft. so long as the decrease is the result of survey data and it does not adjust the site layout, impact any of the minimum setbacks in the data table, or alter any height or setback compatibility findings.

TABLE 1 - Section 4.5 Zoning Data Table: CRN 0.75 C-0.25 R-0.75 H-45		
<u>Standard</u>	<u>Required</u>	<u>Provided</u>
Side Setback, abutting other Zones	N/A	31'
Side Setback, end unit	2'	4'
Side Setback, between lot and site boundary	4'	10'
Rear setback, abutting AG, RR, Residential Detached or Residential Town Zones	10'	19'
Rear setback, Abutting other Zones	10'	N/A
Rear Setback, alley	4'	N/A
Rear Setback between lot and site boundary	5'	15'
Front Setback (BTA)	15'	19'*
Building in BTA	70%	0%*
Side Street Setback	N/A	N/A
Height		
Principal Building	45'	Lots 1, 8-20, 45' Lots 2-7, 38'
Form		
Units permitted per row	12	6
Entrance facing street or open space	required	provided
Blank Wall, front, max	35'	35' or less
Blank wall, side/rear, max	35'	35' or less
Section 6.2 Parking		
Vehicle Spaces (2 per DU)	38	45

*The planning board approved a front setback (BTA) of 19 feet in Site Plan No. 820160010.

SECTION 4 – ANALYSIS AND FINDINGS - Site Plan No. 82016001A

Findings – Chapter 59

All of the findings from Site Plan No. 820160010 remain valid and in effect except as modified below.

2. *To approve a site plan, the Planning Board must find that the proposed development:*
 - d. *satisfies applicable use standards, development standards, and general requirements under this Chapter.*

Division 4.5. Commercial/Residential Zones

With the correction made in the data table, Table 1 above, to correctly show the minimum lot size at 1,926 square feet, this Amendment is still satisfying the applicable use and development standards of the CRN 07.5 C-0.25 R-075 H-45 zone.

Division 6 – General Development Standards

iv. Division 6.4. General Landscaping and Outdoor Lighting

This Amendment changes the material used in the emergency vehicle turnaround/public plaza shown on the site plan from inlaid pavers to a colored and stamped patterned concrete. The pattern chosen continues to provide visual interest to the emergency vehicle turnaround, and the material used has greater durability and less long term maintenance concerns as the pavers. The Amendment still meets the landscaping requirements and standards and continues to adequately activate the Community Green.

SECTION 5 – CITIZEN CORESPONDENCE AND ISSUES

The Amendment met all signage and notice requirements for a consent amendment. A sign was posted along the property frontage with MD 108, and a notice letter was sent to all required neighboring property owners and nearby associations on August 11th, 2016. As of the posting of this staff report, staff has received no written correspondence, and has received one phone call pertaining to the Amendment. The one phone conversation was seeking clarification of the scope of the requested changes, in which Staff explained they were minor in nature and were only correcting a data table error and making a minor modification to the hardscape in the fire department turnaround.

SECTION 6 – CONCLUSION

The Applications meet all requirements established in the Subdivision Regulations and the Zoning Ordinance. Access and public facilities remain adequate to serve the development, and the Applications have been reviewed by other applicable county agencies, all of whom have recommended approval of the plan. Staff finds the Applicant has adequately addressed the recommendations of the 2015 Sandy Spring Rural Village Master Plan, and has been responsive to the concerns raised by the community.

Staff recommends approval of this Amendment.